

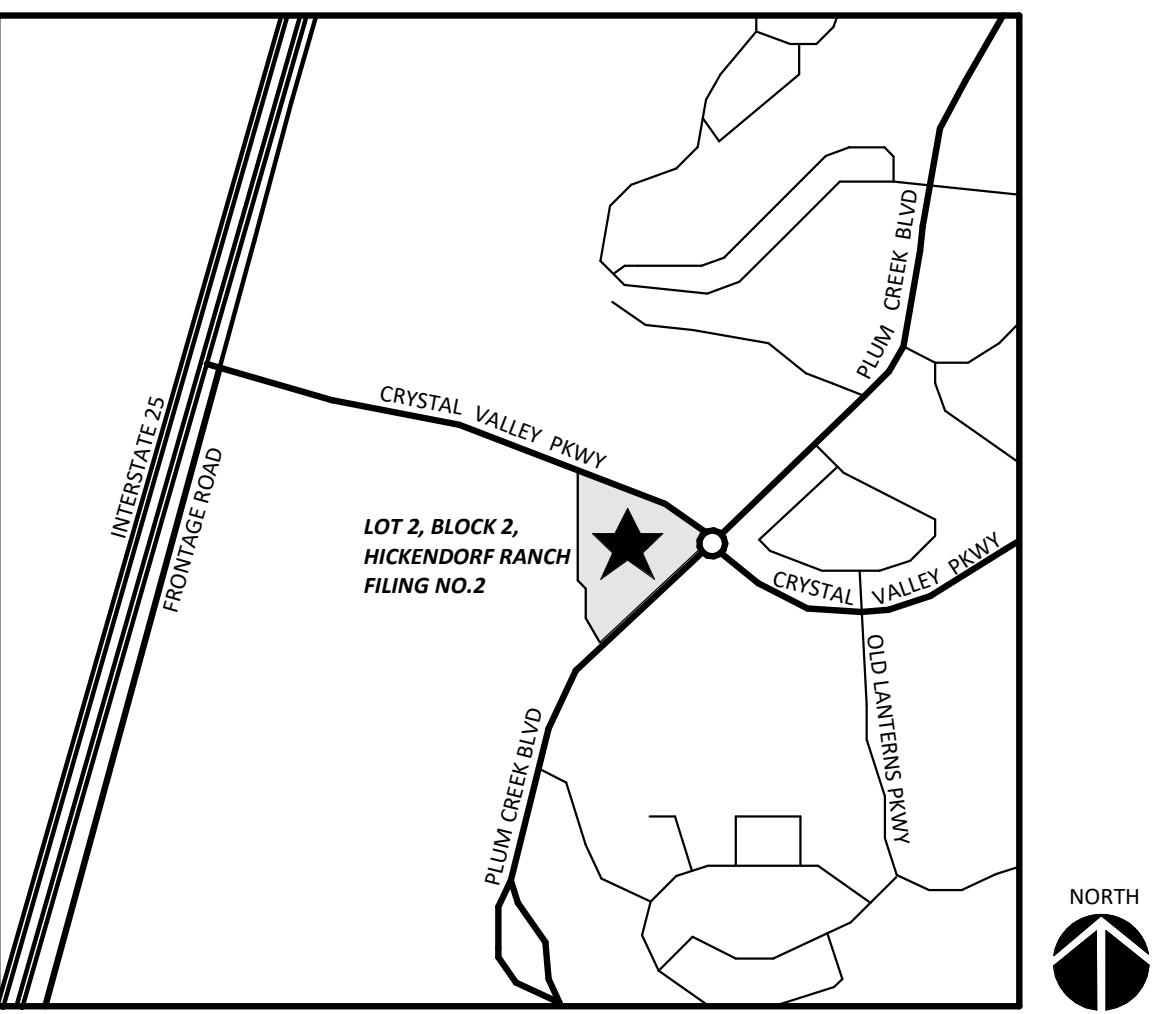
SITE DEVELOPMENT PLAN

LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2

BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 22 AND THE SOUTHWEST QUARTER OF SECTION 23,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDP25-0001

VICINITY MAP



LEGAL DESCRIPTION

LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2

PURPOSE STATEMENT

TO BETTER SERVE THE COMMUNITY'S GROWING POPULATION AND NEEDS, ADVENT HEALTH IS PROPOSING TO BUILD A NEW TWO-STORY, APPROXIMATELY 23,600 SF CORE & SHELL AND TENANT FIT OUT FOR URGENT CARE AND CLINICAL SERVICES AT THE INTERSECTION OF CRYSTAL VALLEY PARKWAY AND PLUM CREEK BOULEVARD.

BENCHMARK STATEMENT AND BASIS OF BEARINGS STATEMENT

BENCHMARK:
VERTICAL DATUM:
NGS DESIGNATION N 393
FOUND A BRASS DISK STAMPED N 393 1983 IN ROCK OUTCROPPING BELOW FRONT STREET.
PUBLISHED ELEVATION: 6222.1 (NAVD88)

SITE BENCHMARK: CP99 - X ON SIDEWALK
ELEVATION: 6341.79' (NAVD88)

ELEVATION BROUGHT TO THE SITE VIA GPS OBSERVATIONS USING THE TRIMBLE VRS NETWORK

HORIZONTAL DATUM:
MODIFIED COLORADO STATE PLANE COORDINATES, NORTH ZONE, NORTH AMERICAN DATUM 1983.

HORIZONTAL CONTROL BASED UPON GPS OBSERVATIONS USING THE TRIMBLE VRS NETWORK.

BASIS OF BEARING:
ASSUMING A PORTION OF THE SOUTHEASTERLY LINE OF BLOCK 2 OF HECKENDORF RANCH FILING NO. 2, AS MONUMENTED BY A MAG NAIL WITH A 1.0" BRAS TAG LS 38479 AT THE SOUTHWESTERLY END AND BY A #4 REBAR WITH A 1.0" BLUE PLASTIC CAP LS 38175 AT THE NORTHEASTERLY END, AS BEARING SOUTH 45 57'12" WEST BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983 (2011), A DISTANCE OF 396.74 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THE LINEAL DIMENSIONS AS CONTAINED HEREIN ARE BASED UPON THE "US SURVEY FOOT."

PROJECT DIRECTORY

OWNER
PORTERCARE ADVENTIST HEALTH SYSTEM
6061 S WILLOW DR
GREENWOOD VILLAGE CO 80111

STRUCTURAL ENGINEER
KL&A
1717 WASHINGTON AVE
GOLDEN, CO 80401
PHONE: 303.384.9910

ARCHITECT
BOULDER ASSOCIATES, INC.
1426 PEARL ST, STE 300
BOULDER, CO 80302
PHONE: 303.499.7795

CIVIL ENGINEER
MARTIN / MARTIN
12499 W COLFAX AVE
LAKEWOOD, CO 80215
PHONE: 303.431.6100

MEP/T ENGINEER
CATOR RUMA & ASSOCIATES
896 TABOR STREET
LAKEWOOD, CO 80401
PHONE: 303.232.6200

LANDSCAPE ARCHITECT
OWBOW DESIGN COLLABORATIVE
209 KALAMATH STREET, SUITE 6
DENVER, CO 80223
PHONE: 720.465.6168

GENERAL CONTRACTOR
TURNER CONSTRUCTION COMPANY
1401 ZUNI ST, STE 301
DENVER, CO 80204
PHONE: 303.753.9600

OWNERSHIP CERTIFICATION
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

PORTERCARE ADVENTIST HEALTH SYSTEM, A COLORADO NONPROFIT CORPORATION
SIGNED THIS 13th DAY OF JUNE 2024

NOTARY BLOCK
SUBSCRIBED AND SWEORN TO BEFORE ME THIS 13th DAY OF JUNE 2025 BY Brett Spens

WITNESS MY HAND AND OFFICIAL SEAL
NOTARY PUBLIC
Jeanne Bolt

MY COMMISSION EXPIRES: JANUARY 27, 2026

Jeanne Bolt
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 19964013077
MY COMMISSION EXPIRES January 27, 2026

11/17/2025 7:02:00 PM Autodesk Docs/246543.00_AdventHealth_CRFSD D23/246543.00_AdventHealth_CRFSD Core-Shell.rvt

ZONING COMPARISON		
ZONING	PD-PLANNED DEVELOPMENT	
USE AREA	CLINIC, 2 STORY	
LOT	LOT 2, BLOCK 2 HECKENDORF RANCH FILING NO.2	
SITE AREA SQ.FT./ACRES	225,116 SQ.FT. / 5.168 ACRES	
REQUIRED	PROPOSED	
BUILDING AREA	N.A.	24,535 SF
PERMITTED USE	PER APPROVED PD	CLINIC, 8-OCCUPANCY
MINIMUM LOT SIZE	N.A.	5.168 ACRES
MAXIMUM BUILDING COVERAGE	35%	5.52%
CRYSTAL VALLEY PARKWAY SETBACK	30' (WITH 20' MIN. LANDSCAPE BUFFER)	78' - 10"
PLUM CREEK PARKWAY SETBACK	30' (WITH 20' MIN. LANDSCAPE BUFFER)	216' - 4"
PUBLIC LAND DEDICATION SETBACK	20' (WITH 15' MIN. LANDSCAPE BUFFER)	111' - 5"
WESTERN BOUNDARY SETBACK	20' (WITH 10' MIN. LANDSCAPE BUFFER)	192' - 1" TO BUILDING
WESTERN BOUNDARY SETBACK	20' (WITH 10' MIN. LANDSCAPE BUFFER)	152' - 5" TO TRASH ENCLOSURE
INTERNAL LOT LINES SETBACK	10'	N.A.
MONUMENTATION SIGN SETBACK	10' *	11'-0" PROVIDED AT EAST MONUMENT SIGN 10'-8" PROVIDED AT SOUTH MONUMENT SIGN
MAXIMUM BUILDING HEIGHT	35 FEET **	2 FLOORS, 32' TO TOP OF PARAPET
MINIMUM PARKING	CASTLE ROCK MUNICIPAL CODE TABLE 64-1 USE CATEGORY: MEDICAL OFFICE AND CLINIC REQUIRED SPACES: 5 SPACES/1,000 GROSS LEASEABLE AREA GROSS LEASABLE AREA = 22,210 SF REQUIRED OFF STREET PARKING = 112 STALLS	118 SPACES (INCLUDES ADA COUNTS BELOW)
MINIMUM ADA PARKING	CASTLE ROCK MUNICIPAL CODE TABLE 64-2 TOTAL SPACES IN LOT IS BETWEEN 101 TO 150, THEN MIN. NUMBER OF ACCESSIBLE SPACES = 5 (1 OF WHICH IS VAN ACCESSIBLE)	5 (1 VAN ACCESSIBLE)
SITE UTILIZATION		
BUILDING COVERAGE	SQUARE FEET	PERCENTAGE OF TOTAL SITE UTILIZATION
PARKING COVERAGE	12,422	5.52%
STREET COVERAGE	37,727	16.76%
LANDSCAPING/OPEN SPACE COVERAGE	38,439	17.08%
CONCRETE SIDEWALK COVERAGE	128,786	57.20%
TOTAL	7,742	3.44%
	225,116	100.00%

SEE SHEET 2 OF 13 FOR GROSS FLOOR AREA & GROSS LEASABLE AREA CALCULATIONS

*REFERENCE THE LANTERNS PRELIMINARY PD, SUMMARY TABLE NOTE 14:
SETBACKS FOR MONUMENTATION SIGNS SHALL BE 10'.

**REFERENCE THE LANTERNS PRELIMINARY PD, SUMMARY TABLE NOTE 2:
BUILDING HEIGHT EXCLUDES PARAPETS AND OTHER ARCHITECTURAL TREATMENTS THAT SCREEN
ROOFTOP MECHANICAL EQUIPMENT FROM VIEW. THESE ITEMS ARE SUBJECT TO HEIGHT LIMITATIONS
AS DEEMED APPROPRIATE DURING THE DEVELOPMENT REVIEW PROCESS.

TITLE CERTIFICATION

I, _____, AN AUTHORIZED

REPRESENTATIVE OF _____, A
TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE
OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC
RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND
LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF
OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE

TITLE COMPANY

SIGNED THIS ____ DAY OF _____, 20____.

NOTARY BLOCK

SUBSCRIBED AND SWEORN TO BEFORE ME THIS ____ DAY OF
_____, 20____ BY _____

AS AUTHORIZED

REPRESENTATIVE OF _____.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

SDP SHEET INDEX

SITE DEVELOPMENT PLAN	COVER SHEET
1 of 13	STANDARD NOTES & AREA CALCULATIONS
2 of 13	SITE PLAN
3 of 13	EXISTING CONDITIONS PLAN
4 of 13	GRADING PLAN
5 of 13	OVERALL UTILITY PLAN
6 of 13	LANDSCAPE COVER SHEET
7 of 13	LANDSCAPE PLAN
8 of 13	SITE DETAILS
9 of 13	ELEVATIONS
10 of 13	RENDERS
11 of 13	ELEVATIONS
12 of 13	RENDERS
13 of 13	ELECTRICAL SITE PLAN



1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

CIVIL ENGINEER'S STATEMENT

CIVIL ENGINEER'S STATEMENT

I, _____, BEING A REGISTERED
PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY
ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE
IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE
BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL
TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER _____ DATE _____

PROJECT 246543.00
CRAH CRYSTAL
VALLEY MOB -
C&S (BID
PACKAGE #1)

SITE DEVELOPMENT PLAN

DATE 2/14/2025
REVISIONS

#	DESCRIPTION	DATE

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TOWN COUNCIL APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN
COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE
____ DAY OF _____, 20____.

MAYOR _____ DATE _____

ATTEST: _____

TOWN CLERK _____ DATE _____

SURVEYOR'S CERTIFICATE

I, _____, A REGISTERED
PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO
HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION
REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE
UNDER MY SUPERVISION AND THE MONUMENTS SHOWN
THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN
ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR _____ DATE _____

WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS
SUBJECT TO THE TERMS AND CONDITIONS OF THE LATERS
AMENDED AND RESTATED DEVELOPMENT AGREEMENT, RECORDED
ON THE 8TH DAY OF MAY, 2020 AT RECEPTION NO. 2020038454.
12.27 SFEs WILL BE DEDUCTED FOR COMMERCIAL USE AND 9.21 SFEs
WILL BE DEDUCTED FOR IRRIGATION.

SHEET TITLE COVER SHEET

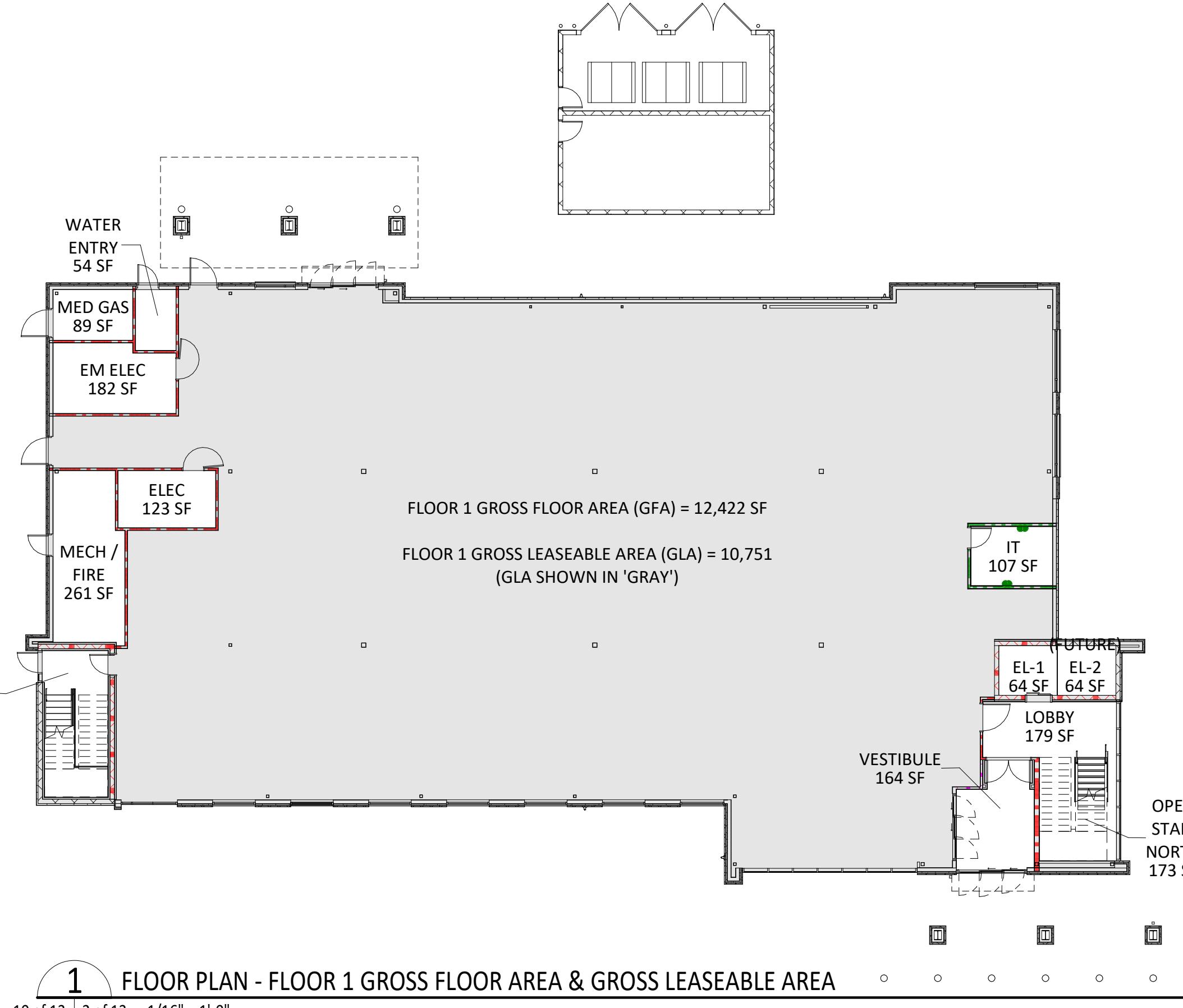
SITE DEVELOPMENT PLAN
LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2
TOWN OF CASTLE ROCK PROJECT NO. SPD25-0001

SITE DEVELOPMENT PLAN GENERAL NOTES

- Approval of this Site Development Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval. There may be subsequent amendments.
- This site is zoned The Lanterns Amendment No. 4.
- This property is located within Zone X as per FEMA FIRM Panel No. 08035C0303G Dated 3/16/2016.
- Retaining walls, sections of retaining walls greater than 4-feet in height as measured from the bottom of the footing to the top of the wall, and retaining walls, regardless of height, which retain a surcharge or tiered walls must be designed by a Structural Engineer licensed in the State of Colorado and require a building permit.
- Retaining walls in common areas or that span multiple lots regardless of size/height must be located in a tract. The retaining walls must be maintained by the HOA or Metro District.
- The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property, unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 25% fee.
- Pursuant to the Town of Castle Rock Landscape Regulations the Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowner/Property Owner Association, as applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town, the Owner will have 45 days to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.
- Final landscape area, coverage and plant quantities, shall meet or exceed quantities represented in this Site Development Plan. Any changes to the approved landscape plans shall require an SDP amendment.
- The number of parking spaces are based on the proposed uses on this Site Development Plan. A change of use to a more parking intensive use as identified in Chapter 17.54 of the Castle Rock Municipal Code or applicable Planned Development Zoning will require an amendment to this Site Development Plan.
- A sign permit for each sign must be obtained from the Town of Castle Rock Zoning Division prior to placing any sign on the property. All signs must comply with the provisions of Title 19 (Sign Code Regulations) of the Municipal Code or applicable Planned Development Zoning regulations.
- Any street signs, striping, street lights and curb ramps are conceptual only and subject to Town review with the Construction Documents. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.
- The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy", as amended from time to time, for this project.
- No solid object (excluding fire hydrants, traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flow line elevations of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms shall be placed within sight distance lines and sight distance easements.
- All proposed Utility, Drainage, Emergency Access, Sight Distance and Public Access/Trail Easements as shown on the Site Development Plan are conceptual and shall be established with a plat or separate document.
- Unless otherwise noted, all lots shall have a 10-foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have 5-foot Utility Easements along each side lot line. These Utility Easements are for the installation, maintenance and operation of utilities and drainage facilities including, but not limited to street lights, electric lines, gas lines, cable television lines, fiber optic lines and telephone lines, water meters, fire hydrants and curb boxes as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines. Any variation from this requires an approved Technical Criteria Variance.
- All subdivisions shall include adequate easements to accommodate the construction, maintenance and repair of all public access, sidewalks, trails, water supply system, waste water systems, storm water management system and erosion control facilities, telecommunications and other utilities required to provide each utility to each occupied structure in the subdivision.
- No structure shall be constructed over any portions of a recorded Town easement unless a revocable license is approved by the Town and the structure will not interfere with the intended use of the easement.
- Any structures placed in the easement including but not limited to paving, fencing, retaining walls and landscaping shall be removed and replaced by the owner upon the request of the utilities department or private utility company so that maintenance may be performed. The owner of the land shall agree to hold the Town and/or private utility company harmless for any loss of property or landscaping and irrigation removed from the easement or damaged due to maintenance activities and all associated costs.

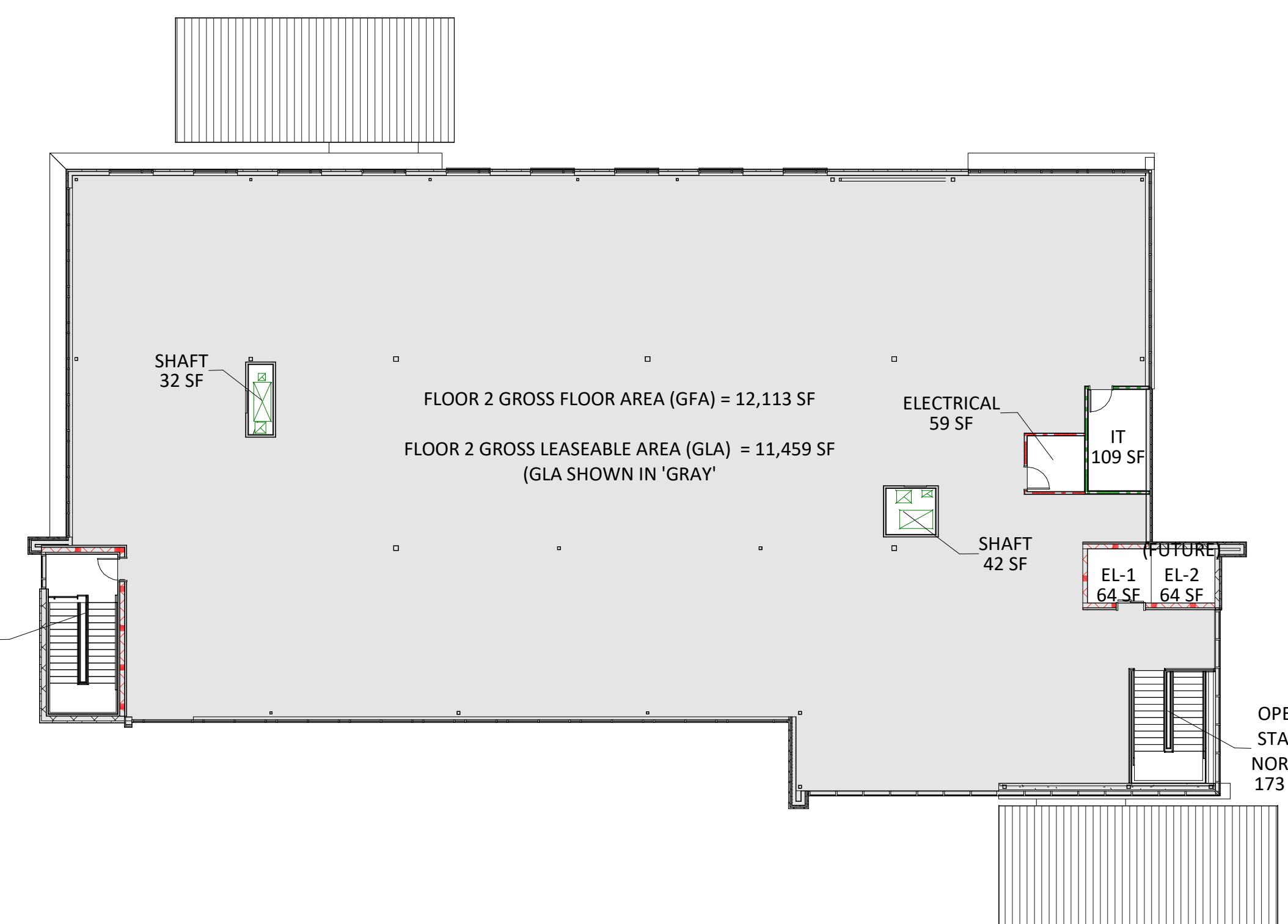
SITE DEVELOPMENT PLAN FIRE NOTES

- If fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to vertical construction.
- Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of construction.
- It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.
- All emergency access roads, emergency access gates and signage shall comply with the Town of Castle Rock Fire Department requirements and shall be maintained by Metropolitan District, Homeowners Association, or other property management entity.
- Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into, or within the jurisdiction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
- Dead-end fire access roads in excess of 150 feet shall provide an approved area for turning around fire apparatus.
- Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
- Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 88,000 pounds, and shall be surfaced so as to provide all-weather driving capabilities. The term "all-weather driving capabilities" has been interpreted to mean either concrete or asphalt, or other approved driving surface designed by an engineer and approved by the Fire Department.
- "No Parking Fire Lane" signs are required in areas that meet the following criteria and in areas designated by the Castle Rock Fire Department. Signs shall be posted on both sides of fire access roadways, public or private roadways and driveways less than 26 feet wide. Signs shall be posted on one side only of fire access roadways, public or private roadways or driveways between 26 feet wide and 32 feet wide. No signage is required for fire access roadways, public or private roadways or driveways greater than or equal to 32 feet wide.



1 FLOOR PLAN - FLOOR 1 GROSS FLOOR AREA & GROSS LEASABLE AREA

10 of 13 | 2 of 13 1/16" = 1'-0"



2 FLOOR PLAN - FLOOR 2 GROSS FLOOR AREA & GROSS LEASABLE AREA

2 of 13 1/16" = 1'-0"

FLOOR	GROSS FLOOR AREA	GROSS LEASABLE AREA
1	12,422 SF	10,751 SF
2	12,113 SF	11,459 SF
TOTAL	24,535 SF (GFA)	22,210 SF (GLA)

*CASTLE ROCK MUNICIPAL CODE 17.54.040-C FLOOR AREA CALCULATIONS. WHERE REQUIRED PARKING AND LOADING IS DETERMINED ON THE BASIS OF GROSS FLOOR AREA (GFA), GROSS FLOOR AREA SHALL BE DETERMINED AS THE SUM OF THE GROSS HORIZONTAL AREAS OF THE SEVERAL FLOORS OF THE BUILDING, INCLUDING ACCESSORY STORAGE AREA, AND ANY BASEMENT FLOOR AREA DEVOTED TO RETAILING ACTIVITIES, THE PRODUCTION OR PROCESSING OF GOODS, OR OFFICES. GROSS LEASABLE AREA (GLA) SHALL BE DEFINED AS THAT PORTION OF THE GROSS FLOOR AREA AVAILABLE TO LEASING A TENANT, AND EXCLUDING COMMON AREAS, SUCH AS LOBBIES, STAIRWELLS AND ELEVATORS, RESTROOMS, STORAGE, UTILITY AND EQUIPMENT ROOMS.

SITE DEVELOPMENT PLAN
LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2
TOWN OF CASTLE ROCK PROJECT NO. SPD25-0001

SITE DEVELOPMENT PLAN

DATE 2/14/2025
REVISIONS
DESCRIPTION DATE

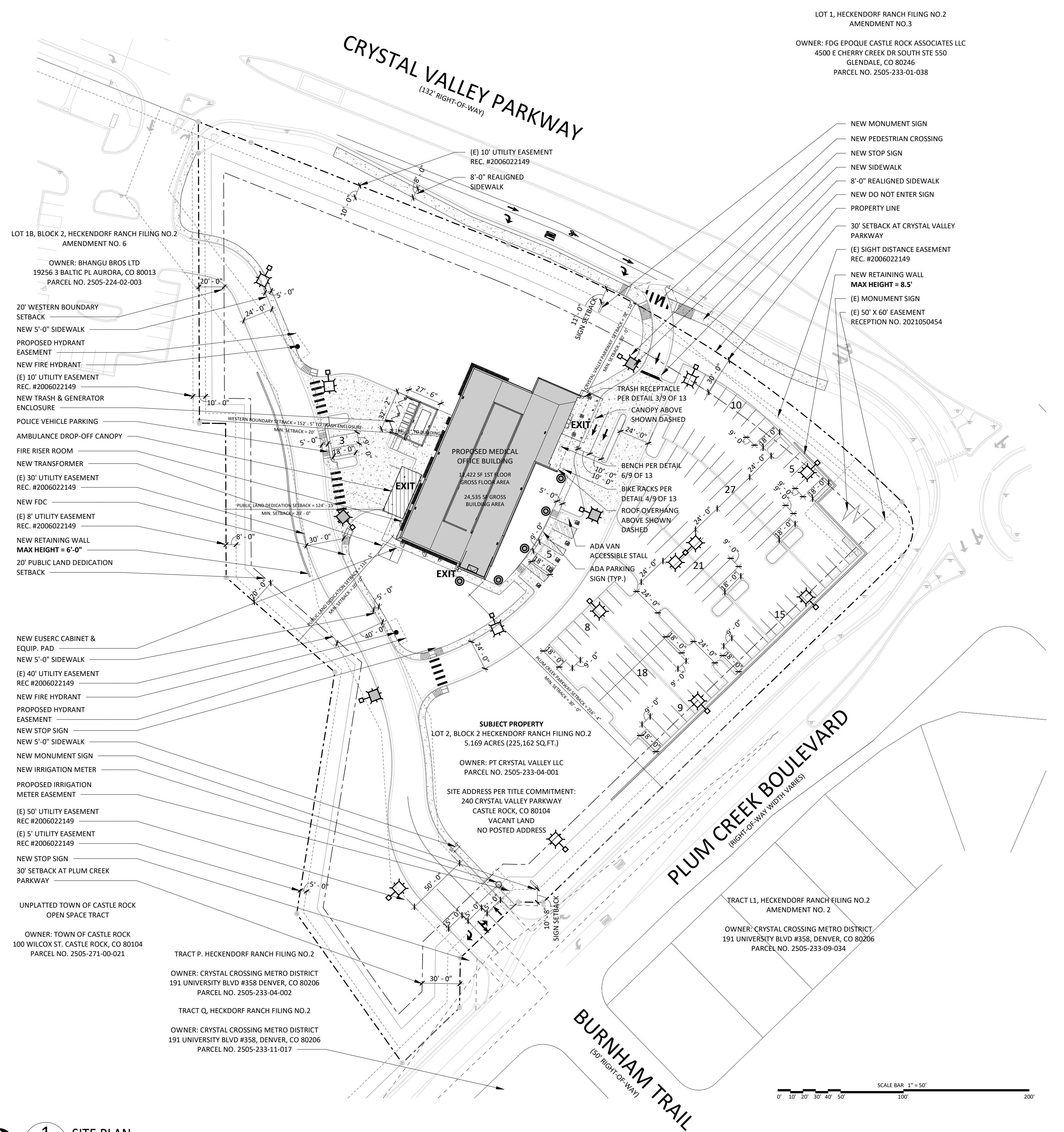
SHEET TITLE
STANDARD NOTES & AREA CALCULATIONS

SHEET NUMBER
2 of 13

PROJECT 246543.00
CRAH CRYSTAL VALLEY MOB - C&S (BID PACKAGE #1)

KEY PARKING REQUIREMENTS			
CATEGORY	REQUIREMENT	PROVIDED	REFERENCE
Parking Calculation	<p>Use Category: Medical Office and clinic: 5 spaces per 1,000 sq. ft. of GLA. Per 17.54.040, C Gross leasable area (GLA) shall be defined as that portion of the gross floor area available to leasing to a tenant, and excluding common areas, such as lobbies, stairwells, and elevators, restrooms, storage, utility and equipment rooms.</p> <p>GLA = 22,210 sq. ft. *SEE SHEET 2 OF 13 FOR GLA CALCULATIONS</p> <p>Required off street parking = 112 spaces</p>	<p>113 standard parking spaces 5 Accessible parking spaces</p> <p>118 total parking stalls (3 additional police parking stalls are provided in the service area)</p>	CRMC Ch. 17.54 Table 64-1
Parking Space Dimensions	90 degree parking angle: Stall width = 9'-0"; Stall depth = 18'-0"	9'-0" x 18'-0" standard parking space	CRMC Ch. 17.54 Table 64-3
Accessible Parking Spaces	<p>A. The dimension of all accessible parking spaces, accessible aisles, accessible paths, and passenger loading zones shall be governed by the American National Standards Institute (ANSI) Standard ICC A117.1, "accessible and usable buildings and facilities," as adopted pursuant to Section 15.28.010.a.5 of this code....</p> <p>B. The following number of accessible parking spaces as identified in Table 64-2 shall be provided for all sites in all office, commercial, industrial, multifamily and public land use districts. These spaces shall count in fulfilling the off-street parking requirements and the allocation cannot be reduced.</p> <p>Table 64-2 Min. No. of Accessible Spaces: 5 Accessible Spaces, 1 of which is van accessible</p>	<p>9'-0" x 18'-0" car parking space with 5'-0" x 18'-0" aisles; 9'-0" x 18'-0" van parking space with 8'-0" x 18'-0" aisles.</p> <p>5 Accessible Spaces, 1 of which is van accessible</p>	CRMC Ch. 17.54.050
Bike Parking	All nonresidential land uses shall provide bicycle parking spaces equal to 5% of the total off-street vehicle parking spaces. All bicycle parking spaces shall be inverted U-style racks, unless otherwise approved by the Town Manager. Each inverted U-style rack counts as two bicycle parking spaces.	3 bicycle racks (6 bicycle spaces)	CRMC Ch. 17.54.040, I
Drive Aisle Width	112 Required off street spaces (5%) = 5.6 or (6) Required bicycle parking spaces	24'	CRMC Ch. 17.54 Table 64-2

SITE PLAN LEGEND	
	PROPERTY LINE
	EASEMENT
	SETBACK
	SIGHT TRIANGLE
	CONCRETE SIDEWALKS & PAVING
	POLE LIGHT FIXTURE, SEE ELECTRICAL LIGHTING PLAN
	POLE LIGHT FIXTURE, EMERGENCY LIGHTING, SEE ELECTRICAL LIGHTING PLAN
	PEDESTRIAN LIGHT FIXTURE, EMERGENCY LIGHTING, SEE ELECTRICAL LIGHTING PLAN
	FIRE HYDRANT
SITE DEVELOPMENT PLAN	
DATE	2/14/2025
REVISIONS	
DESCRIPTION	DATE
SHEET TITLE	
SITE PLAN	
SHEET NUMBER	
3 of 13	



SUBJECT TO CHANGE
PENDING JURISDICTIONAL APPROVAL

LEGEND

EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
RIGHT-OF-WAY LINE	RIGHT-OF-WAY LINE
SECTION LINE	SECTION LINE
EASEMENT	EASEMENT
SETBACK LINE	SETBACK LINE
RETAINING WALL	RETAINING WALL
CURB & GUTTER	CURB & GUTTER
CONTOURS	CONTOURS
STORM SEWER	STORM SEWER
STORM MANHOLE	STORM MANHOLE
PERIMETER DRAIN	PERIMETER DRAIN
INLET	INLET
FLARED END SECTION	FLARED END SECTION
SIGN	SIGN
GRADING ARROW	GRADING ARROW
DECIDUOUS TREE	DECIDUOUS TREE
EVERGREEN TREE	EVERGREEN TREE
BUSH/SHRUB	BUSH/SHRUB
DESCRIPTIONS	DESCRIPTIONS
DRIVE	DRIVE
SPOT ELEVATIONS	SPOT ELEVATIONS



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



MARTIN/MARTIN
CONSULTING ENGINEERS
12499 West Colfax Ave
Lakewood, Colorado 80215
303.431.6100
martinmartin.com

PROJECT 24.0241

**ADVENTHEALTH
CASTLE ROCK
MOB - CORE &
SHELL**

**SITE DEVELOPMENT
PLAN**

DATE 05/14/2025
REVISIONS
DESCRIPTION DATE

113 PARKING SPACES
5 ADA PARKING SPACES
TOTAL PARKING STALL COUNT = 118 STALLS
(3 ADDITIONAL POLICE PARKING STALLS ARE PROVIDED IN THE SERVICE AREA)



811
KNOW WHAT'S BELOW. CALL BEFORE YOU DIG.

CALL 811 3-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE OR EXCAVATE FOR
MARKING OF UNDERGROUND MEMBER UTILITIES

MARTIN/MARTIN ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. UNLESS OTHERWISE NOTED, THE UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED BY OTHERS AND DEPICTED AS ASCE (38) QUALITY LEVEL D, IN ACCORDANCE WITH THE PROVISIONS OF COLORADO REVISED STATUTE, TITLE 9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL COLORADO 811 UTILITY LOCATE SERVICE FOR UTILITY LOCATES BEFORE DIGGING, AND FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES (DEPICTED OR NOT DEPICTED) PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

BENCHMARK STATEMENT:

NGS DESIGNATION N 393
FOUND A BRASS DISK STAMPED N 393 1983 IN
ROCK OUTCROPPING BELOW FRONT STREET.

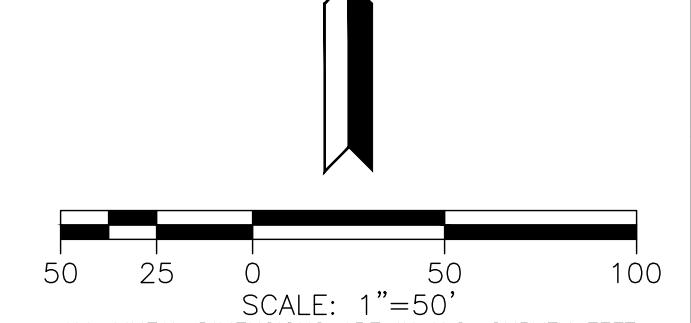
PUBLISHED ELEVATION: 6222.1 (NAVD88)
SITE BENCHMARK: CP99 - X ON SIDEWALK
ELEVATION: 6341.79' (NAVD88)

ELEVATIONS BROUGHT TO THE SITE VIA GPS
OBSERVATIONS USING THE TRIMBLE VRS NETWORK

BASIS OF BEARINGS:

ASSUMING A PORTION OF THE SOUTHEASTERLY LINE OF
BLOCK 2 OF HECKENDORF RANCH FILING NO. 2, AS
MONUMENTED BY A MAG NAIL WITH A 1.0" BRASS TAG
LS 38479 AT THE SOUTHWESTERLY END AND BY A #4
REBAR WITH A 1.0" BLUE PLASTIC CAP LS 38175 AT
THE NORTHEASTERLY END, AS BEARING SOUTH
45°57'12" WEST BEING A GRID BEARING OF THE
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SITE DEVELOPMENT PLAN
LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0001

SHEET TITLE
GRADING PLAN

SHEET NUMBER

5 of 13



SUBJECT TO CHANGE
PENDING JURISDICTIONAL APPROVAL

LEGEND

UTILITY NOTES

NOTES:

1. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK BLUE ZONE TANK 4 WATER PRESSURE ZONE.
2. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
3. ALL UTILITY EASEMENTS FOR WATER AND WASTEWATER LINES SHALL BE FOR THE EXCLUSIVE USE OF THE TOWN SO THAT ACCESS AND MAINTENANCE MAY BE PERFORMED.
4. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
5. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
6. ANY TIE-IN, CROSSING OR LOWERING OF TOWN CRITICAL INFRASTRUCTURE WILL REQUIRE A TIME AND MATERIALS PERMIT (TMU) WITH FEES REQUIRED PRIOR TO CONSTRUCTION.

BENCHMARK STATEMENT

BENCHMARK STATEMENT.
NGS DESIGNATION N 393
FOUND A BRASS DISK STAMPED N 393 1983 IN
ROCK OUTCROPPING BELOW FRONT STREET

PUBLISHED ELEVATION: 6222.1 (NAVD88)
SITE BENCHMARK: CP99 - X ON SIDEWALK

ELEVATION: 8841.75 (NAVD88)

BASIC OF READING

BASIS OF BEARINGS:
ASSUMING A PORTION OF THE SOUTHEASTERLY LINE OF BLOCK 2 OF HECKENDORF RANCH FILING NO. 2, AS MONUMENTED BY A MAG NAIL WITH A 1.0" BRASS TAG LS 38479 AT THE SOUTHWESTERLY END AND BY A #4 REBAR WITH A 1.0" BLUE PLASTIC CAP LS 38175 AT THE NORTHEASTERLY END, AS BEARING SOUTH 45°57'12" WEST BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983 (2011), A DISTANCE OF 396.74 FEET WITH ALL OTHER BEARINGS DETERMINED BY THE GRID LINE.

THE LINEAL DIMENSIONS AS CONTAINED HEREIN ARE
BASED UPON THE "U.S. SURVEY FOOT."

SITE DEVELOPMENT PLAN
LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0001

SHEET TITLE

OVERALL UTILITY PLAN

6 of 13

IRRIGATION NOTES:

1. ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. SHRUBS WILL BE DRIP IRRIGATED. CONTRACTOR SHALL BE RESPONSIBLE FOR TAPS, BACKFLOW PREVENTION AND WINTERIZATION SYSTEMS, SLEEVING UNDER PAVED AREAS, WALLS, AND ALL SPRINKLER COMPONENTS NECESSARY FOR A FULLY FUNCTIONAL SYSTEM. TREES SHALL BE ON A SEPARATE ZONE FROM SHRUBS. ELECTRIC SERVICES FOR THE IRRIGATION CONTROLLERS ARE INSTALLED, OWNED AND MAINTAINED BY THE OWNER OR LEGAL ENTITY CREATED FOR COMMON AREA MAINTENANCE.
2. THE IRRIGATION CONTROLLER'S METERED ELECTRIC SERVICE MUST BE BUILT TO THE NATIONAL ELECTRIC CODE (NEC), REQUIRE A BUILDING PERMIT AND A ONE-LINE DIAGRAM. THE ONE-LINE DIAGRAM MUST BE SHOWN AS COLD SEQUENCED AND LABELED WITH THE SERVICE SIZE & VOLTAGE REQUIREMENTS.
3. SITE IRRIGATION WILL BE PROVIDED USING A PERMANENT 3/4" DEDICATED IRRIGATION TAP AND A TEMPORARY 2" TAP OFF OF THE HYDRANT FOR NATIVE GRASS ESTABLISHMENT. LOCATION OF TAP AND METER ARE SHOWN ON THE LANDSCAPE PLANS.

CASTLE ROCK LANDSCAPE NOTES:

1. FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
2. LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
3. ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
4. DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
6. DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
7. IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
8. IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
9. IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
10. NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
11. NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
12. AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
13. LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
14. DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE(45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
15. SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

CASTLE ROCK STREET CONSTRUCTION NOTES:

1. ALL STREET CONSTRUCTION IS SUBJECT TO THE GENERAL NOTES ON THE COVER SHEET OF THESE PLANS AS WELL AS THE STREET CONSTRUCTION NOTES LISTED HERE.
2. A PAVING SECTION DESIGN, SIGNED AND SEALED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER, MUST BE SUBMITTED TO THE TCR PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO ANY STREET CONSTRUCTION ACTIVITY (FULL-DEPTH ASPHALT SECTIONS ARE NOT PERMITTED AT A DEPTH GREATER THAN 8" ASPHALT). THE JOB MIX SHALL BE SUBMITTED FOR APPROVAL PRIOR TO PLACEMENT OF ANY ASPHALT.
3. WHERE PROPOSED PAVING ADJOINS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT A MINIMUM DISTANCE OF 12" FROM THE EXISTING EDGE TO CREATE A CLEAN CONSTRUCTION JOINT. THE DEVELOPER SHALL BE REQUIRED TO REMOVE EXISTING PAVEMENT TO A DISTANCE WHERE A CLEAN CONSTRUCTION JOINT CAN BE MADE.
4. STREET SUBGRADES SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 12" AND RE-COMPACTED PRIOR TO SUB-BASE INSTALLATION. NO BASE MATERIAL SHALL BE LAID UNTIL THE SUBGRADE HAS BEEN INSPECTED AND APPROVED BY THE TCR CONSTRUCTION INSPECTOR.
5. VALVE BOXES ARE TO BE BROUGHT UP TO GRADE AT THE TIME OF PAVEMENT PLACEMENT OR OVERLAY. VALVE BOX ADJUSTING RINGS ARE NOT ALLOWED.

CASTLE ROCK STREET STRIPING & SIGNAGE NOTES:

1. ALL SIGNAGE AND STRIPING IS SUBJECT TO THE GENERAL NOTES ON THE COVER SHEET OF THESE PLANS AS WELL AS THE SIGNAGE AND STRIPING NOTES LISTED HERE.
2. ALL PAINT SHALL BE 15 MIL THICK UPON INSTALLATION AND 8 MIL THICK WHEN DRY.
3. ALL PERMANENT LONGITUDINAL PAVEMENT STRIPING ON ASPHALT SURFACES (CENTERLINES, LANE LINES, BAY LINES, ETC.) SHALL BE INSTALLED USING AN APPROVED REFLECTIVE TRAFFIC PAINT OR PAVEMENT MARKING TAPE. REFLECTIVE BEADS SHALL BE APPLIED IN ACCORDANCE WITH CDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE MANUFACTURER'S REQUIREMENTS. WHEN TAPE IS USED ON AN ASPHALT STREET, IT SHALL BE "ROLLED" INTO THE FINAL LIFT. ON CONCRETE SURFACES TAPE SHALL BE UTILIZED WITH A CONTRASTING BLACK EDGE AND GROOVED INTO THE PAVEMENT.

MAINTENANCE NOTES:

ALL LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A NEAT AND ADEQUATE MANNER. REQUIRED MAINTENANCE ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO MOWING OF LAWNS, TRIMMING OF HEDGES, ADEQUATE IRRIGATION, REPLACEMENT OF DEAD, DISEASED OR UNSIGHTLY PLANT MATERIAL, REMOVAL OF WEEDS FROM PLANTED AREAS, AND APPROPRIATE PRUNING OF PLANT MATERIALS UNTIL FINAL COMPLETION.

PLANTING NOTES:

1. ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE IN SCHEDULES. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED FOR THE PROJECT. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL SHAPED HEADS, ALL EVERGREEN TREES SHALL BE UNSHEARED AND FULL TO THE GROUND. PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1.
2. SEE PLANTING DETAILS FOR PLANT PIT DIMENSIONS, BACKFILL REQUIREMENTS, AND INSTALLATION NOTES. ALL TREES TO BE STAKED OR GUYED PER DETAILS ON SHEET L4.2.
3. ALL PLANTS WILL BE INSPECTED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE DELIVERY TO THE SITE. ALL TREE LOCATIONS AND EDGES OF NEW PLANTING BEDS ARE TO BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
4. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
5. LANDSCAPE CONTRACTOR SHALL PROVIDE PER-UNIT COSTS FOR EVERY SIZE OF PLANT MATERIALS, AND BY TYPE AS CALLED OUT ON PLANS. UNIT COSTS TO INCLUDE THE PLANT MATERIAL ITSELF AND INSTALLATION, INCLUDING ALL LABOR, AMENDMENTS, FERTILIZERS, ETC. AS DETAILED AND SPECIFIED FOR EACH SIZE.
6. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKEOFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS.
7. COORDINATE INSTALLATION OF LARGE PLANT MATERIAL WITH FOOTINGS AND PAVEMENTS. ANY DAMAGE TO IMPROVEMENTS BY OTHERS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SPECIFIED QUANTITIES OF SOIL AMENDMENTS, CONDITIONERS AND MULCH IN SOIL PREPARATION AND FINISH GRADING.
9. IMPORTED SOIL SHALL BE USED TO SUPPLEMENT EXISTING SOIL AS NECESSARY TO MEET THE FINISHED GRADING REQUIREMENTS OF PLANTING AREAS.
10. THE LANDSCAPE CONTRACTOR SHALL PERFORM A STANDARD AGRICULTURAL SUITABILITY ANALYSIS OF EXISTING SOIL PROPOSED FOR PLANTING AT HIS EXPENSE AND INCORPORATE RECOMMENDATIONS PER FRASER WATER AMENDMENT REQUIREMENTS PRIOR TO PLANTING.
11. INSTALL A MINIMUM OF 4 CUBIC YARDS OF SOIL AMENDMENT PER 1000 SQUARE FEET OF PERMEABLE AREA TO BE PLANTED WITH SOD, SHRUBS, GRASSES, OR PERENNIALS. AMENDMENT SUPPLIER SHALL BE A1 ORGANICS OF EATON, COLORADO.
12. ALL TREES, SHRUBS, PERENNIALS, SOD AND SEEDED AREAS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR A 12-MONTH PERIOD AFTER INITIAL ACCEPTANCE. REPLACEMENTS SHALL BE GUARANTEED AN ADDITIONAL 12-MONTHS UNTIL FINAL ACCEPTANCE. ALL REPLACEMENT COSTS SHALL BE BORN BY THE CONTRACTOR.
13. TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, CENTERLINE, OR BACK OF CURB.
14. STREET TREES SHALL BE PLACED 5'-0" MIN. FROM BURIED UTILITIES.
15. TREE WRAPPING MATERIAL SHALL BE FOUR INCHES WIDE, BITUMINOUS IMPREGNATED TAPE, CORRUGATED OR CREPE PAPER, BROWN IN COLOR, SPECIFICALLY MANUFACTURED FOR TREE WRAPPING. TREES SHALL BE WRAPPED BETWEEN OCTOBER 15 AND NOVEMBER 1 OF THE YEAR THEY ARE PLANTED. NO TREE WRAPPING SHALL BE PERMITTED UNTIL A LICENSED LANDSCAPE CONTRACTOR OR CERTIFIED ARBORIST HAS INSPECTED THE TREE. IT IS THE DUTY OF THE CONTRACTOR TO WRAP DECIDUOUS TREES DURING THE ONE-YEAR WARRANTY PERIOD.
16. COORDINATE PLANTING PERIODS WITH MAINTENANCE PERIODS TO PROVIDE REQUIRED MAINTENANCE FROM THE DATE OF SUBSTANTIAL COMPLETION. PLANT DURING ONE OF THE FOLLOWING PERIODS:
SPRING PLANTING: APRIL 1 TO JUNE 15

LANDSCAPE ARCHITECT INFORMATION:

COMPANY NAME: OXBOW DESIGN COLLABORATIVE
ADDRESS: 209 KALAMATH ST. UNIT 6, DENVER, CO 80223
PHONE: 720-465-6168
EMAIL: DAVID@OXBOWDC.COM
DATE: 05/14/2025
COLORADO LICENSE LANDSCAPE ARCHITECT #: LA-001011

A large, bold, orange logo consisting of the letters 'BA'. The letter 'B' is on the left, a wide, rounded rectangle. The letter 'A' is on the right, a tall, narrow triangle pointing upwards. The logo is set against a white background with a thin black border around the entire image.

BOULDER ASSOCIATES

The logo for Oxbow Design Collaborative, featuring the brand name in a stylized, lowercase, sans-serif font with a horizontal line through the 'o', and the words 'DESIGN COLLABORATIVE' in a smaller, all-caps, sans-serif font below it.

209 KALAMATH STREET, UNIT 6
DENVER, COLORADO 80223
720.465.6168

PROJECT 225513.00

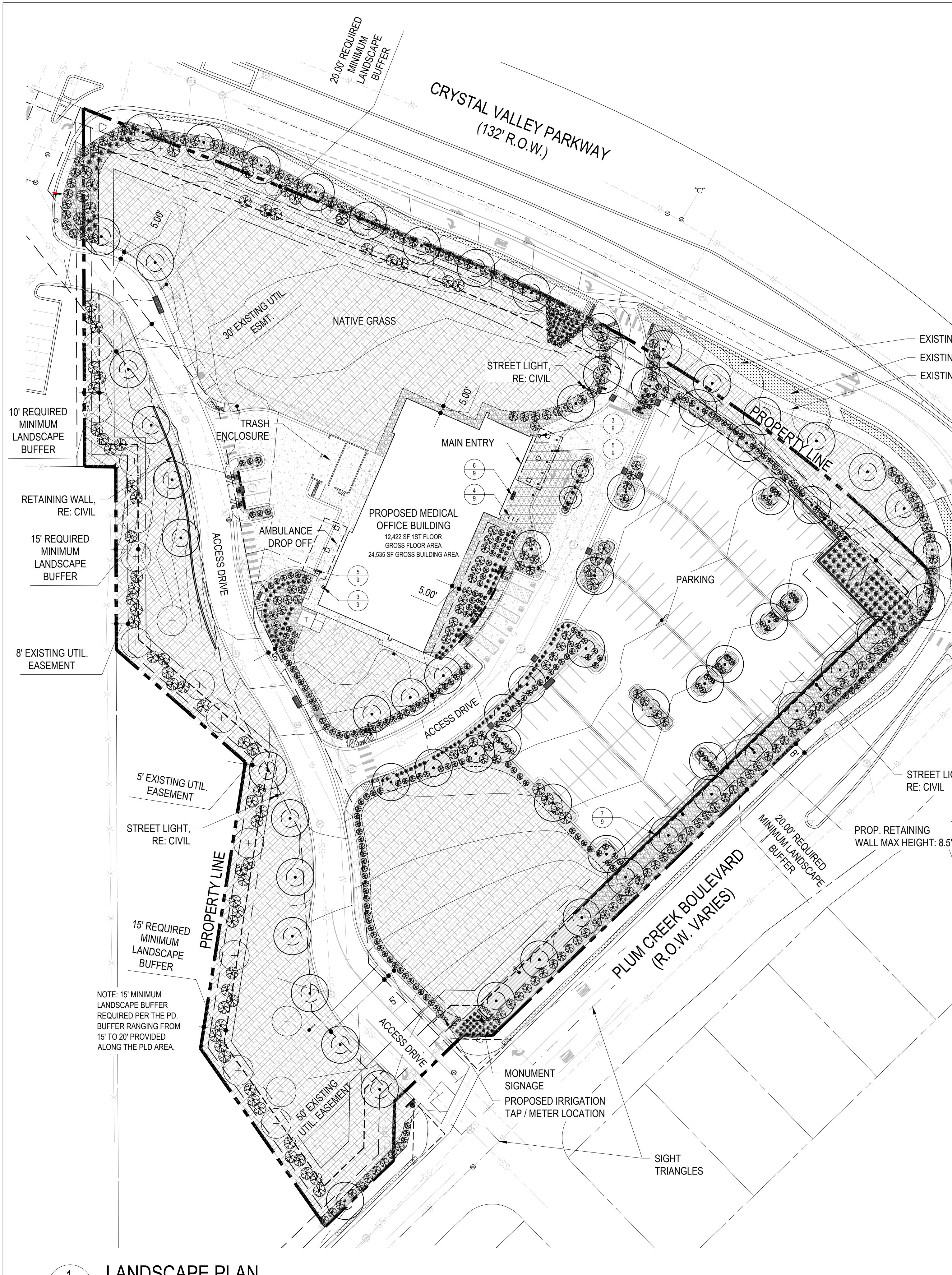
**ADVENTHEALTH
CASTLE ROCK
MOB**

SDP SET

DATE	05/14/2025	
REVISIONS		
#	DESCRIPTION	DATE

SHEET TITLE

CLIFFE NUMBERED



PLANTING SCHEDULE:

SYMBOL	PLANT TYPE	PLANT SIZE	HYDROZONE	QUANTITY
○	DECIDUOUS SHADE TREE	3" CALIPER	L	69
+	EVERGREEN TREE	6'	L	22
○	DECIDUOUS ORNAMENTAL TREE	1-1/2" CALIPER	L	2
○	DECIDUOUS SHRUBS	5 GALLON	L	528
○	PERENNIALS	1 GALLON	L	8
○	GRASSES	1 GALLON	L	224
▨	NATIVE SEED	SEED	VL	104,354 SF

LEGEND:

—	PROPERTY LINE
- - -	LANDSCAPE BUFFER
- - - -	EASEMENT
- - - - -	SETBACK
—	RETAINING WALL
- - - -	STEEL EDGER
▨	CONCRETE PAVING TYPE I - PEDESTRIAN (4" TH) COLOR: STANDARD GRAY
▨	ROCK MULCH 1-1/2" RIVER ROCK
▨	WOOD MULCH WESTERN RED CEDAR
▨	NATIVE GRASS
▨	EXISTING LANDSCAPE
■	BENCH
○	WASTE RECEPTACLE
—	BIKE RACK
*	PEDESTRIAN LIGHT
●	STREET LIGHT
○ ▨	IRRIGATION TAP SYMBOL

BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

oxbow
DESIGN COLLABORATIVE

209 KALAMATH STREET, UNIT 6
DENVER, COLORADO 80223
720.465.6168

PROJECT 225513.00
**ADVENTHEALTH
CASTLE ROCK
MOB**

SDP SET

DATE	REVISIONS	DESCRIPTION	DATE
			05/14/2025

LANDSCAPE BUFFER TABLE:

BOUNDARY	REQUIRED LANDSCAPE BUFFER
CRYSTAL VALLEY PARKWAY	20' MIN. LANDSCAPE BUFFER
PLUM CREEK PARKWAY	20' MIN. LANDSCAPE BUFFER
PUBLIC LAND DEDICATION	15' MIN. LANDSCAPE BUFFER
WESTERN BOUNDARY	10' MIN. LANDSCAPE BUFFER
INTERNAL LOT LINES	10'

NON RESIDENTIAL SITE INVENTORY TABLE:

NON-RESIDENTIAL SITE INVENTORY						
GROSS SITE AREA	REQUIRED LANDSCAPE (10% OF GROSS SITE AREA)	PROVIDED LANDSCAPE AREA	REQUIRED TREES (2 TREES / 1,000 SF)	PROVIDED TREES	REQUIRED SHRUBS (4 SHRUBS / 1,000 SF)	PROVIDED SHRUBS
225,116 SF	22,512 SF	128,786 SF	45	91	90	560
TURF GRASS AREA	REQUIRED LANDSCAPE COVERAGE (75% MIN.)	PROVIDED LANDSCAPE COVERAGE AT Maturity	REQUIRED NONLIVING ORNAMENTAL % (25% MAX.)	PROVIDED NONLIVING ORNAMENTAL AREA IN LANDSCAPE	REQUIRED LARGE CANOPY DECIDUOUS SHADE TREE (50% MIN.)	PROVIDED LARGE CANOPY DECIDUOUS SHADE TREE
N/A	16,884 SF	125,612 SF	5,628 SF	5,628 SF	23	70

PARKING LOT						
PARKING LOT AREA	LANDSCAPING AREA REQUIRED (10% OF SQUARE FOOTAGE)	LANDSCAPE AREA PROVIDED	REQUIRED TREES (2 LARGE CANOPY DECIDUOUS SHADE TREES/1,000 SF)	PROVIDED TREES	REQUIRED SHRUBS (4 SHRUBS/1,000 SF)	PROVIDED SHRUBS
36,523 SF	3,652 SF	128,786 SF	7	13	15	63
PARKING LOT PENINSULA ISLANDS (40 SPACES OR MORE)						
NUMBER OF PARKING LOT SPACES	NUMBER OF LANDSCAPED ISLANDS REQUIRED (1 PER 15 SPACES)	NUMBER OF LANDSCAPED ISLAND PROVIDED	REQUIRED TREES (MIN. 1 LARGE CANOPY DECIDUOUS SHADE TREE PER ISLAND/PENINSULA)	PROVIDED TREES	REQUIRED SHRUBS (4 SHRUBS MIN. PER ISLAND/PENINSULA)	PROVIDED SHRUBS
118	8	15	15	15	60	75

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER

1
8
LANDSCAPE PLAN
SCALE: 1" = 40'
0 20 40 80

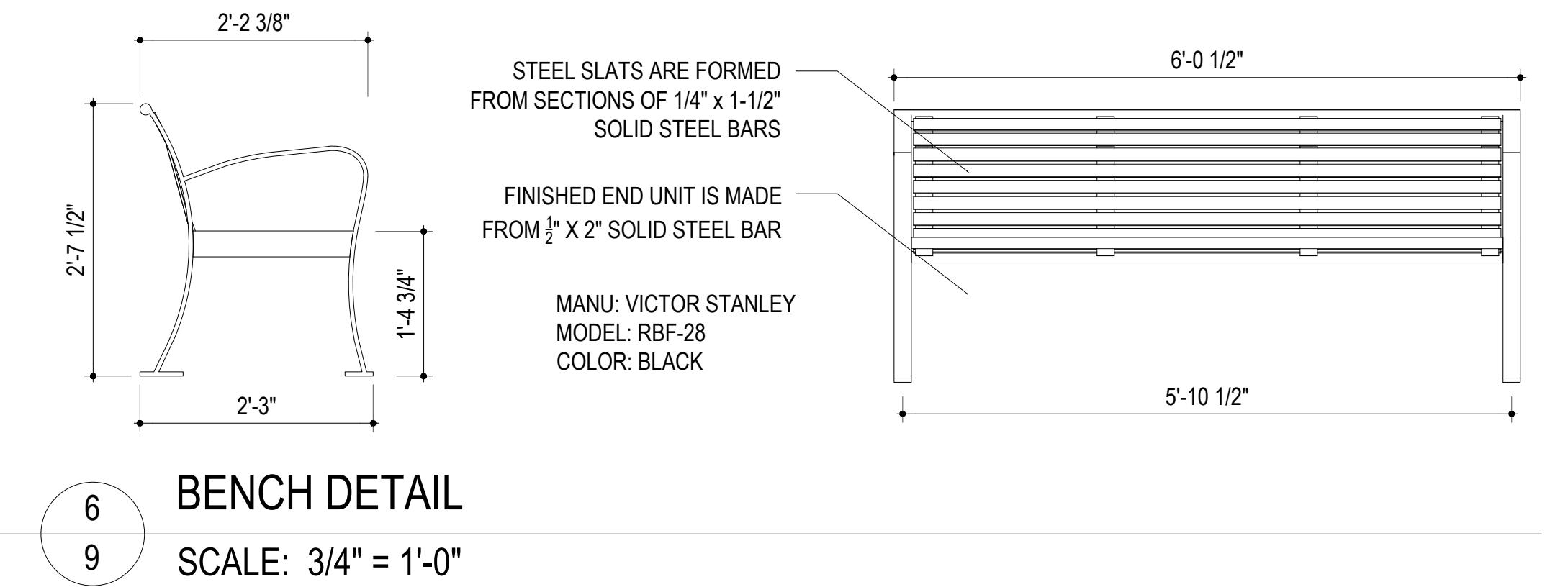
NORTH

SITE DEVELOPMENT PLAN
LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0001

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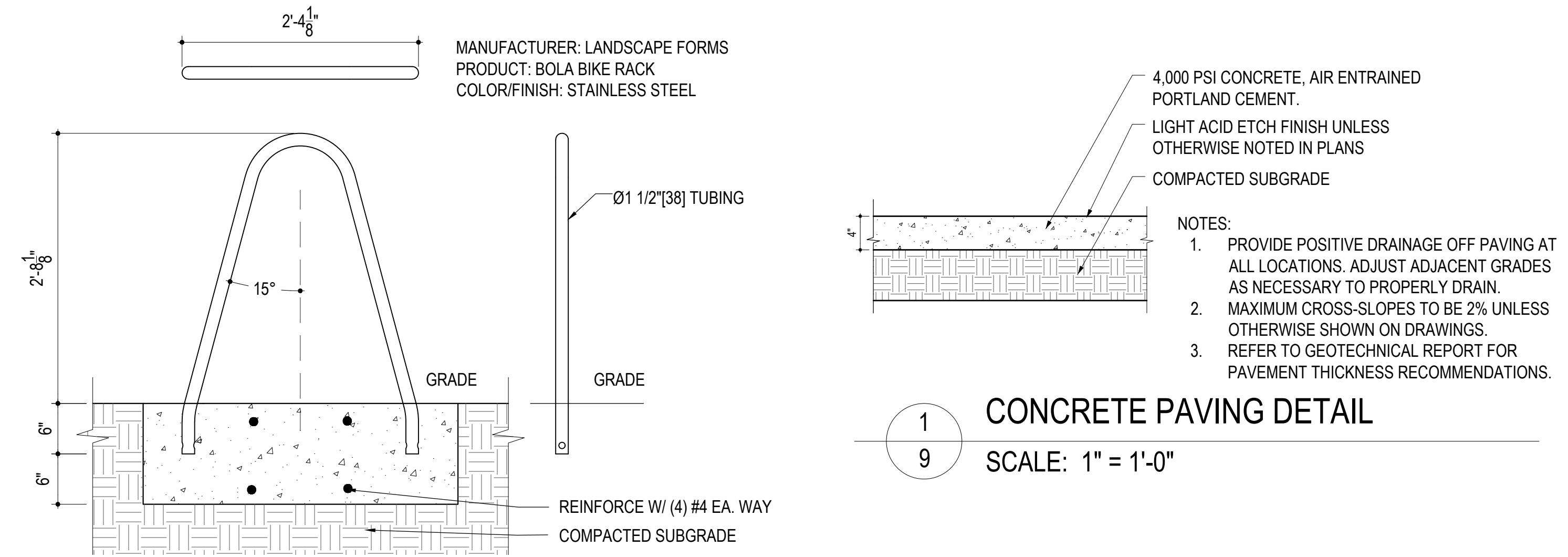
SDP SET

DATE	05/14/2025
REVISIONS	
DESCRIPTION	



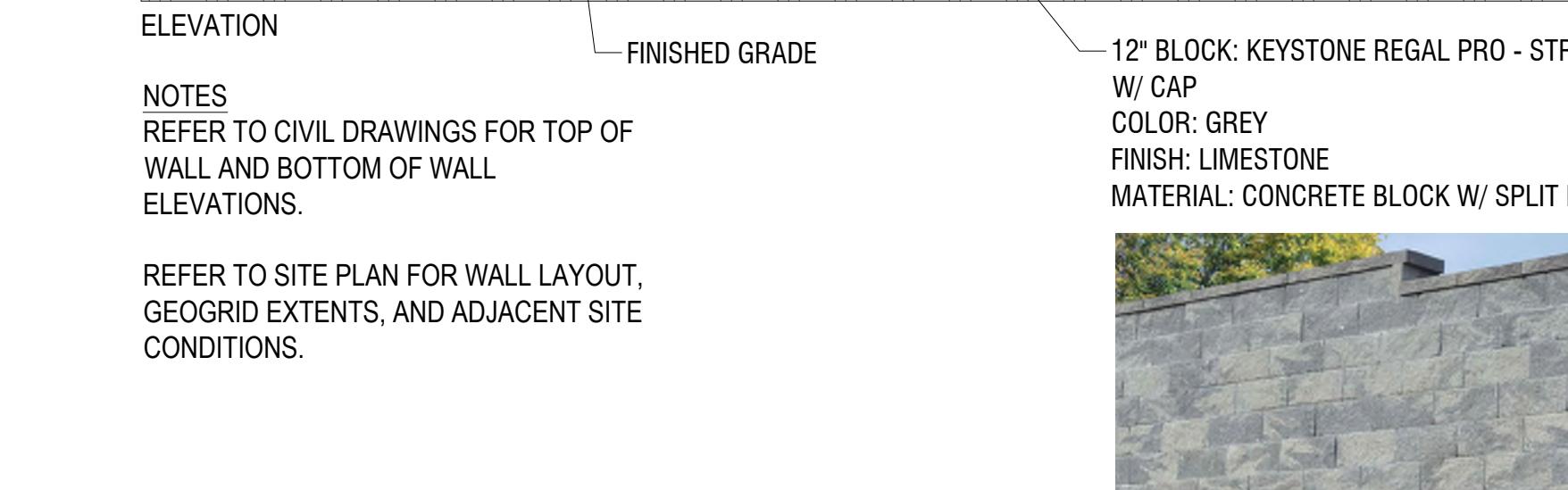
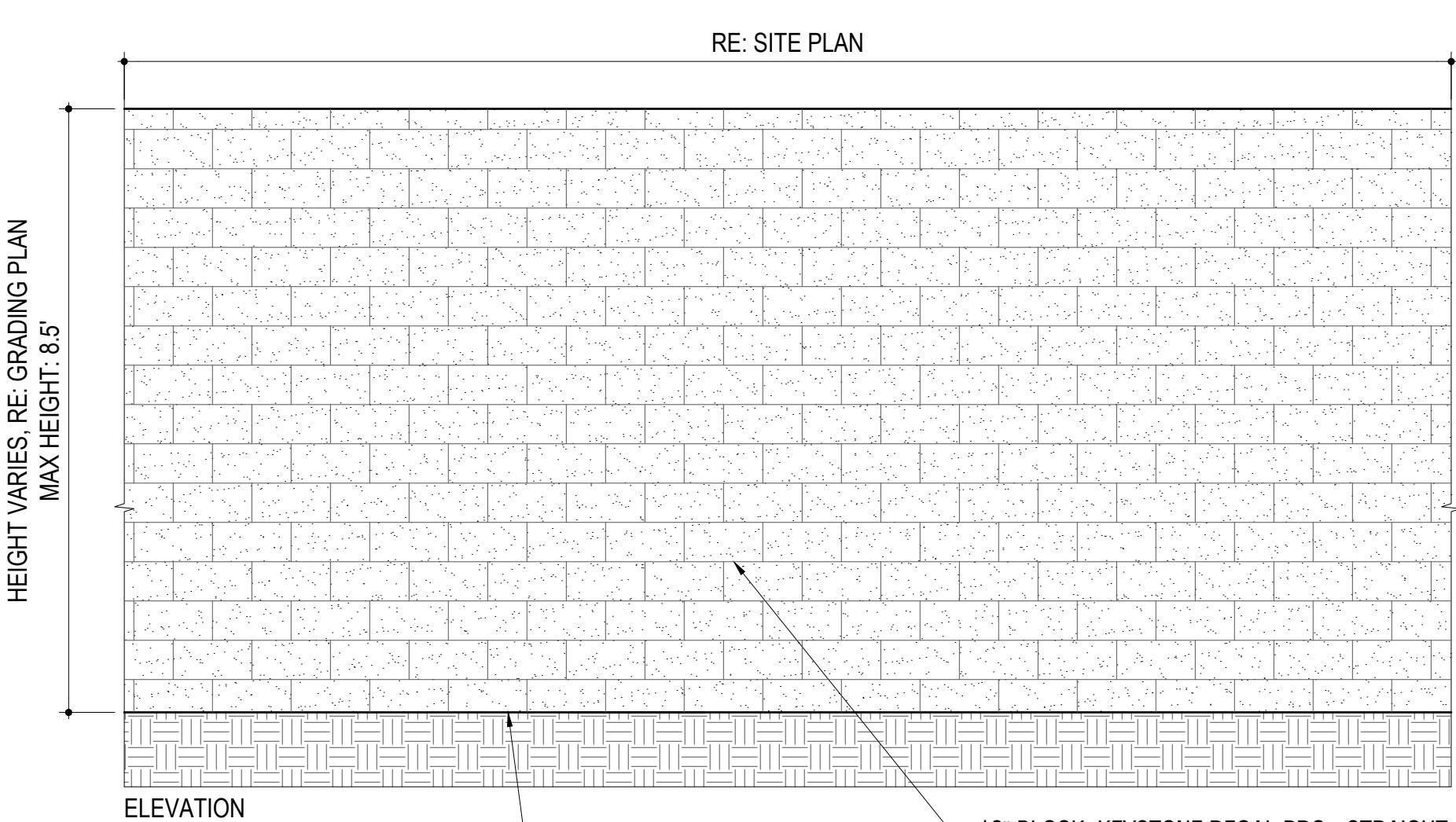
BENCH DETAIL

SCALE: 3/4" = 1'-0"



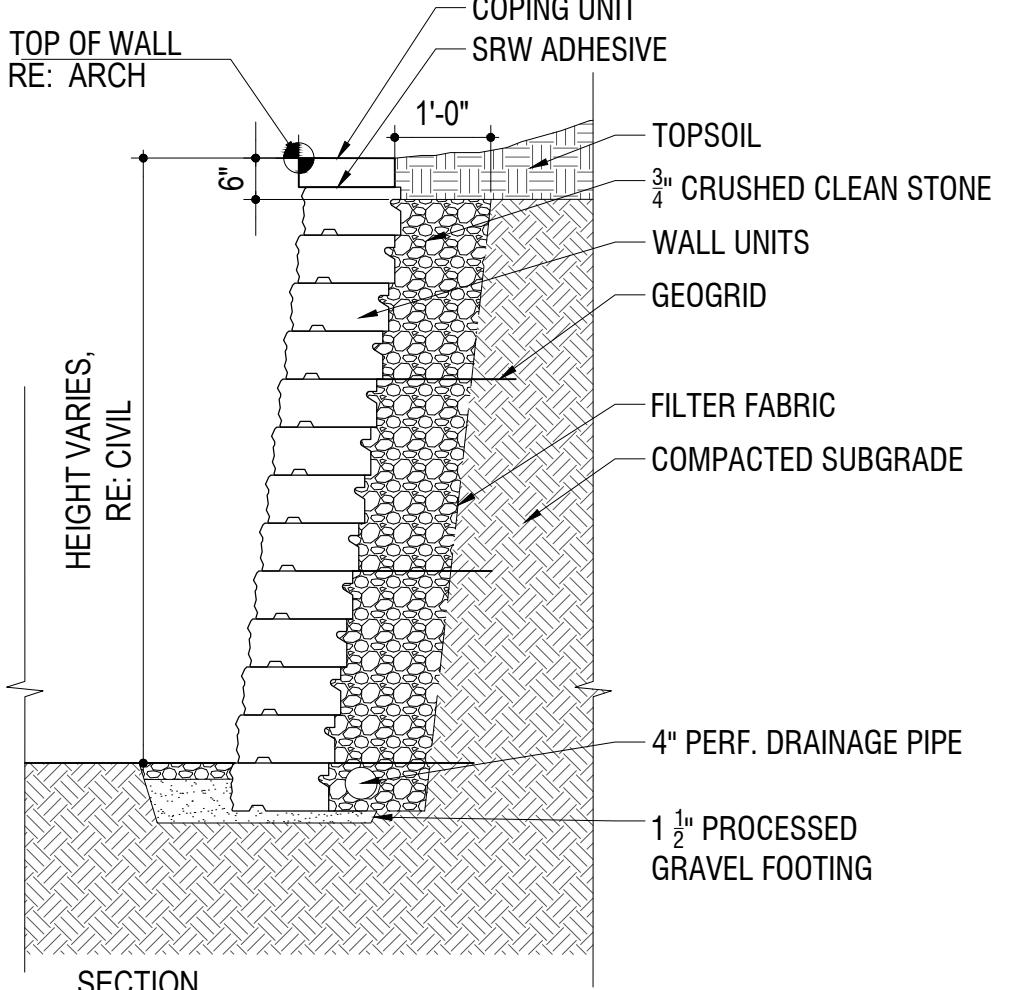
BIKE RACK DETAIL

SCALE: 1/2" = 1'-0"



RETAINING WALL - ELEVATION

SCALE: 1/2" = 1'-0"

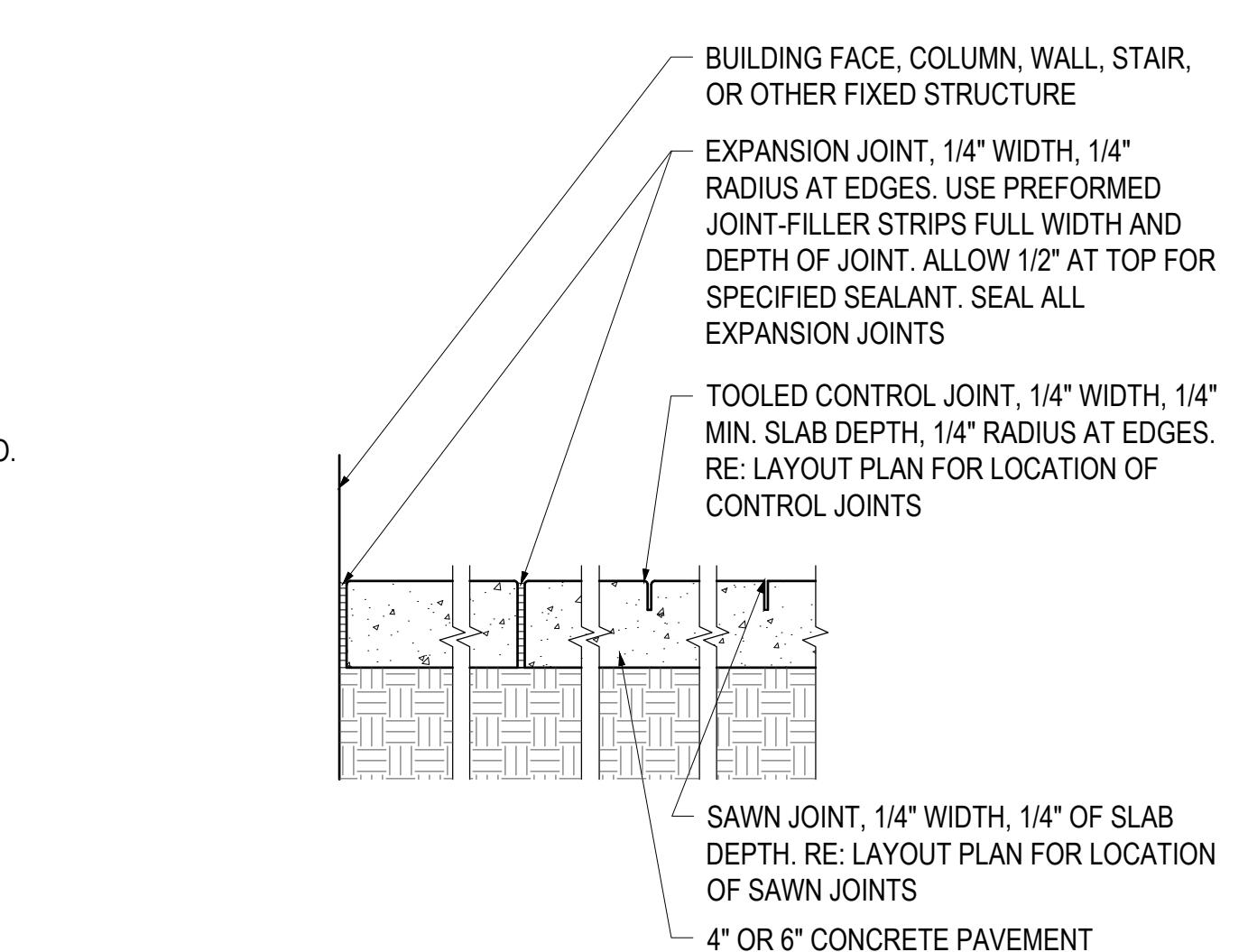


NOTES:
INSTALL PER MANUF. SPECIFICATIONS
REINFORCEMENT AS NECESSARY
PER STRUCTURAL ENGINEER.

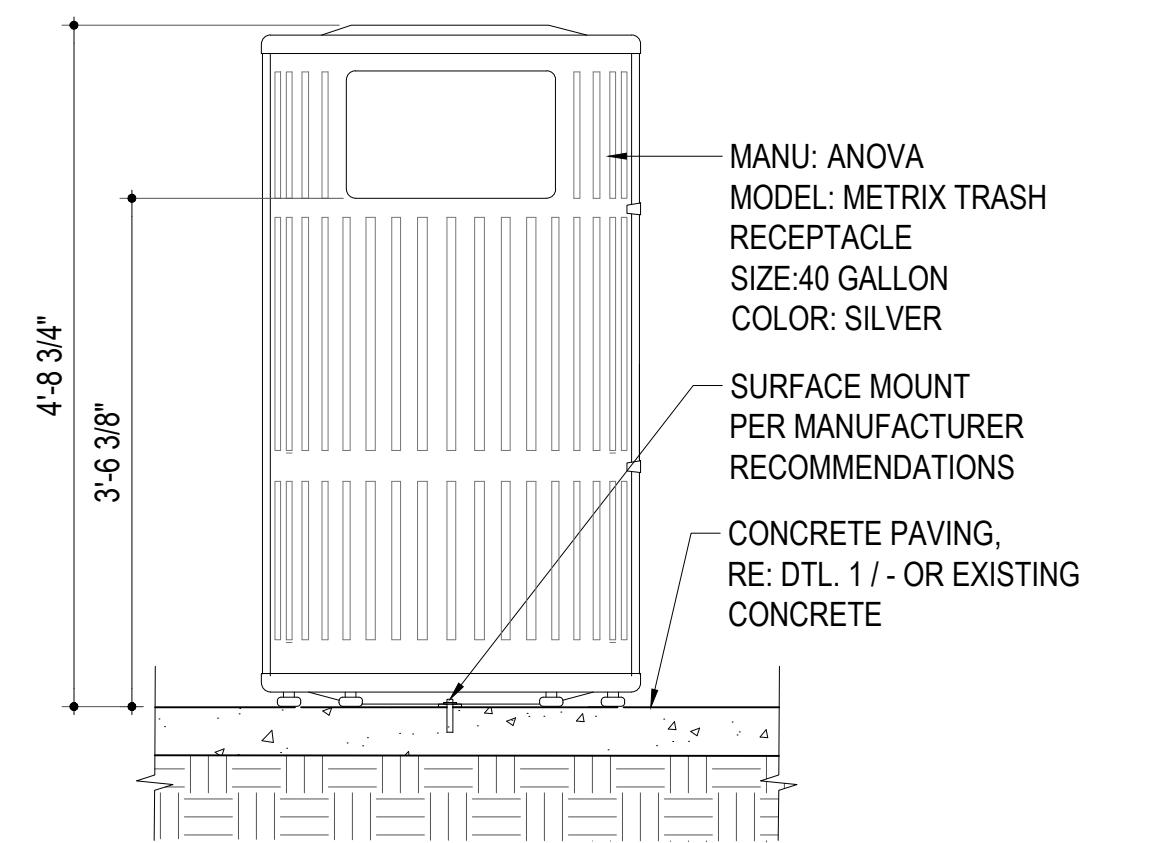


CONCRETE BOLLARD DETAIL

SCALE: NTS



CONCRETE JOINTING DETAIL
SCALE: 1" = 1'-0"



TRASH RECEPTACLE DETAIL
SCALE: 3/4" = 1'-0"

SHEET TITLE
SITE DETAILS

SHEET NUMBER
9 OF 13

EXTERIOR ELEVATION MATERIAL LEGEND

	ADHERED STONE VENEER (SUNSET STONE, LEDGE STONE, CHEYENNE)
	EIFS (SUNSET STONE, LEDGE STONE, CHEYENNE)
	PREFINISHED METAL PANEL SYSTEM - FLUSH (FLYNN ACCUMIN SYSTEM)
	VISION GLAZING
	SPANDREL GLAZING
	PREFINISHED METAL ROOF SCREEN
	PRECAST CONCRETE
	PREFINISHED BRAKE METAL FASCIA
	WOOD LOOK METAL PANEL (SOFFIT) BASIS OF DESIGN: LONGBOARD COLOR: LIGHT CHERRY
	ALUMINUM SUNSHADE, COLOR TO MATCH ALUMINUM STOREFRONT SYSTEM
	PREFINISHED BRAKE METAL PARAPET CAP

ELEVATIONS GENERAL NOTES

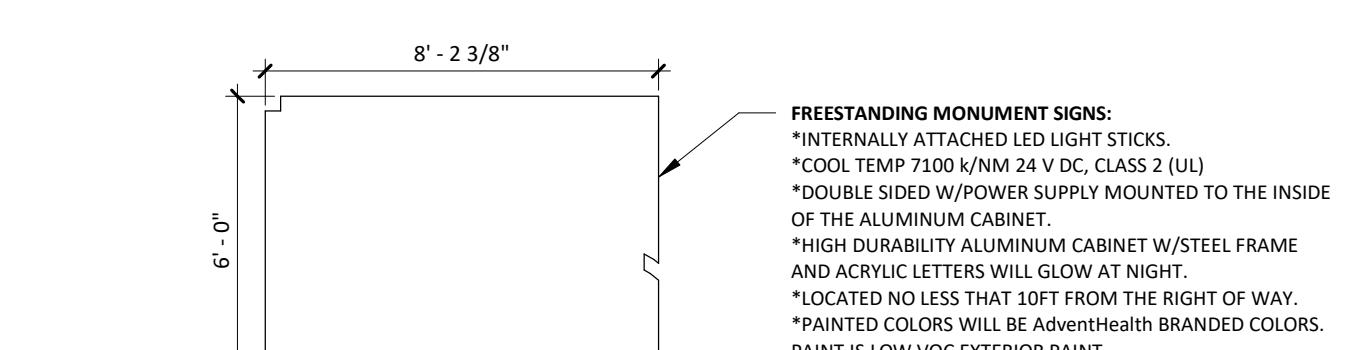
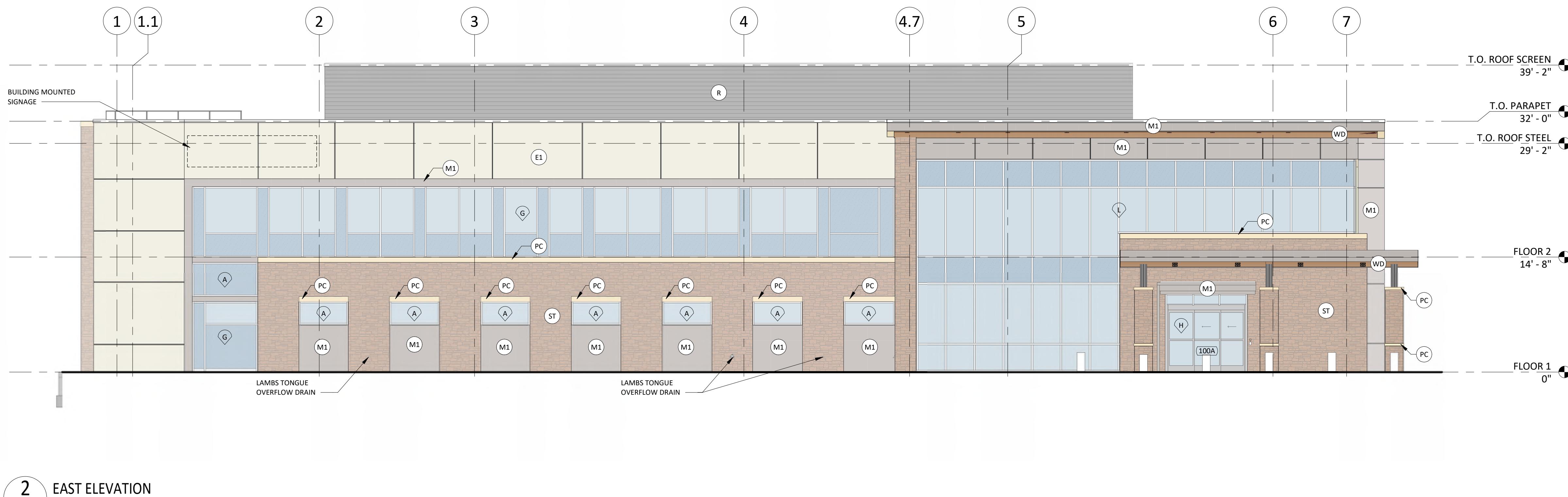
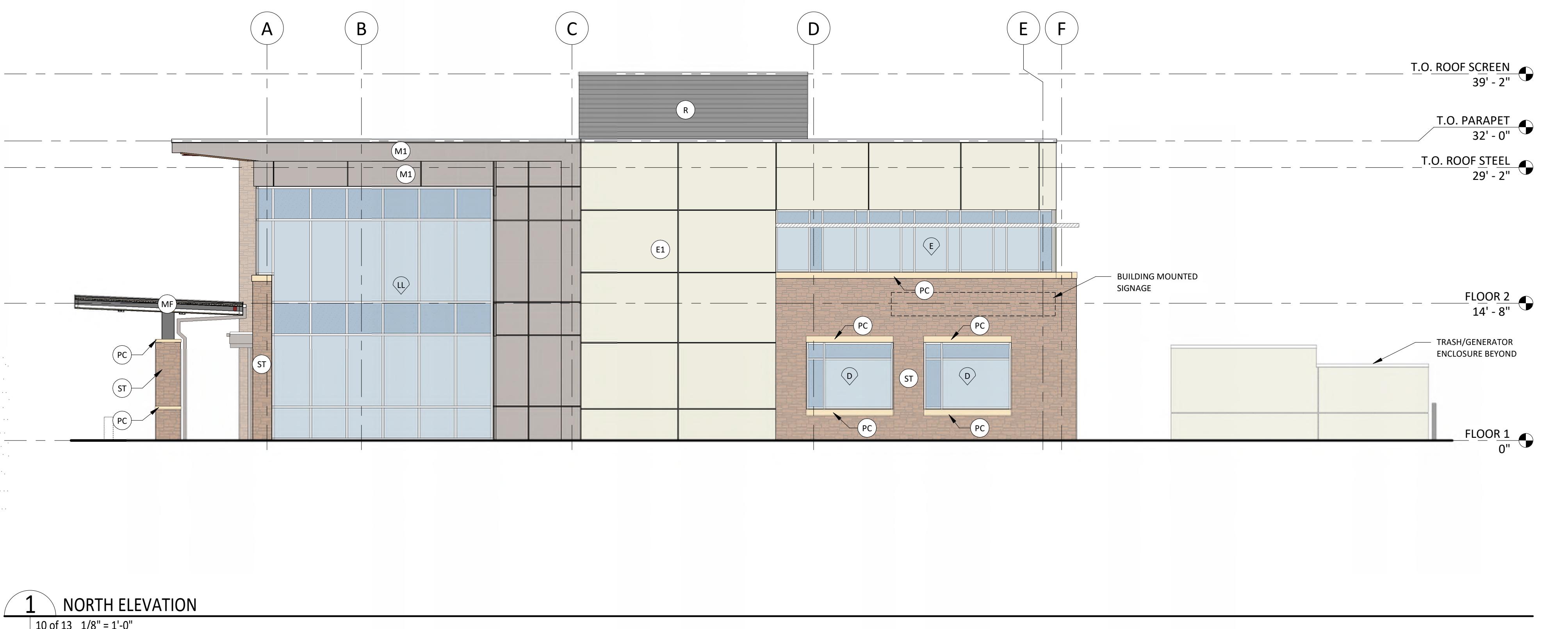
1.) ALL SIGNAGE LOCATED ON THE SECOND FLOOR OF THE EAST AND NORTH FAÇADE ELEVATIONS FACING PLUM CREEK BOULEVARD WILL NOT INCLUDE ANY LIGHTED ELEMENTS, INCLUDING BUT NOT LIMITED TO BACKLIT DISPLAYS, FAÇADE LIGHTING DIRECTED AT ANY SIGNAGE, AND/OR CHANGING MESSAGE BOARDS.

2.) ALL IDENTIFICATION SIGNAGE LOCATED ON THE FIRST FLOOR OF THE EAST AND NORTH FAÇADE ELEVATIONS FACING PLUM CREEK BOULEVARD MAY BE INTERNALLY LIT WITH LOW LIGHT LEVELS.

**SITE DEVELOPMENT
PLAN**

DATE	2/14/2025
REVISIONS	

DESCRIPTION DATE

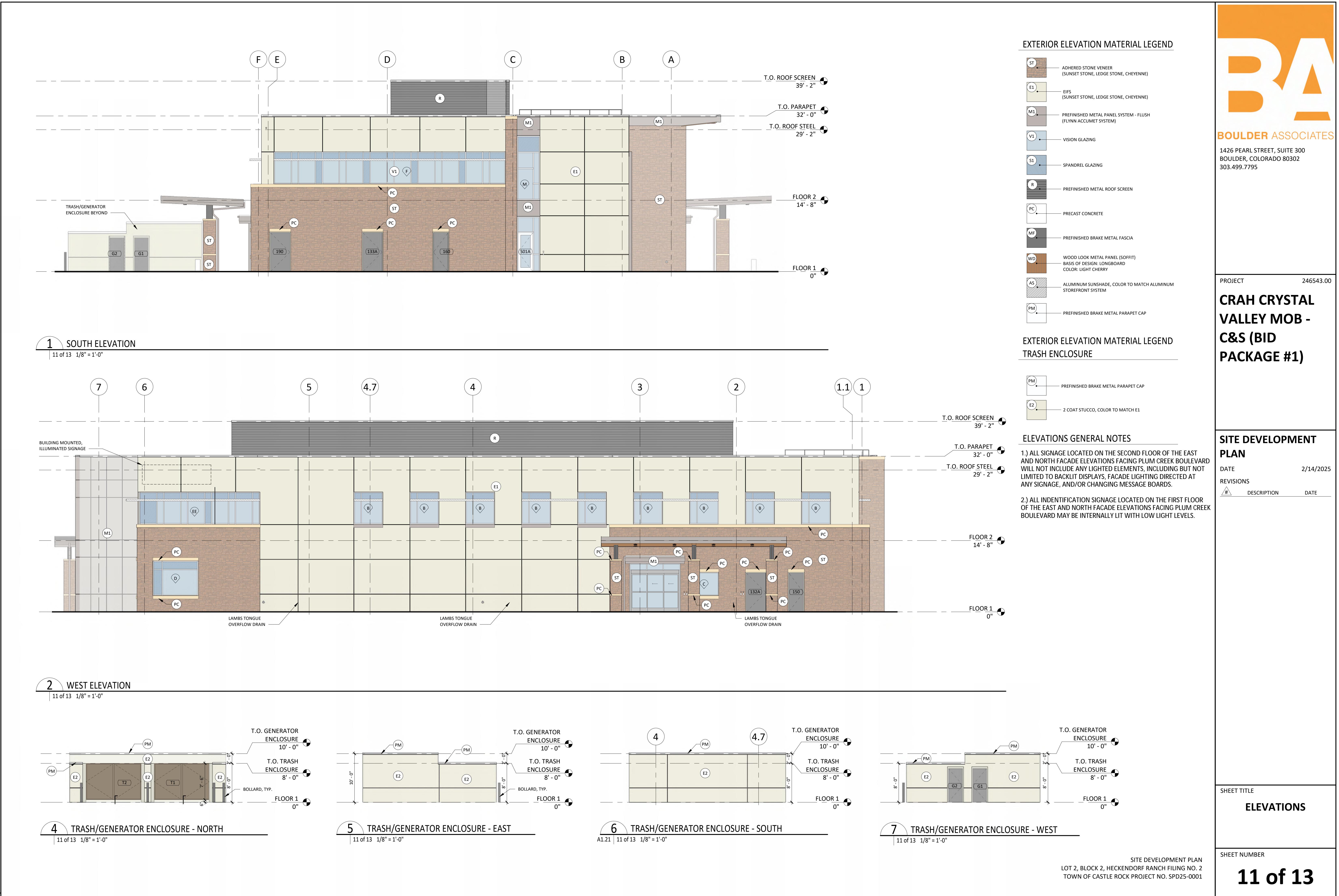


SHEET TITLE

ELEVATIONS

SHEET NUMBER

10 of 13





VIEW TOWARDS THE MAIN ENTRANCE, FROM THE SOUTH CORNER OF THE PARKING LOT



VIEW TOWARDS THE MAIN ENTRANCE, FROM THE PATIENT DROP-OFF



VIEW FROM PLUM CREEK BOULEVARD SHOWING LANDSCAPING ABOVE THE PARKING LOT RETAINING WALL



VIEW FROM THE ROUNDABOUT AT PLUM CREEK BOULEVARD AND CRYSTAL VALLEY PARKWAY

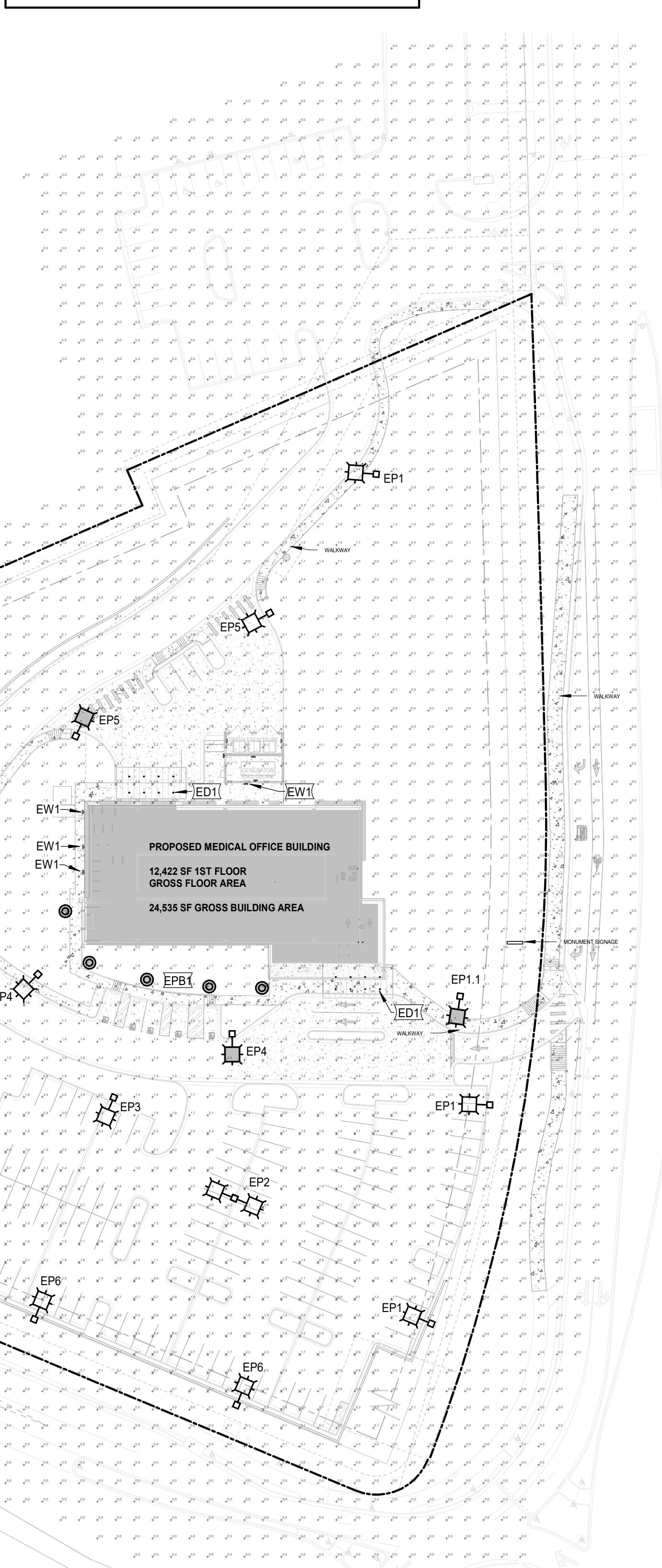
 PROJECT 246543.00
CRAH CRYSTAL VALLEY MOB - C&S (BID PACKAGE #1)
SITE DEVELOPMENT PLAN

 DATE 2/14/2025
 REVISIONS
 # DESCRIPTION DATE

 SHEET TITLE
RENDERINGS

SHEET NUMBER

SITE PLAN LEGEND											
PROPERTY LINE											
EASEMENT											
SETBACK											


ELECTRICAL SITE PLAN
SCALE: 1" = 50'-0"

Site Luminary Summary Table																		
Luminaire				Lamps														
ID/ Symbol	Manufacturer	Model	Catalog Number	Description	Full Cut Off (Y/N)	Distribution	Voltage	Dimming	Quantity	Mounting	Mounting Height	Quantity	Type	Watts	Lumens	Color Temp/CRI	Light loss factor	Fixture Finish
◎	ED1	GOTHAM	EVO6	6" RECESSED EXTERIOR LED DOWNLIGHT, MEDIUM DISTRIBUTION, 0-10V DIMMING DRIVER, OUTDOOR RATED	Y	MEDIUM	277	0-10V	16	RECESSED	14'-0"	1	LED	3.4	250	4000K/80CRI	1	WHITE
□	EP1	LITHONIA	DSX1	POLE MOUNTED LED LUMINAIRE, SINGLE HEAD, P4, TYPE 3 EXTREME BACKLIGHT CONTROL, WET LOCATION RATED, WITH PHOTOCELL, 22' TALL BLACK SQUARE STRAIGHT STEEL POLE WITH 3' CONCRETE BASE	Y	TYPE II, BACKLIGHT CTRL	277	0-10V	5	POLE MOUNTED	22'-0"	1	LED	124	11,190	4000K/80CRI	1	BLACK
□	EP1.1	LITHONIA	DSX1	POLE MOUNTED LED LUMINAIRE, SINGLE HEAD, P4, TYPE 3 LEFT CORNER CUTOFF, WET LOCATION RATED, WITH PHOTOCELL, 22' TALL BLACK SQUARE STRAIGHT STEEL POLE WITH 3' CONCRETE BASE	Y	TYPE III, LEFT CORNER CUTOFF	277	0-10V	1	POLE MOUNTED	22'-0"	1	LED	124	11,190	4000K/80CRI	1	BLACK
□	EP2	LITHONIA	DSX1	POLE MOUNTED LED LUMINAIRE, DUAL HEAD, P4, TYPE 3 MEDIUM, WET LOCATION RATED, WITH PHOTOCELL, 22' TALL BLACK SQUARE STRAIGHT STEEL POLE WITH 3' CONCRETE BASE	Y	TYPE III MEDIUM	277	0-10V	1	POLE MOUNTED	22'-0"	1	LED	204	27,526	4000K/80CRI	1	BLACK
□	EP3	LITHONIA	DSX1	POLE MOUNTED LED LUMINAIRE, SINGLE HEAD, P4, TYPE 3 MEDIUM, WET LOCATION RATED, WITH PHOTOCELL, 22' TALL BLACK SQUARE STRAIGHT STEEL POLE WITH 3' CONCRETE BASE	Y	TYPE III MEDIUM	277	0-10V	1	POLE MOUNTED	22'-0"	1	LED	124	15,383	4000K/80CRI	1	BLACK
□	EP4	LITHONIA	DSX1	POLE MOUNTED LED LUMINAIRE, SINGLE HEAD, P4, TYPE 5 MEDIUM, WET LOCATION RATED, WITH PHOTOCELL, 22' TALL BLACK SQUARE STRAIGHT STEEL POLE WITH 3' CONCRETE BASE	Y	TYPE V MEDIUM	277	0-10V	2	POLE MOUNTED	22'-0"	1	LED	124	16,063	4000K/80CRI	1	BLACK
□	EP5	LITHONIA	DSX1	POLE MOUNTED LED LUMINAIRE, SINGLE HEAD, P4, TYPE 5 LOW GLARE, WET LOCATION RATED, WITH PHOTOCELL, 22' TALL BLACK SQUARE STRAIGHT STEEL POLE WITH 3' CONCRETE BASE	Y	TYPE V, LOW GLARE	277	0-10V	2	POLE MOUNTED	22'-0"	1	LED	124	16,110	4000K/80CRI	1	BLACK
□	EP6	LITHONIA	DSX1	POLE MOUNTED LED LUMINAIRE, SINGLE HEAD, P4, TYPE 3 EXTREME BACKLIGHT CONTROL, WET LOCATION RATED, WITH PHOTOCELL, 22' TALL BLACK SQUARE STRAIGHT STEEL POLE WITH 3' CONCRETE BASE	Y	TYPE III, BACKLIGHT CTRL	277	0-10V	3	POLE MOUNTED	22'-0"	1	LED	102	10,011	4000K/80CRI	1	BLACK
◎	EPB1	LITHONIA	DSXB	PEDESTRIAN BOLLARD, FULL CUTOFF, SYMMETRIC DISTRIBUTION	Y	N/A	277	0-10V	5	BOLLARD	3'-6"	1	LED	20	1,558	4000K/80CRI	1	BLACK
□	EW1	LITHONIA	WDGE	WDGE2-P2-40K-80CRI-VW-MVOLT-SRM 11.5" WIDE X 9" TALL LED WALL SCONCE, VISUAL COMFORT, TYPE 3 MEDIUM OPTIC	Y	N/A	277	0-10V	9	SURFACE	10'-0"	1	LED	10	2,000	4000K/80CRI	1	BLACK

LIGHTING LEGEND

Not all symbols listed below are used on these drawings

SYMBOL	DESCRIPTION
■	WALL MOUNTED LUMINAIRE
□	POLE LUMINAIRE - ARM MOUNTED
◎	BOLLARD
○	DOWNLIGHT - RECESSED
□	WALKWAY

CASTLE ROCK ILLUMINATION PLAN STANDARD NOTES

1. LIGHT LOSS FACTOR IS 1 (SHOWN ON LUMINARY SUMMARY TABLE)

2. HOURS OF LIGHT OPERATION AND HOW THIS WILL BE ACHIEVED IS LISTED IN THE LIGHTING CONTROLS DESCRIPTION TABLE.

3. WALKWAYS AND GENERAL SITE LIGHTING OBJECTIVE: PROVIDE LIGHTING FOR WALKWAYS PER LIFE SAFETY CODE REQUIREMENTS FOR PATH OF EGRESS TO THE PUBLIC WAY + MEET CASTLE ROCK'S MAXIMUM INITIAL LIGHTING LEVELS.

4. MITIGATION EFFORTS FOR NEIGHBORING PROPERTIES: FOOTCANDLE LEVELS ARE AT 0.0 AT 10' PAST THE PROPERTY LINE.

5. EXTERIOR LIGHTING FOR EGRESS TRAVEL TO THE PUBLIC WAY COMPLIES WITH THE CURRENT BUILDING CODE (IRC 2021)

6. FORWARD THROW LUMINAIRES: THE FOLLOWING LIGHTING TYPES ARE PROHIBITED AND HAVE NOT BEEN SPECIFIED: FORWARD THROW LUMINAIRES (TYPE IV DISTRIBUTION), POLE-MOUNTED LIGHTS AIMED AT BUILDING'S FAÇADE, AND UNSHELDED WALL PACKS ARE PROHIBITED.

MONUMENT SIGNAGE INFORMATION:

- MOUNTING: FREESTANDING AT GROUND LEVEL.
- MATERIAL: HIGH DURABILITY ALUMINUM WITH STEEL FRAME AND ACRYLIC LETTERS THAT GLOW.
- PARKING LOT AREA OBJECTIVE: PROVIDE LIGHTING FOR THE PARKING AREA PER LIFE SAFETY CODE REQUIREMENTS + MEET CASTLE ROCK'S MAXIMUM INITIAL LIGHTING LEVELS.
- LUMINANCE: 931 LUMENS/LIGHT STICK. 4 LIGHT STICKS PER SIGN, DOUBLE SIDED.
- MONUMENT SIGNAGE FOOTPRINT AND FOOTCANDLE IMPACT ARE SHOWN ON THE PHOTOMETRIC PLAN.

TYPE	AFTER BUSINESS HOURS CONTROLS	BUSINESS HOURS CONTROLS	CONTROL SYSTEM TYPE
BUILDING MOUNTED EXTERIOR	TIME CLOCK SCHEDULE: TURN ON AT DUSK AND TURN OFF AT SUNRISE. HOURS WILL VARY BASED ON WHEN THE SUN GOES UP AND DOWN AND WILL BE ADJUSTED ACCORDINGLY.	TIME CLOCK SCHEDULE, PHOTOCELL CONTROL	PROGRAMMABLE & ADJUSTABLE
SITE	PHOTOCELL & TIME CLOCK SCHEDULE: 50% LIGHT LEVEL REDUCTION FROM 10PM TO 6AM WHEN NO MOTION IS DETECTED.	TIME CLOCK SCHEDULE, PHOTOCELL CONTROL	PROGRAMMABLE & ADJUSTABLE
ALL MONUMENT & BLDG SIGNAGE	PHOTOCELL CONTROL. HOURS VARY BASED ON WHEN THE SUN GOES UP & DOWN. SIGNAGE IS OFF WHEN SUNLIGHT IS DETECTED. SIGNAGE INTERNALLY LIT FROM SUNSET TO SUNRISE. 50% LIGHT LEVEL REDUCTION FROM 10PM TO 6AM.	TIME CLOCK SCHEDULE, PHOTOCELL CONTROL	PROGRAMMABLE & ADJUSTABLE

CALCULATION SUMMARY TABLE

Description	Avg	Max	Min	Max/Min	Avg/Min
Parking South	1.4 ft	4.3 ft	0.2 ft	21.5:1	7.0:1
Small Parking Spaces - North	0.6 ft	0.9 ft	0.4 ft	2.3:1	1.5:1
South Canopy	2.7 ft	4.5 ft	0.7 ft	6.4:1	3.9:1
Walkway to the Public Way	1.7 ft	2.9 ft	0.8 ft	3.6:1	2.1:1
North Canopy	3.0 ft	4.8 ft	1.5 ft	3.2:1	2.0:1

CASTLE ROCK MAXIMUM MOUNTING HEIGHT = 25'-0"

ALL LIGHT POLES ON SITE ARE MOUNTED AT 22'-0"

