## LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

#### **PURPOSE STATEMENT**

THE PURPOSE OF THIS AMENDMENT TO SDP18-0010 IS TO REVISE THE SITE DEVELOPMENT PLAN TO PROVIDE A RESIDENTIAL DEVELOPMENT CONSISTING OF 26 TOWNHOME-FOR-RENT BUILDINGS, A CLUBHOUSE WITH AN AMENITY AREA, AND ASSOCIATED INFRASTRUCTURE.

#### **SITE DEVELOPMENT PLAN GENERAL NOTES:**

- 1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE
- 2. PURSUANT TO SECTION 4.3 AND 8.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER
- THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION
- 4. THIS PROPERTY IS NOT LOCATED WITHIN A REGULATED FLOODPLAIN OR WETLAND. PROPERTY IS LOCATED WITHIN ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE FLOODPLAIN. REFERENCE FIRM MAP NUMBER 08035CO303G DATED 3/16/2016.
- 5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- 6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO
- 7. APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- 8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- 9. THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THIS SITE DEVELOPMENT PLAN
- 10. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- 11. THIS SITE IS ZONED MF / VC WITHIN THE HECKENDORF RANCH PDP AMD NO. 4.
- 12. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- 13. RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4-FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL AND RETAINING WALLS. REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE
- STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK. 14. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE
- 15. THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN

#### **FIRE NOTES:**

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- 2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- 3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- 4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- 5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- 6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- 7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- 8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING
- 9. THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT,

#### **LEGAL DESCRIPTION**

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3 ACCORDING TO THE RECORDED PLAT THEREOF. COUNTY OF DOUGLAS, STATE OF COLORADO.

#### **BENCHMARK**

BENCHMARK IS NGS POINT "X 396". THE MONUMENT IS A STEEL ROD WITH A PUNCH MARK INSIDE OF A PVC PIPE SET IN CONCRETE. ACCESS TO THE MONUMENT IS THROUGH A 5" LOGO CAP LOCATED 0.25 MILES SOUTH OF THE INTERSECTION OF DOUGLAS LANE LEADING EAST, 121.1 FT EAST OF THE CENTERLINE OF THE NORTH BOUND LANES OF INTERSTATE 25, 86.6 FT SOUTH OF THE CENTER OF A PRIVATE DRIVE LEADING EAST TO A FRAME HOUSE, 38.1 FT EAST OF THE CENTERLINE OF THE EAST FRONTAGE ROAD OF INTERSTATE 25, 5.6 FT NORTH OF A UTILITY POLE, ABOUT LEVEL WITH THE HIGHWAY, AND 1 FT WEST OF A FIBERGLASS WITNESS POST AND SHEET FENCE. ELEVATION = 6355.09, NAVD 88.

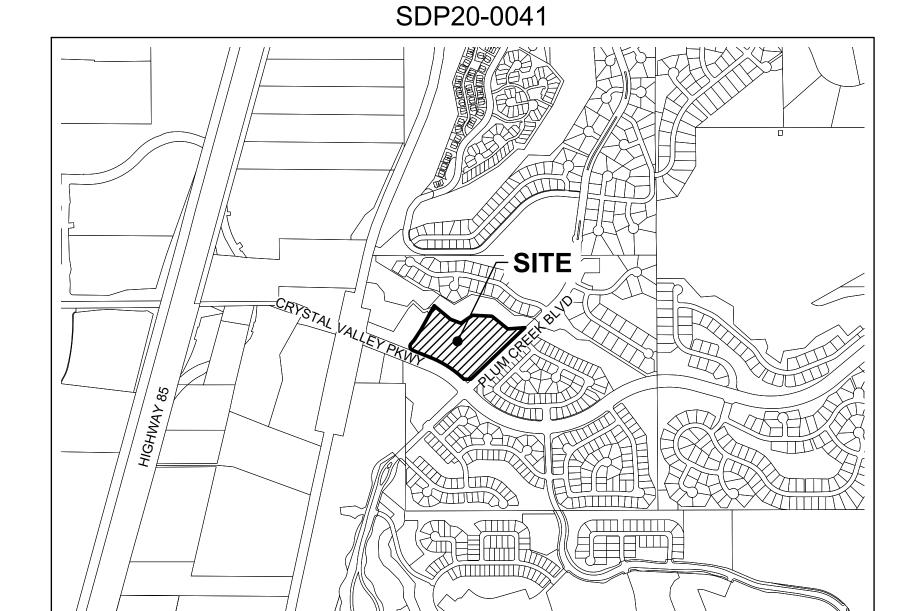
#### BASIS OF BEARING

BEARINGS ARE BASED ON THE SOUTHEASTERLY LINE OF LOT 1, BLOCK1, 1ST AMENDMENT TO HECKENDORF RANCH FILING NO. 2 RECORDED AT RECEPTION NO. 2008030059, MONUMENTED AS SHOWN HEREONE AS BEARING SOUTH 46°19'43" WEST.

#### WATER RIGHTS DEDICATION AGREEMENT

THE PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN KNOWN AS, LOT 1, HECKENDORF RANCH FILING 2 AMENDMENT NO. 3 RECORDED IN RECEPTION NO. 2018058620 WILL CREDIT BACK 31.69 SFE TO THE HECKENDORF RANCH FILING NO. 2 WATER BANK WITH THE RECORDATION OF SITE DEVELOPMENT PLAN AMENDMENT NO. 1, LOT 1, HECKENDORF RANCH FILING 2, AMENDMENT NO. 3

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE HECKENDORF RANCH FILING NO. 2 AGREEMENT RECORDED ON THE 17 DAY OF MARCH, 2006 AT RECEPTION NO. 2006022150 AND ACCORDINGLY 48.42 SFE ARE DEBITED FROM THE WATER BANK.





SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
1	COVER SHEET	CS1
2	TYPICAL STREET SECTIONS	TS1
3	GENERAL SITE PLAN	SP1
4-6	DETAILED SITE PLANS	SP2-SP4
7	GENERAL GRADING PLAN	GR1
8	SITE SECTIONS	SS1
9	GENERAL UTILITY PLAN	UT1
10	GENERAL LANDSCAPE PLAN	LS.1
11	LANDSCAPE DATA & NOTES	LS.2
12-14	DETAILED LANDSCAPE PLANS	LS.3-LS.5
15	LANDSCAPE DETAILS	LS.6
16	3-PLEX - ELEVATIONS (COLOR SCHEME 1)	A1.1
17	3-PLEX - ELEVATIONS (COLOR SCHEME 2)	A1.2
18	3-PLEX - ELEVATIONS (COLOR SCHEME 3)	A1.3
19	4-PLEX - ELEVATIONS (COLOR SCHEME 1)	A2.1
20	4-PLEX - ELEVATIONS (COLOR SCHEME 2)	A2.2
21	4-PLEX - ELEVATIONS (COLOR SCHEME 3)	A2.3
22	AMENITY CENTER - ELEVATIONS (COLOR SCHEME 1)	A3.0
23	GENERAL LIGHTING PLAN	EL1.0
24	LIGHTING DETAILS	EL1.1
25	LIGHTING DETAILS	EL1.2

**CIVIL ENGINEER'S STATEMENT** 

CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER

RECORDER OF DOUGLAS COUNTY AT \_\_\_

TOWN COUNCIL APPROVAL

OWNERSHIP CERTIFICATION

NOTARY PUBLIC

MY COMMISSION EXPIRES:

WITNESS MY HAND AND OFFICIAL SEAL.

ATTEST:

DOUGLAS COUNTY CLERK AND RECORDER

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

BEING A REGISTERED PROFESSIONAL ENGINEER IN

THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND

AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS

, 20 AT RECEPTION NO. \_\_

ROCK, COLORADO, ON THE \_\_\_\_\_\_ DAY OF \_\_\_\_\_\_, 20\_\_\_\_\_\_

COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_

SIGNED THIS \_\_\_\_\_\_, 20\_\_\_\_\_\_\_,

DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK,

FDG EPOQUE CASTLE ROCK ASSOCIATES, LLC, A COLORADO LIMITED LIABILITY COMPANY

\_\_\_ ON THE \_\_\_\_ DAY OF

#### SURVEYOR'S CERTIFICATE

, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY

REGISTERED LAND SURVEYOR

#### TITLE CERTIFICATION

SIGNED THIS \_\_\_\_\_ DAY OF \_\_

AN AUTHORIZED REPRESENTATIVE OF \_, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE TITLE COMPANY

PLANNING COMMISSION RECOMMENDATION

THIS SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE \_\_\_\_\_ DAY OF \_\_\_\_

ATTEST: DIRECTOR OF DEVELOPMENT SERVICES

OWNER/DEVELOPER

WATERMARK EQUITY GROUP, LLC 206 N MAIN ST WHEATON, IL 60187 PHONE: (713) 851-6592 JOHN MORGAN

**ENGINEER** 

CAGE CIVIL ENGINEERING 999 18TH ST, S2110 **DENVER, CO 80202** PHONE: (630) 598-0007 DAN KATZ, PE

LANDSCAPE ARCHITECT TIM DUNN DESIGN

6948 DAVENTRY PLACE CASTLE PINES, CO 80108 PHONE: (720) 350-2411 TIM DUNN

**ARCHITECT DANIELIAN ASSOCIATES 60 CORPORATE PARK** IRVINE, CA 92606

PHONE: (949) 474-6030 ROBIN TITCHER

SURVEYOR **AZTEC CONSULTANTS INC.** 

300 EAST MINERAL AVE. SUITE 1 LITTLETON, CO 80122 PHONE: (303) 327-7488 DANIEL E. DAVIS, PLS

		UTILITY CONNECTION BY BUILDIN	NG	
BUILDING TYPE	NUMBER OF BUILDINGS	NO. OF DOMESTIC METERS	NO. FIRE CONNECTIONS	NO. SANITARY SERVICES (SIZE)
TOWNHOME (4 UNITS)	24	1	0	4 (4")
TOWNHOME (3 UNITS)	2	1	0	3 (4")
CLUBHOUSE	1	1	0	1 (4")

SITE	UTILIZATION TABLE		
LAND USE	AREA (AC)	AREA (SF)	PERCENTAGE
OPEN SPACE/LANDSCAPING	4.53	197,370	42%
PRIVATE HARDSCAPE/STREETS	3.24	141,015	30%
BUILDING COVERAGE	2.54	110,485	24%
PARKING	0.12	5,278	1%
GRAVEL MAINTENANCE TRAIL	0.31	13,688	3%
TOTAL	10.74	467,836	100%

	ZONING COMPARISON	CHART	
ZONING	MF / VC WITHIN THE HECKENDORF RANCH PLAN	NNED DEVELOPMENT AMENDMEN	NT NO. 4
USE AREA	USE AREA F		
TOTAL DWELLING UNITS	102		
1-BEDROOM UNITS	24		
2-BEDROOM UNITS	52		
3-BEDROOM UNITS	26		
	DD DEGUIDENENE	PRO	VIDED
	PD REQUIREMENT	SDP18-0010 (PREVIOUS SDP)	SDP20-0041 (THIS SDP)
PERMITTED USES	MF - MULTIFAMILY, INCLUDING TOWNHOUSES VC - VILLAGE CENTER	115 APARTMENTS 40 TOWNHOMES	102 TOWNHOUSES
PRIVATE OPEN SPACE	20%	55%	42%
MAXIMUM DWELLING UNITS PER USE AREA	16 DU/ACRE	14.4 DU/ACRE (155 UNITS / 10.74 AC)	9.5 DU/ACRE (102 UNITS / 10.74 AC)
MAXIMUM BUILDING HEIGHT	35 FT	35 FT	25 FT 8 IN
CRYSTAL VALLEY PARKWAY SETBACK (DOUGLAS LANE)	30 FT	30 FT	35 FT
PLUM CREEK BOULEVARD SETBACK	30 FT	30 FT	30.5 FT
PUBLIC LAND DEDICATION SETBACK	20 FT	20 FT	30 FT
COMMERCIAL PROPERTIES SETBACK (WEST)	20 FT	20 FT	52 FT
MINIMUM DISTANCE BETWEEN BUILDINGS	15 FT	NOT INDICATED	24 FT
		TOTAL SPACES PROVIDED = 309	TOTAL SPACES PROVIDED = 249
	FOR MULTIFAMILY:	GARAGE SPACES PROVIDED = 201	GARAGE SPACES PROVIDE = 180
	STUDIO UNIT REQUIRES 1 SPACE	SURFACE SPACES PROVIDED = 108	SURFACE SPACES PROVID = 69
MINIMUM PARKING	ONE BEDROOM UNITS REQUIRE 1.5 SPACES  TWO AND THREE BEDROOM UNITS REQUIRE 2	TOTAL SPACES REQUIRED = 302 SPACES	TOTAL SPACES REQUIRED = 218 SPACES
	SPACES	9 X 1 = 9 SPACES	N/A
	PLUS 1 SPACE PER FOUR DWELLING UNITS	56 X 1.5 = 84 SPACES	24 X 1.5 = 36 SPACES
	FOR VISITOR PARKING	59 X 2 = 118 SPACES	52 X 2 = 104 SPACES
		31 X 2 = 62 SPACES	26 X 2 = 52 SPACES
		115/4 X 1 = 29 SPACES	102/4 X 1 = 26 SPACES
		ADA SPACES REQUIRED = 5	ADA SPACES REQUIRED =
MINIMUM ADA PARKING	51-75 LOT SPACES REQUIRES 3 ADA SPACES;	ADA SPACES PROVIDED = 12	ADA SPACES PROVIDED =
	101-150 REQUIRES 5 ADA SPACES	TOTAL LOT SPACES (FOR ADA CALCULATION) = 108	TOTAL LOT SPACES (FOR ADA CALCULATION) =

NOTE: DUE TO TOWNHOMES BEING A FOR-RENT PRODUCT, THE REQUIRED PARKING CALCULATION IS BEING BASED ON THE MULTIFAMILY PARKING REQUIREMENT RATHER THAN THE TOWNHOME PARKING REQUIREMENT.

PROJECT NO. SDP20-0041

	REV. NO.	REV. NO.   DESCRIPTION	.PQ
	3	REVISED PER TOWN COMMENTS	12/16/
Q	2	REVISED PER TOWN COMMENTS	12/01/
	_	REVISED PER TOWN COMMENTS	10/19/

ROJ NO: 200119

SHEET NUMBER

#### SITE DEVELOPMENT PLAN AMENDMENT NO. 1 LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3 SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO SDP20-0041 0.92' -FL-FL UTILITY AND ACCESS EASEMENT — 12' — EOA-EOA ATTACHED EOA-EOA ATTACHED WALK WALK ASPHALT PAVEMENT PER GEOTECHNICAL REPORT **VARIES** VARIES 2% MOUNTABLE CURB & GUTTER MS1 MOUNTABLE CURB & GUTTER MS1 CASTLE ROCK DETAIL CG-1 CASTLE ROCK DETAIL CG-1 PROPOSED STORM PROPOSED 8" PROPOSED 8" WATER PRIVATE STREET (26' FL - FL) N.T.S. PARKING STALL FL<sup>'</sup>-FL UTILITY AND AÇCESS EASEMENT ATTACHED EOA-EOA EOA-EOA ATTACHED - ASPHALT PAVEMENT PER GEOTECHNICAL REPORT VARIES ASPHALT PAVEMENT PER GEOTECHNICAL REPORT - MOUNTABLE CURB & GUTTER MS1 CASTLE ROCK DETAIL CG-1 - VERTICAL CURB & GUTTER TYPE VC1 CASTLE ROCK DETAIL CG-1 (SPILL CURB) STORM PROPOSED 8" WATER PROPOSED 8" SANITARY PRIVATE STREET W/ PARKING STALL N.T.S. \*NOTE: SEE SITE PLAN FOR EASEMENT LOCATION RELATIVE TO CENTERLINE UTILITY EASEMENT\* DRIVEWAY VARIES (SEE SITE PLAN FOR DETAILS) DRIVEWAY VARIES (SEE SITE PLAN FOR DETAILS) CONCRETE ALLEY VARIES 2% 4 4 4 4 4 4 4 4 4 4 4 4 4 4 - 3' PAN -CONCRETE PAVEMENT PER GEOTECHNICAL REPORT PROPOSED 8" -SANITARY PRIVATE ALLEY (24' EOC - EOC) N.T.S.

CIVIL ENGINEERING

REV. NO. DESCRIPTION DESCRIPTION

3 REVISED PER TOWN COMMENTS 12/16/2020

1 REVISED PER TOWN COMMENTS 12/01/2020

1 REVISED PER TOWN COMMENTS 10/19/2020

CANVAS AT CASTLE ROCK
TYPICAL STREET SECTIONS

NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUN
CASTLE ROCK, CO

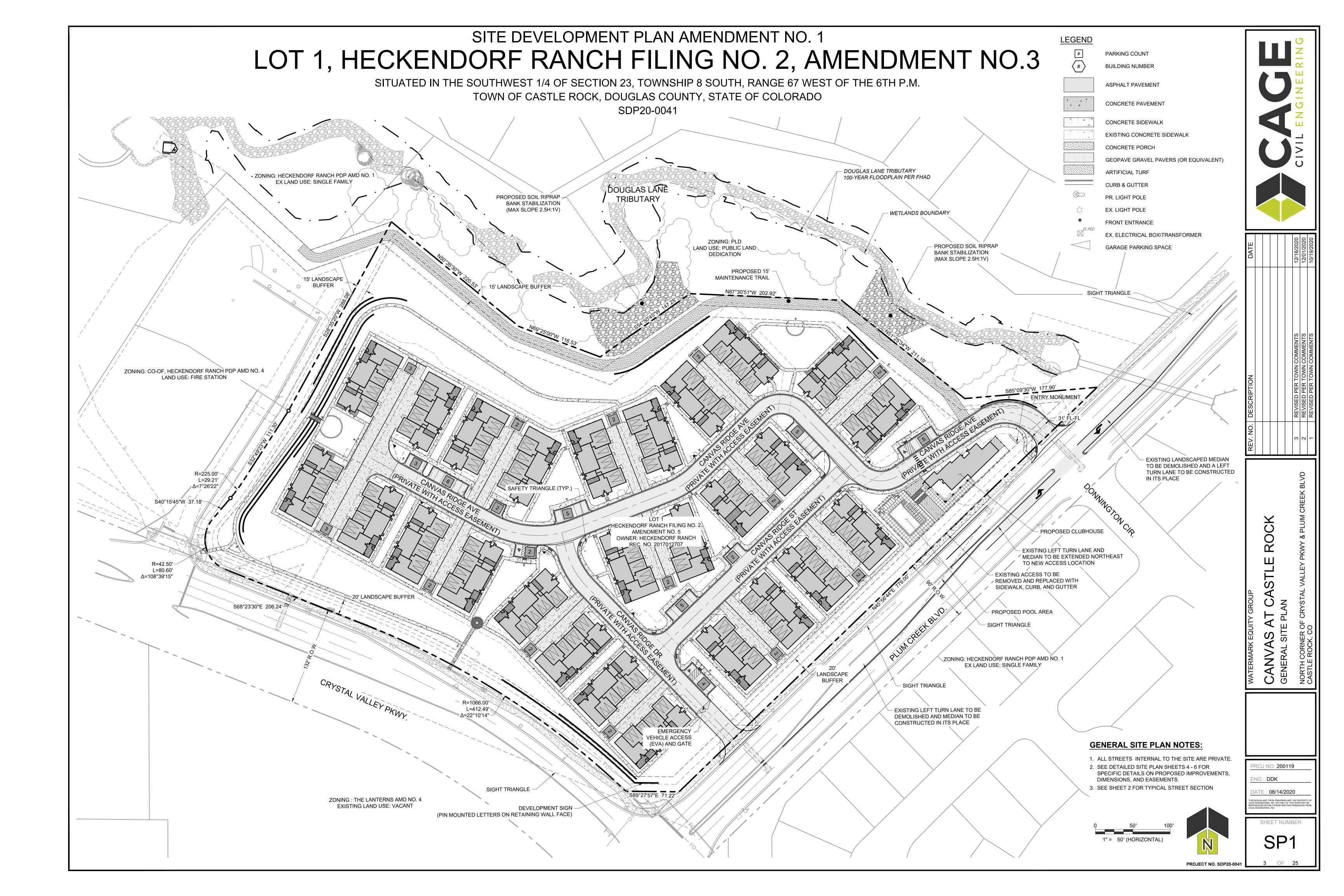
PROJ NO: 200119

ENG: DDK

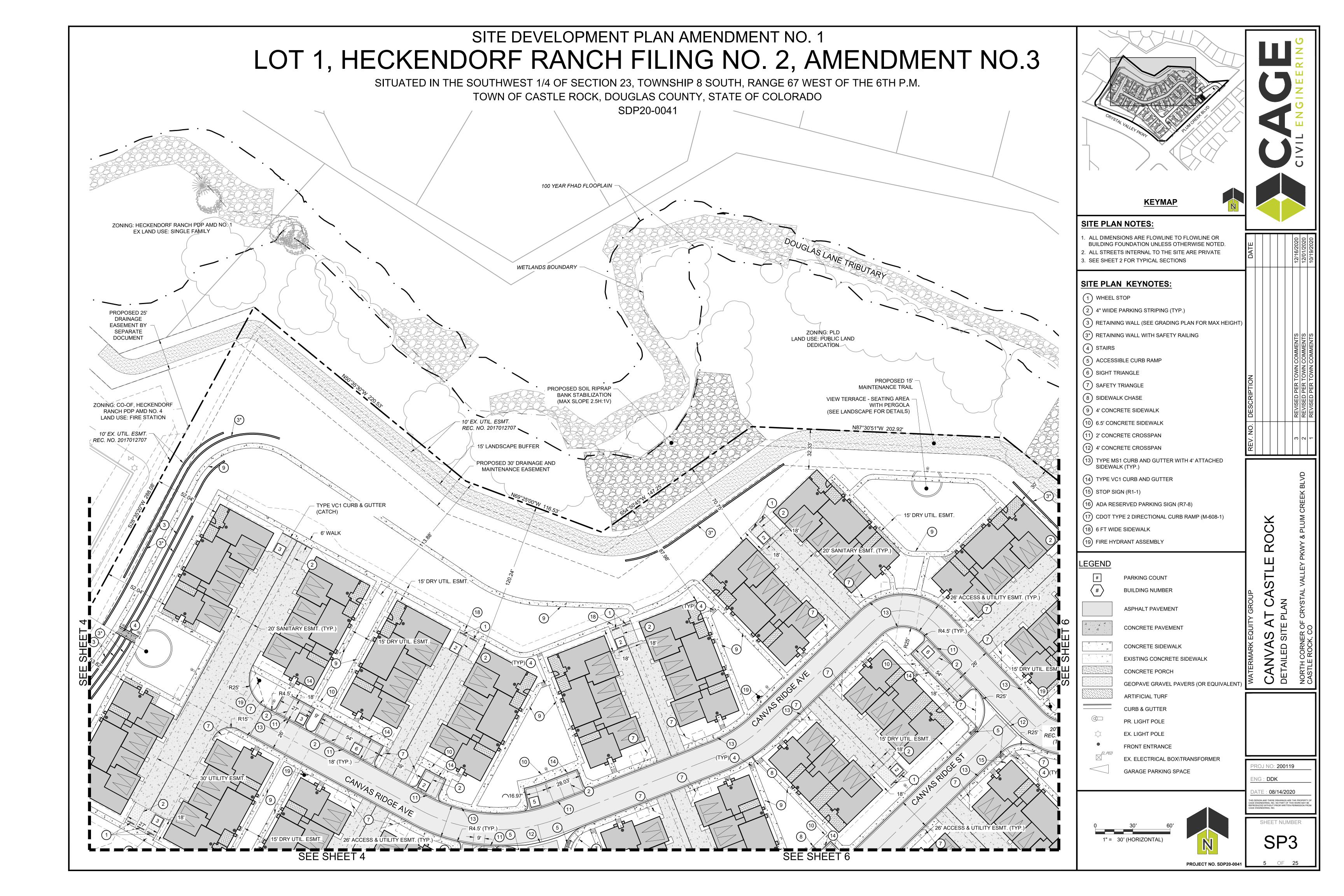
DATE: 08/14/2020

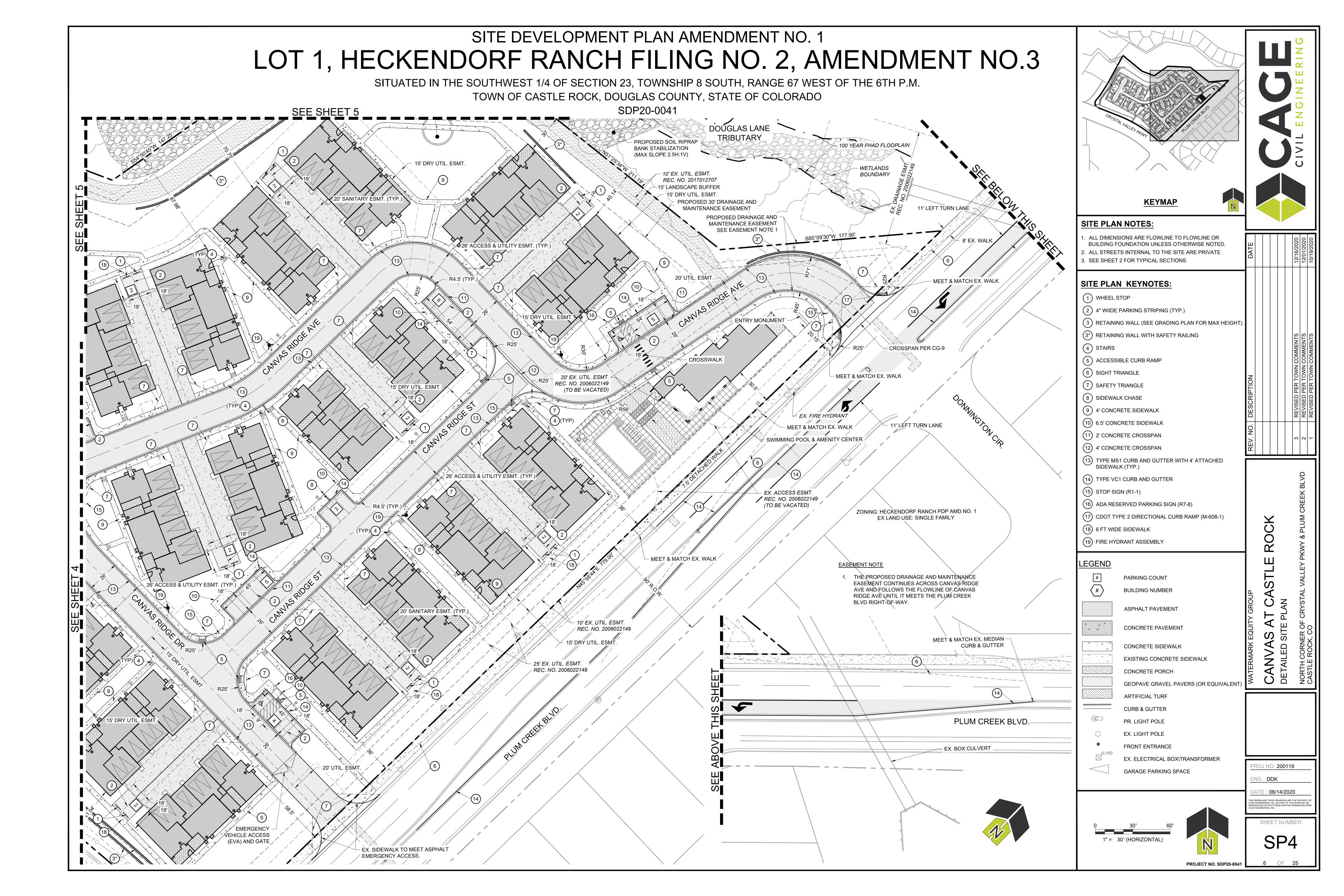
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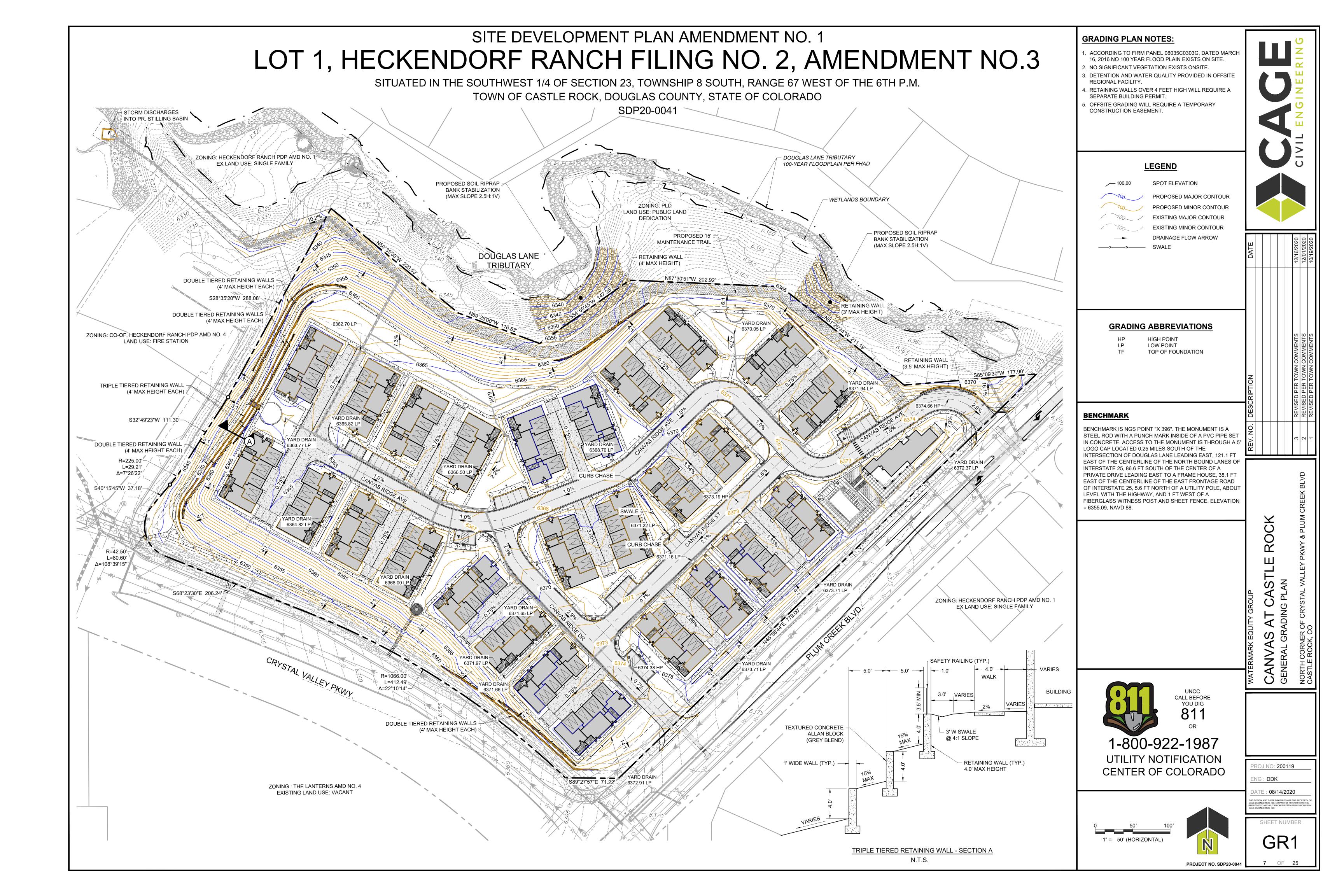
TS1



#### SITE DEVELOPMENT PLAN AMENDMENT NO. 1 LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3 SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO SDP20-0041 SEE SHEET 5 VIEW PARK - SEATING AREA WITH PERGOLA (SEE LANDSCAPE FOR DETAILS) ZONING: CO-OF, HECKENDORF RANCH PDP AMD NO. 4 LAND USE: FIRE STATION **KEYMAP** 15' LÁNDSCAPE BUFFÉR – 20' EX. UTIL. & DRAINAGE & SITE PLAN NOTES: ACCESS ESMT. ALL DIMENSIONS ARE FLOWLINE TO FLOWLINE OR BUILDING FOUNDATION UNLESS OTHERWISE NOTED. L=29.21' 3. SEE SHEET 2 FOR TYPICAL SECTIONS **SITE PLAN KEYNOTES:** (1) WHEEL STOP 2) 4" WIIDE PARKING STRIPING (TYP.) (3) RETAINING WALL (SEE GRADING PLAN FOR MAX HEIGHT (3\*) RETAINING WALL WITH SAFETY RAILING 4 STAIRS (5) ACCESSIBLE CURB RAMP (6) SIGHT TRIANGLE (7) SAFETY TRIANGLE (8) SIDEWALK CHASE 9 4' CONCRETE SIDEWALK (10) 6.5' CONCRETE SIDEWALK 20' UTILITY EASEMENT (11) 2' CONCRETE CROSSPAN (12) 4' CONCRETE CROSSPAN REC. NO. 2006022149 (13) TYPE MS1 CURB AND GUTTER WITH 4' ATTACHED 25' UTILITY EASEMENT -(14) TYPE VC1 CURB AND GUTTER (15) STOP SIGN (R1-1) 20' LANDSCAPE BUFFER 20' SANITARY ESMT. (TYP.) (16) ADA RESERVED PARKING SIGN (R7-8) (17) CDOT TYPE 2 DIRECTIONAL CURB RAMP (M-608-1) (18) 6 FT WIDE SIDEWALK 10' EX. UTIL. ESMT. (19) FIRE HYDRANT ASSEMBLY REC. NO. 2006022149 5' EX. UTIL. ESMT. LEGEND REC. NO. 2018009763 - 25' EX. UTIL. ESMT. REC. NO. 2006022149 PARKING COUNT **BUILDING NUMBER** CONNECT TO EX. SIDEWALK -15' DRY UTIL. ESM ASPHALT PAVEMENT CONCRETE PAVEMENT EX. FIRE HYDRANT CONCRETE SIDEWALK ANV L=412.49' EXISTING CONCRETE SIDEWALK CONCRETE PORCH GEOPAVE GRAVEL PAVERS (OR EQUIVALENT ARTIFICIAL TURF **CURB & GUTTER** \* EMERGENCY ZONING: THE LANTERNS AMD NO 4 VEHICLE ACCESS EXISTING LAND USE: VACANT PR. LIGHT POLE (EVA) AND GATE EX. LIGHT POLE FRONT ENTRANCE EX. ELECTRICAL BOX\TRANSFORMER PROJ NO: 200119 GARAGE PARKING SPACE ENG : DDK DEVELOPMENT SIGN -(PIN MOUNTED LETTERS ON RETAINING WALL FACE) SHEET NUMBER S89°27'57"E 71.22'-SP2 1" = 30' (HORIZONTAL) PROJECT NO. SDP20-0041

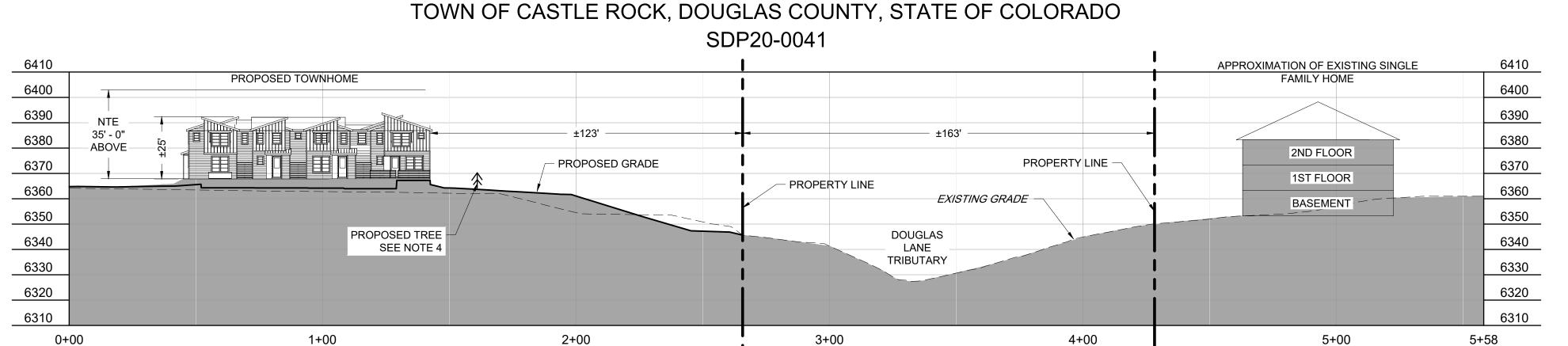


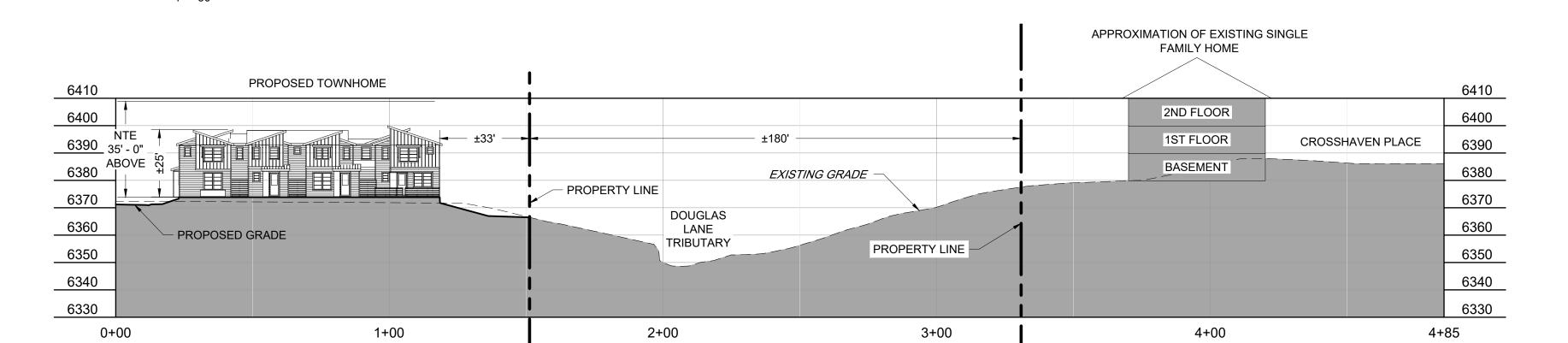




# LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.





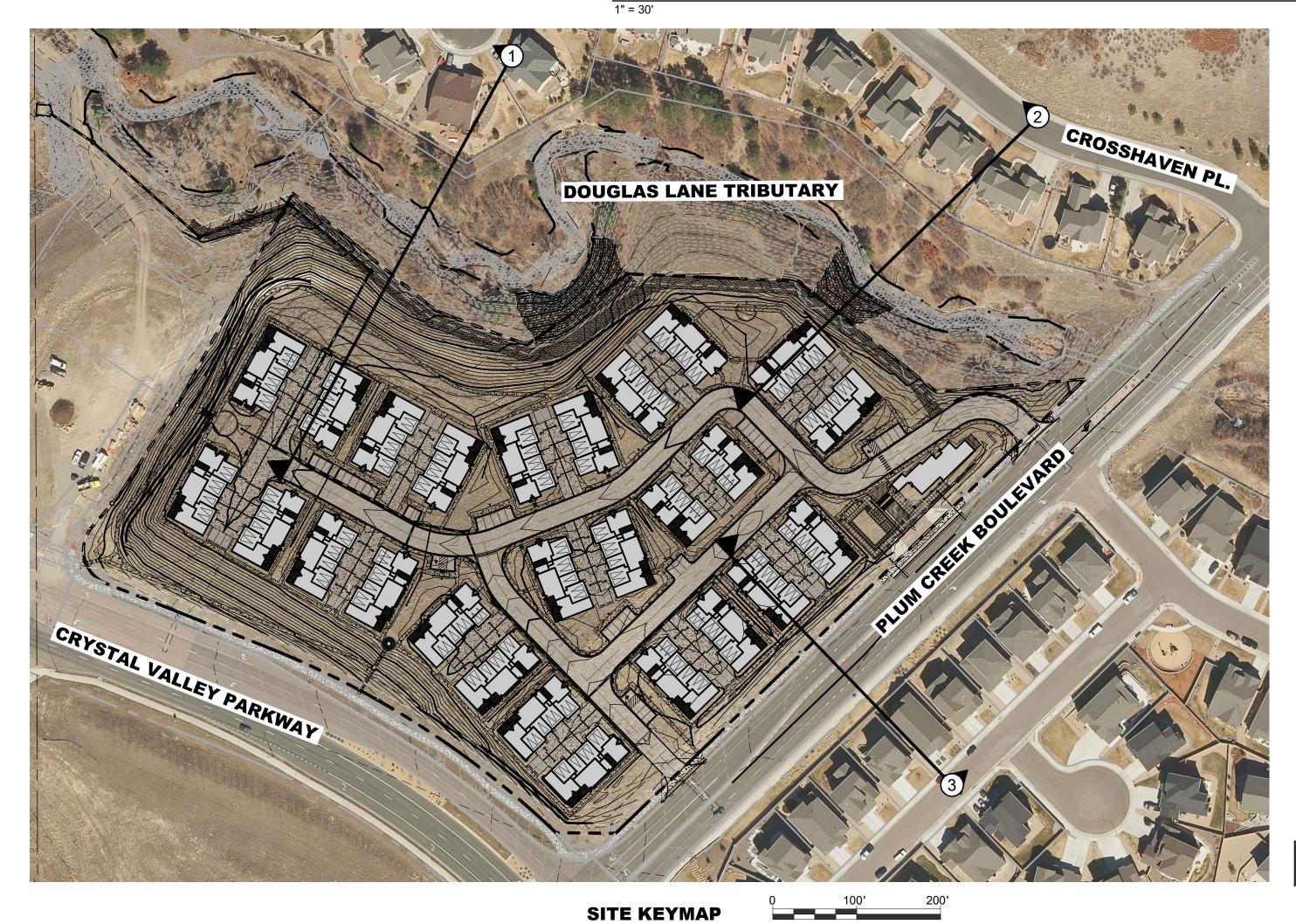
1. SITE SECTION THROUGH DOUGLAS LANE TRIBUTARY

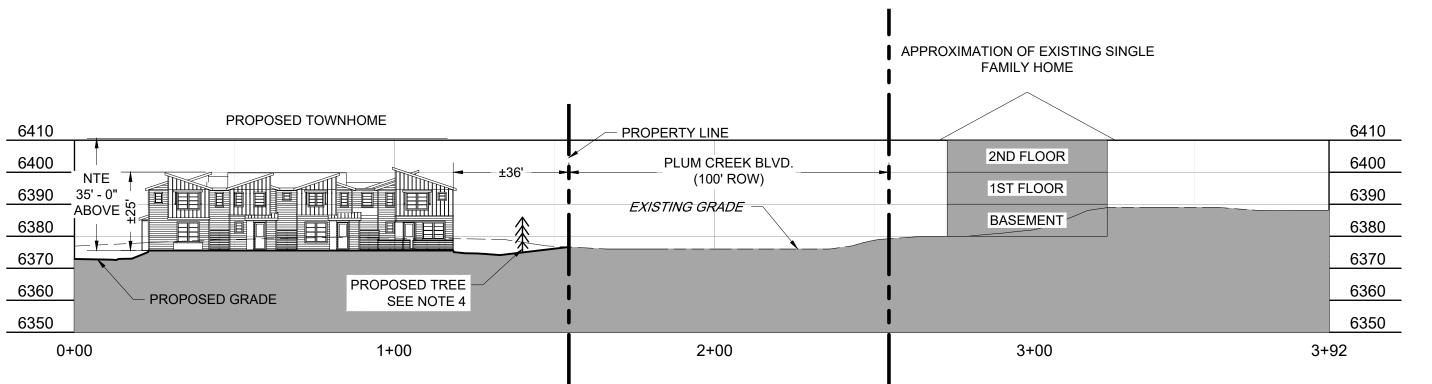
2. SITE SECTION THROUGH DOUGLAS LANE TRIBUTARY

1" = 100' (HORIZONTAL)

#### **CROSS SECTION NOTES:**

- 1. NTE IS AN ABBREVIATION FOR NOT TO EXCEED. PROPOSED TOWNHOMES ARE NOT TO EXCEED 35 FT IN
- 2. SEE ARCHITECTURAL PLANS FOR DETAILED ELEVATIONS OF PROPOSED STRUCTURES.
- 3. TOPOGRAPHY DEPICTED IS BASED ON EXISTING SITE SURVEY INFORMATION AND SUPPLEMENTAL GIS DATA
- 4. SEE LANDSCAPE PLANS FOR TREE LOCATIONS AND DETAILS.





3. SITE SECTION THROUGH PLUM CREEK BLVD.

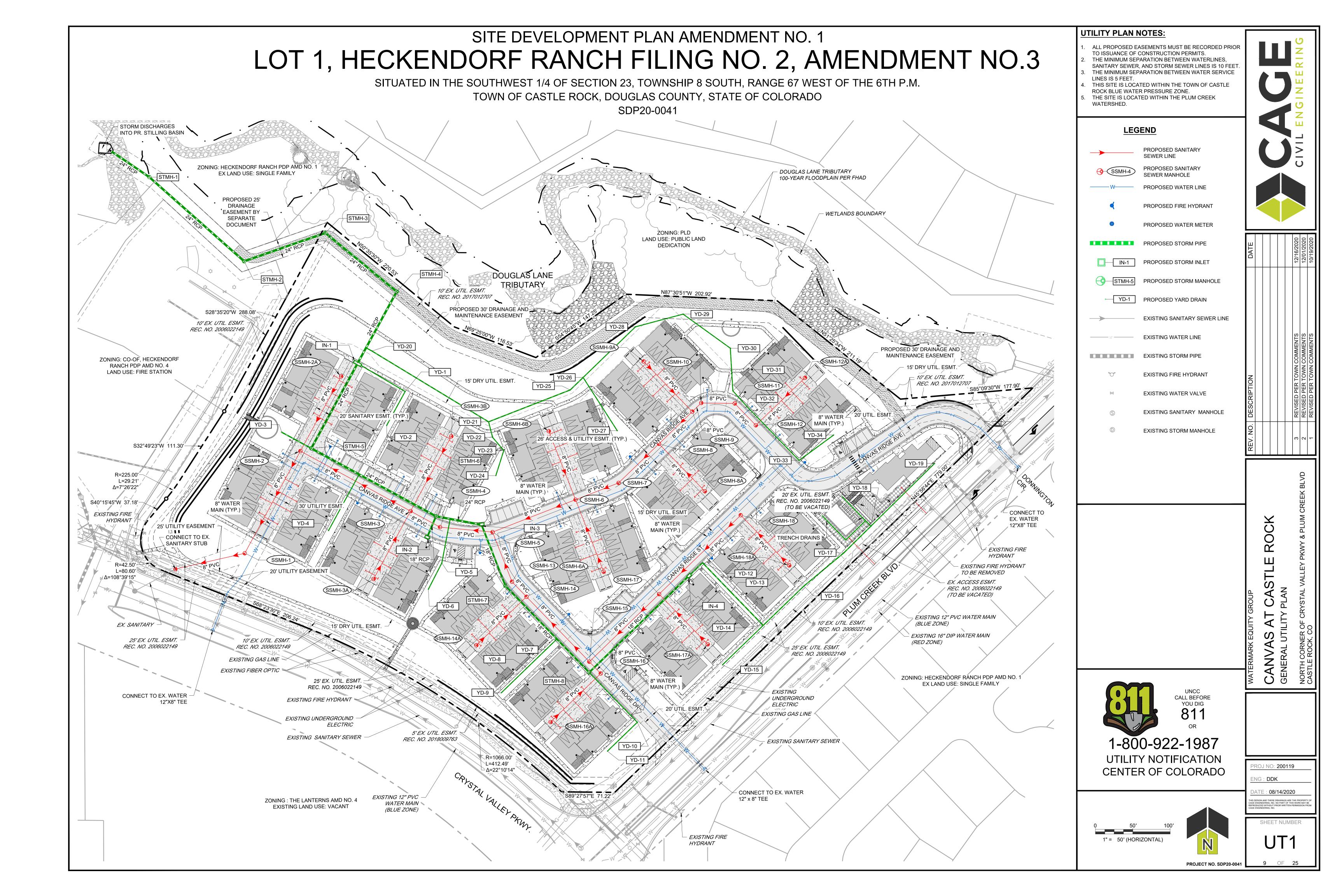






DATE			12/16/2020	12/01/2020	10/19/2020
REV. NO.   DESCRIPTION			REVISED PER TOWN COMMENTS	REVISED PER TOWN COMMENTS	REVISED PER TOWN COMMENTS
REV. N			8	7	1

SHEET NUMBER



### SITE DEVELOPMENT PLAN AMENDMENT NO. 1 LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3 SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO SDP20-0041 TOTAL PLANT QUANTITIES 2" Caliper Deciduous Trees VIEWING TERRACE seating area with pergola See Detail Sheet LS.6 6' Evergreen Trees FENCED DOG PARK 5 Gallon Deciduous Shrubs TOTAL SHRUBS Shrub Hydrozone Type VIEW PARK SHEET LS.5 seating area with pergola See Detail Sheet LS,6 2" Caliper Deciduous Trees **Ornamental Trees** 1.5" cal. or 6'-8" ht. multi-stem 5 Gallon Evergreen Shrubs 5 Gallon Deciduous Shrubs 1 Gallon Oramental Grasses 1 Gallon Perenials Moss Rock Boulders IRRIGATED THERMAL BLUE TURF IRRIGATED FESCUE TURF SEED MIX IRRIGATED SEED MIX NON-IRRIGATED SEED MIX ROCK MULCH BED Over weed barrier Note: all other beds are bark mulch over weed barrier Crusher Fines Dog Park Open Rail Fence PROJ NO: 20041 DRAWN BY: TAD DATE: 8/15/2020 OVERALL SITE LANDSCAPE PLAN

North Scale 1"=50'

Landscape Plans prepared by:

Tim Dunn Design Landscape Architecture Tim Dunn A.S.L.A. R.L.A. 720-350-2411 tadunn1958@gmail.com www.timdunnlandscapearchitect.com

LS.1

# LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO SDP20-0041

#### SITE UTILIZATION TABLE

Open Space/Landscaping	4.53 ac	197,370 sf	42%
Private Hardscape Streets	3.24 ac	141,015 sf	30%
Building Coverage	2.54 ac	110,485 sf	24%
Parking	0.12 ac	5,278 sf	1%
Gravel Maintenance Trail	0.31 ac	13,688 sf	3%
TOTAL	467 836 s	f - 10.74 ac	

#### COMPOSIT LANDSCAPE WATER USE RATING CHART

Landscape Zone	LWU Rating Range
Very Low Water Use	0.0 to 1.5
Low Water Use	+1.5 to 3.0
Moderate Water Use	+3.0 to 4.5
High Water Use	+4.5

CLWUR CH	ART FOR THE TOWN OF (	CASTLE ROCK						
Irrig. Zone	Plant Name (Common)	App. rate Inches / month	Landscape Zone	% of total area	IA (irrigated area in sf for each zone	LWUR Landscape water use	TA Total area of all irrigated	CLWUR LWUR x IA/TA
						rating	landscape zones	
Spray	Thermal Blue Turf	3.8	High	3%	7,000 sf	4.5	101,837 sf	0.31
Spray	Fescue Turf Seed Mix	2.0	Low	7%	27,825 sf	2	101,837 sf	0.55
Spray	Irrigated Native Seed Mix	2.0	Low	20%	23,500 sf	2	101,837 sf	0.46
Drip	Trees in non-irrigated native	2.0	Low	10%	250 sf	2	101,837 sf	0.01
Drip	Shrub beds	3.0	Moderate	60%	43,262 sf	2	101,837 sf	0.85
TOTALS				100%	101,837 sf		101,837 sf	
Trees in non	i-irrigated native to recieve	drip irrigation		,		TOTAL OF	THE CLWUR	2.18

TOTAL OF THE CLWUR 2.03 (2)

#### LANDSCAPE SUMMARY TABLE

Landscape Type	Square Footage	Percentage
Thermal Blue Turf	7,000	3%
Irrigated Fescue Turf Seed	27,825	14%
Irrigated Native Seed Mix	23,500	12%
Non-irrigated Seed Mix	47,250	24%
Irrigated Beds	43,262	22%
Non Irrigated Beds (rock mulch)	34,033	17%
Drainage Rip Rap / Maintenance Road	14,500	8%
TOTAL LANDSCAPE AREA	197,370 sf	100%

#### LANDSCAPE BUFFER

	PD Requirement	SDP18-0010 RECPT#2018058620	SDP20-041
Crystal Valley Pkwy. (Douglas Lane)	20 FT	20 FT	20 FT
Plum Creek Blvd.	20 FT	20 FT	20 FT
Public Land Dedication	15 FT	15 FT	15 FT
Commercial Properties (West)	15 FT	15 FT	15 FT

#### MULTI-FAMILY LANDSCAPE SITE INVENTORY

#### CLWUR Total = 2.18 (LWU rating Low Water Use)

Gross Site (area in sq ft)	Landscape Area (area in sq ft)	Turfgrass List Species	Non-Living Ornamental (area in sq ft)	Number of Trees Required	Number of Trees Provided	Number of Shrubs Required	Number of Shrubs Provided	Soil Prep. Amounts (in cu yds1,000 sf)	Separate Irrigation Service Connections
467,836 sf (20%=93,567 req.)	197,370 sf provided	Thermal Blue (7,000 sf)	34,033 sf	188	188	375	540	5 cy/1,000 sf	yes
Parking Lot (Area in Sq. Ft.)	Parking Lot Landscape (Area in Sq. Ft.)	No. of Parking Spaces (surface parking)	` ' '	No. of Interior Landscape Medians	Min. width of Landscape Medians	Number of Trees Required	Number of Trees Provided	Number of Shrubs Required	Number of Shrubs Provided

#### STREETSCAPE REQUIREMENT TABLE

Street Name	Frontage		Trees	Shrubs			
	Linear Feet (LF)	Required trees	Canopy shade trees min. 75% of total provided	Non-canopy shade trees provided	Provided trees total	Required shrubs	Provided shrubs
Crystal Valley Pkwy.	664	17	17		17	68	68
Plum Creek Blvd.	723	18	18		18	72	72

#### LANDSCAPE NOTES

1. FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.

2. LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORSEEN FIELD CONSTRAINTS.

ALL PLANTS ARE TO BE PROPERY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.

4. DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.

5. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPE AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.

6. DESIGN MUST ACCOMODATE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGMENT PLAN (WUMP).

7. IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.

8. IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION

4.2.3 AND TO CORRELATE WITH THE USE TYPE OF THE PROPERTY.

9. IF ANY TRANSFORMERS, GROUND MOUNTED HVAC UNITS, UTILITY PEDESTALS OR SIMILAR EXISTING ON THE SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED BASED UPON FINAL INSPECTION AND ISSUANCE OF THE CERTIFICATE OF OCCUPANCY AS APPLICABLE.

10. NO SOLID OBJECT EXCEEDING 30 INCHES IN HEIGHT ABOVE THE FLOWINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED WITHIN THE SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLANS.

11. NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UITLITY AND DRAINAGE EASEMENTS.

12. AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.

13. LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.

14. DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACE WITH HEALTHY PLANTING MATERIALS OF COMPARIBLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.

15. SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

#### GENERAL IRRIGATION STANDARD NOTES

- 1. ALL SEEDED TURF AREAS TO BE IRRIGATED WITH SPRAY HEADS.
- 2. TREES IN NATIVE TO BE IRRIGATED USING ABOVE GROUND DRIP EMITTERS.
- 3. NATIVE SEED GRASSES THAT ARE IIRRIGATED ARE TO USE ROTORS.
- 4. SOD AREAS LESS THAN 10 FEET IN WIDTH WILL BE IRRIGATED WITH SUBSURFACE DRIP IRRIGATION.
- 5. IRRIGATION TO CONFORM TO THE TOWN OF CASTLE ROCK WATERING TIMES/DAYS GUIDELINES.
- 6. ALL LANDSCAPE SHOWN ON CONCEPUTAL LANDSCAPE PLAN IS CONSIDERED LOW HYDROZONE EXCEPT FO THE IRRIGATED TURF GRASS AREAS WHICH ARE CONSIDERED HIGH.

#### GENERAL GRADING NOTES

1. ALL AREAS ARE TO BE GRADED TO ACHEIVE POSITIVE DRAINAGE. MINIMUM SLOPE ON LANDSCAPED AREAS SHALL BE 2%, MAXIMUM SLOPE SHALL BE 3:1.

2. MAXIMUM ALLOWED FINAL GRADES FOR LONGITUDINAL SLOPE ON WALKS AND PAVED AREAS SHALL BE 6% UNLESS OTHERWISE INDICATED ON PLANS.

3. ALL SLOPES EQUAL OR GREATER THAN 3:1 ARE TO BE CALLED OUT ON THE LANDSCAPE SHEETS.

Landscape Plans prepared by:

Tim Dunn Design Landscape Architecture Tim Dunn A.S.L.A. R.L.A. 720-350-2411 tadunn1958@gmail.com www.timdunnlandscapearchitect.com

11 OF 25

PROJECT NO. SDP20-0041

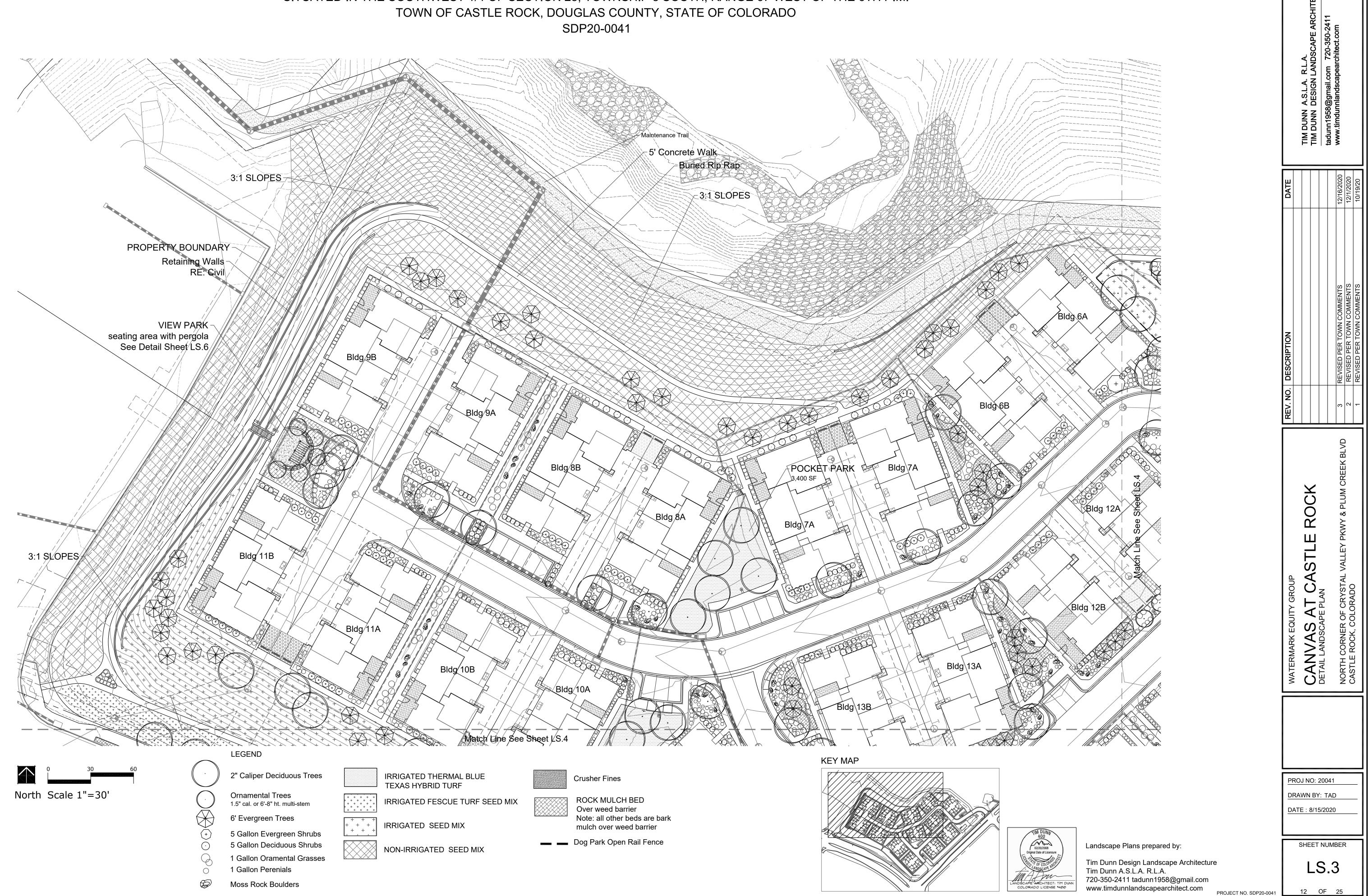
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	REVISED PER TOWN COMMENTS	12/16/2020
2 REVISED PEI	REVISED PER TOWN COMMENTS	12/1/2020
1 REVISED PEF	REVISED PER TOWN COMMENTS	10/19/20

PROJ NO: 20041 DRAWN BY: TAD DATE: 8/15/2020

SHEET NUMBER

# LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO



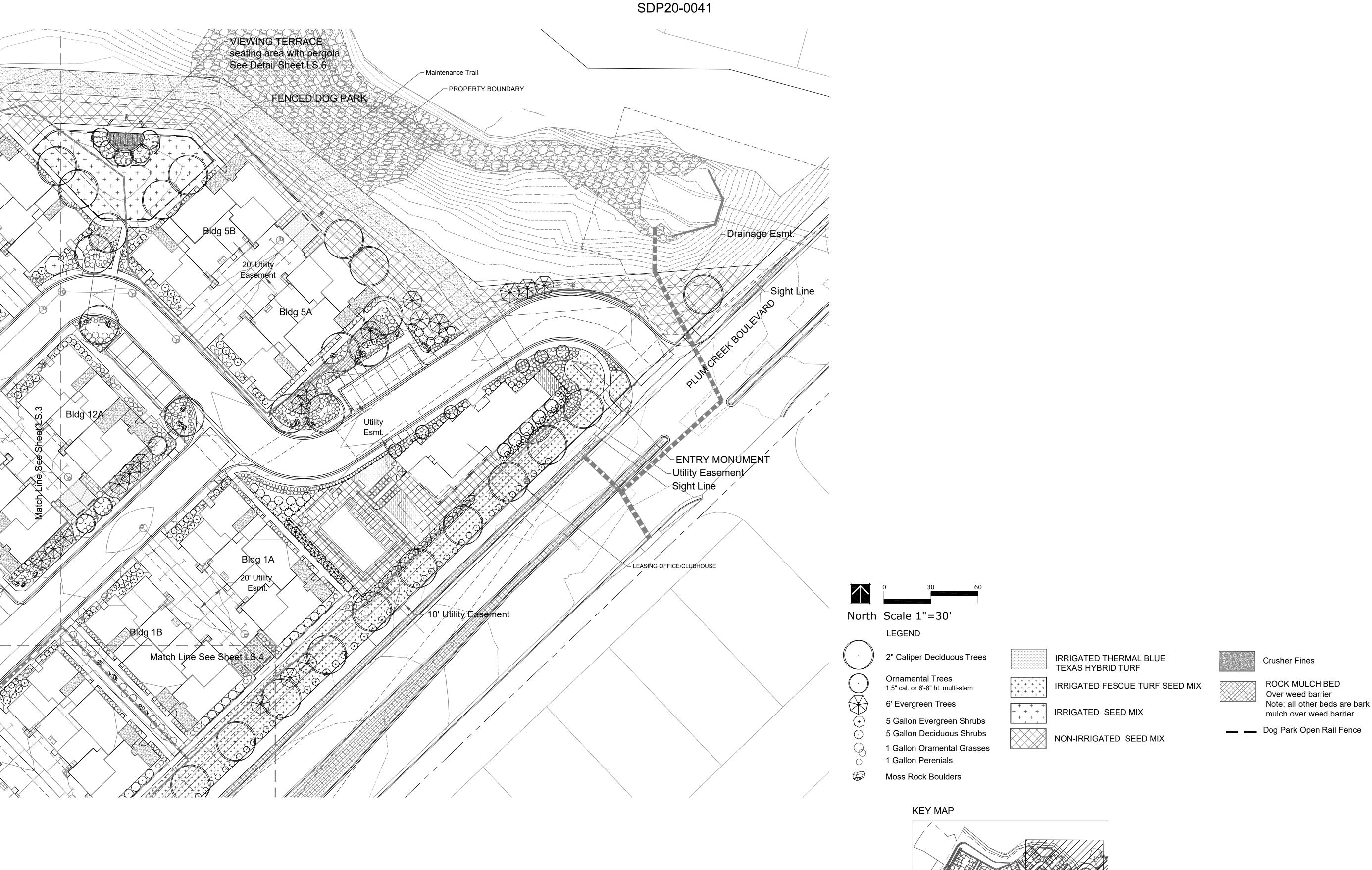
SITE DEVELOPMENT PLAN AMENDMENT NO. 1 LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3 SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO SDP20-0041 Match Line See Sheet LS 3:1 SLOPES Utility Easement CRYSTAL VALLEY PARKWAY Pedestrian Connection Existing Street Lights Retaining Walls -RE: Civil North Scale 1"=30' LEGEND IRRIGATED THERMAL BLUE 2" Caliper Deciduous Trees Crusher Fines TEXAS HYBRID TURF Ornamental Trees ROCK MULCH BED IRRIGATED FESCUE TURF SEED MIX 1.5" cal. or 6'-8" ht. multi-stem Over weed barrier 6' Evergreen Trees Note: all other beds are bark **KEY MAP** IRRIGATED SEED MIX mulch over weed barrier 5 Gallon Evergreen Shrubs Dog Park Open Rail Fence 5 Gallon Deciduous Shrubs PROJ NO: 20041 NON-IRRIGATED SEED MIX 1 Gallon Oramental Grasses DRAWN BY: TAD 1 Gallon Perenials DATE: 8/15/2020 Moss Rock Boulders SHEET NUMBER Landscape Plans prepared by: Tim Dunn Design Landscape Architecture Tim Dunn A.S.L.A. R.L.A. LS.4 720-350-2411 tadunn1958@gmail.com www.timdunnlandscapearchitect.com 13 OF 25 PROJECT NO. SDP20-0041

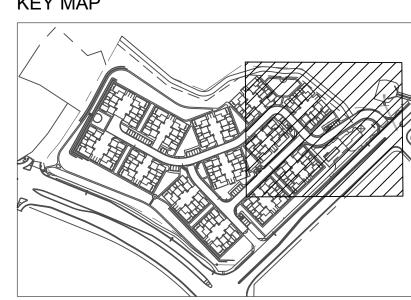
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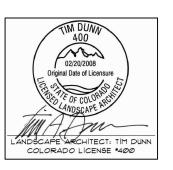
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TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

SDR20,0041







Landscape Plans prepared by:

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PROJECT NO. SDP20-0041

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		12/16/202	12/1/202	10/19/20	
		REVISED PER TOWN COMMENTS	REVISED PER TOWN COMMENTS	REVISED PER TOWN COMMENTS	
		3	2	1	

AS AT CASTLE ROCK
DSCAPE PLAN

PROJ NO: 20041

DRAWN BY: TAD

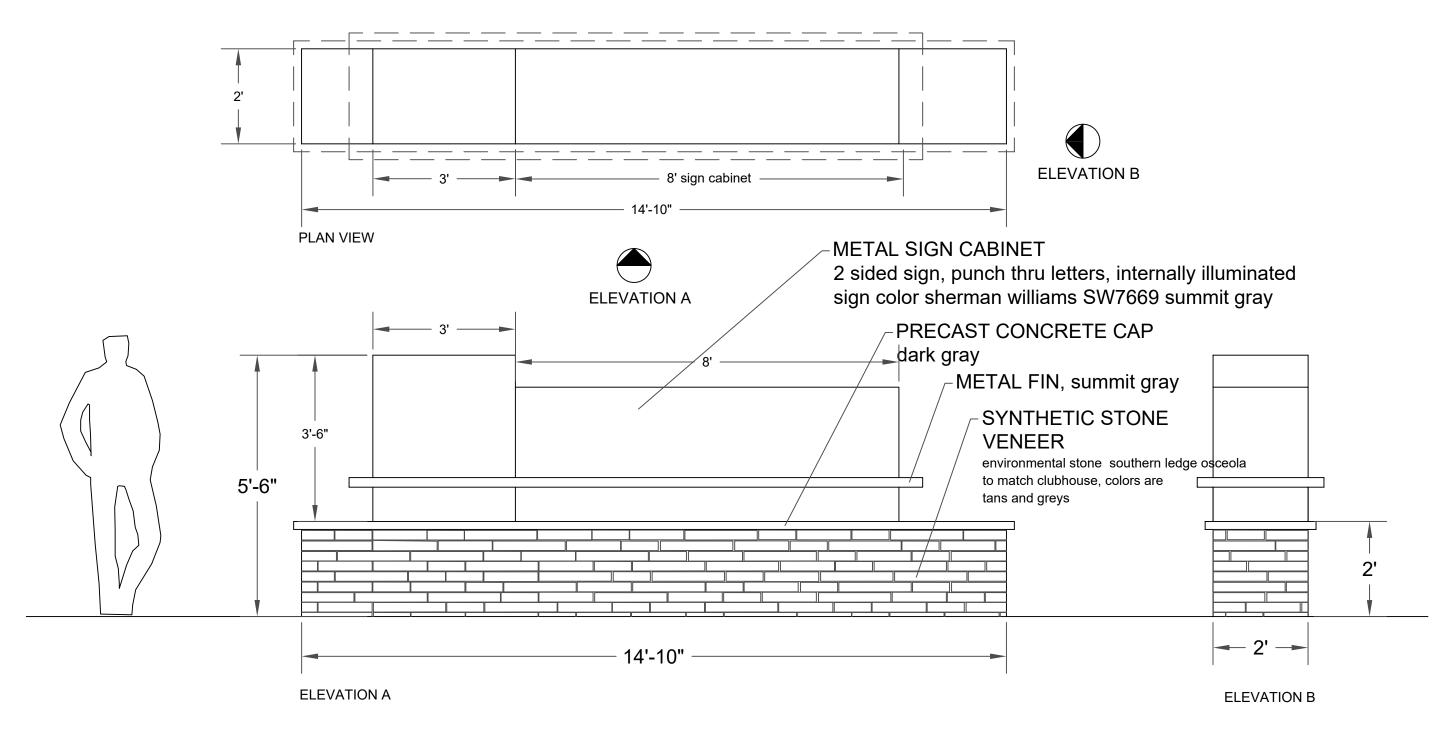
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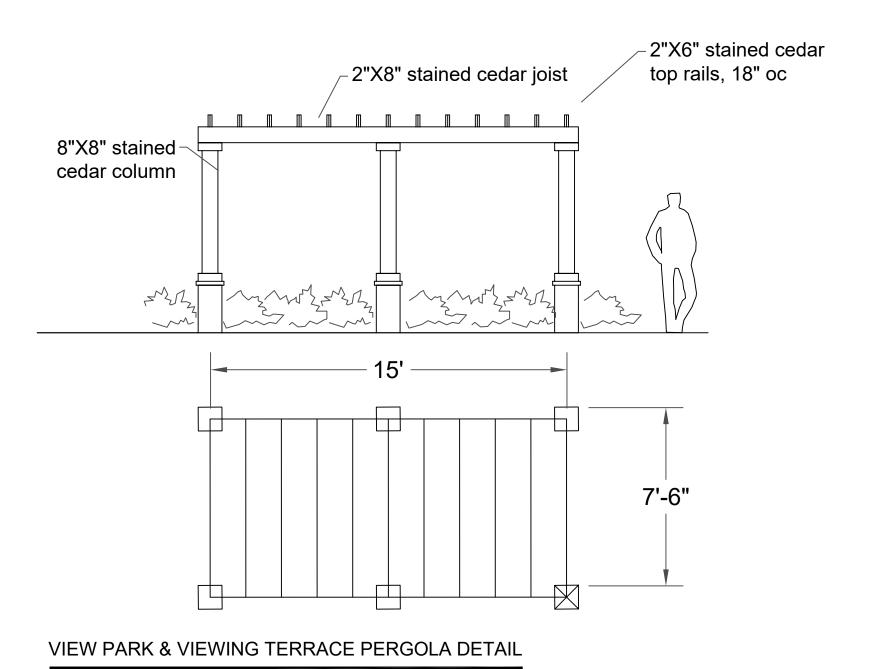
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LS.5

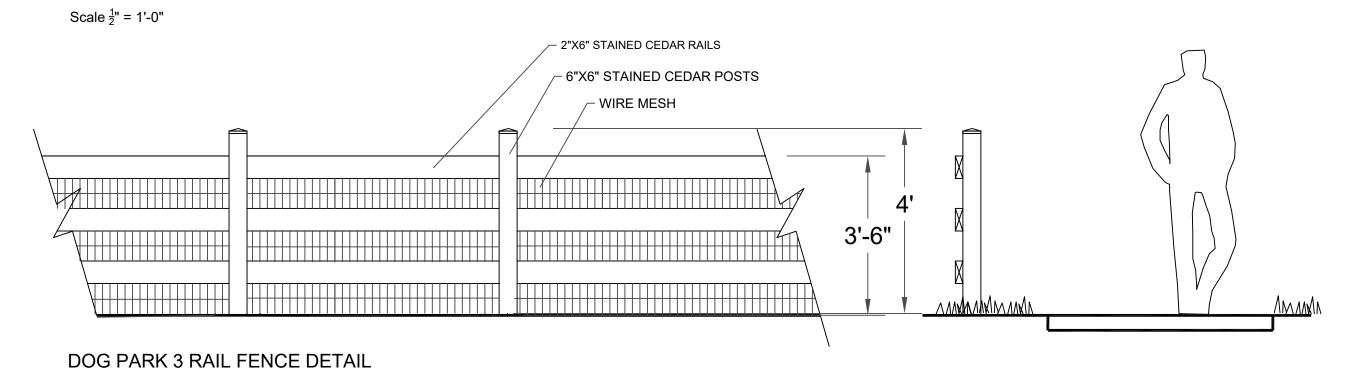
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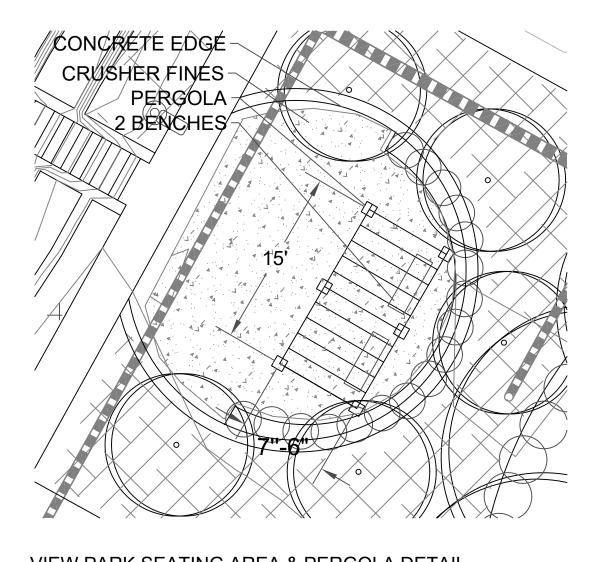
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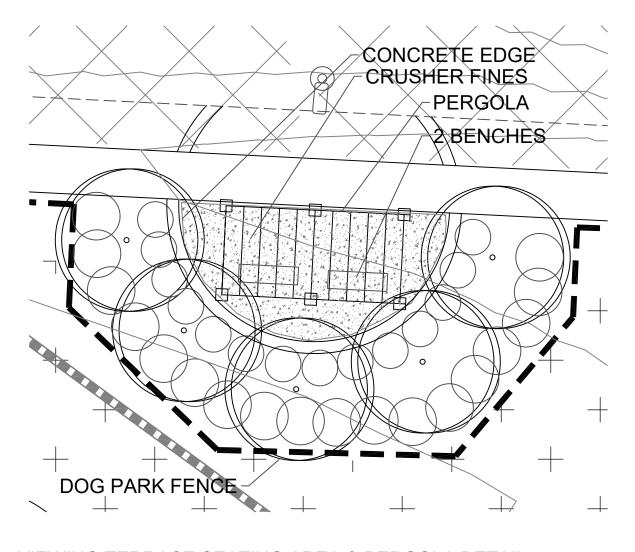




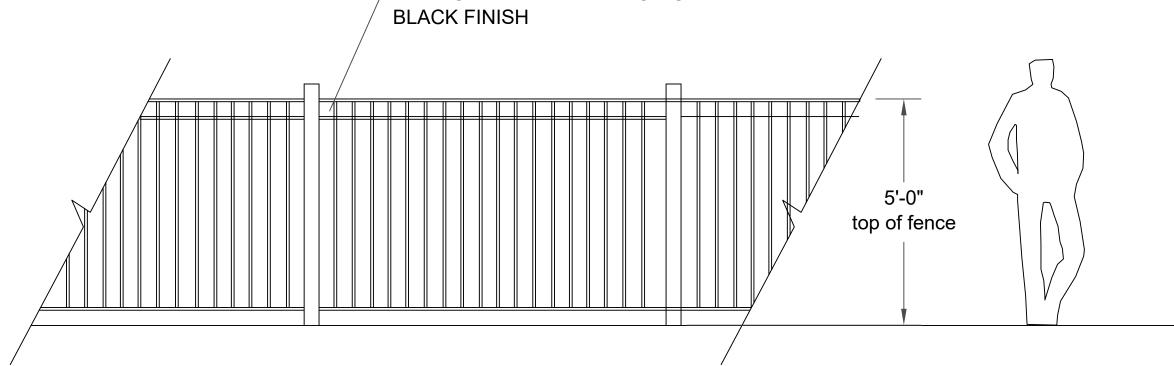
#### ENTRY MONUMENT - PLUM CREEK BOULEVARD







FABRICATED METAL FENCING - MATTE **BLACK FINISH** 



VIEW PARK SEATING AREA & PERGOLA DETAIL

Scale  $\frac{1}{8}$ " = 1'-0"

Scale  $\frac{1}{4}$ " = 1'-0"

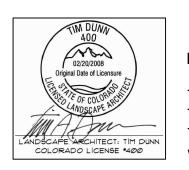
VIEWING TERRACE SEATING AREA & PERGOLA DETAIL

Scale  $\frac{1}{8}$ " = 1'-0"

METAL POOL FENCE DETAIL

No Scale

No Scale



Landscape Plans prepared by:

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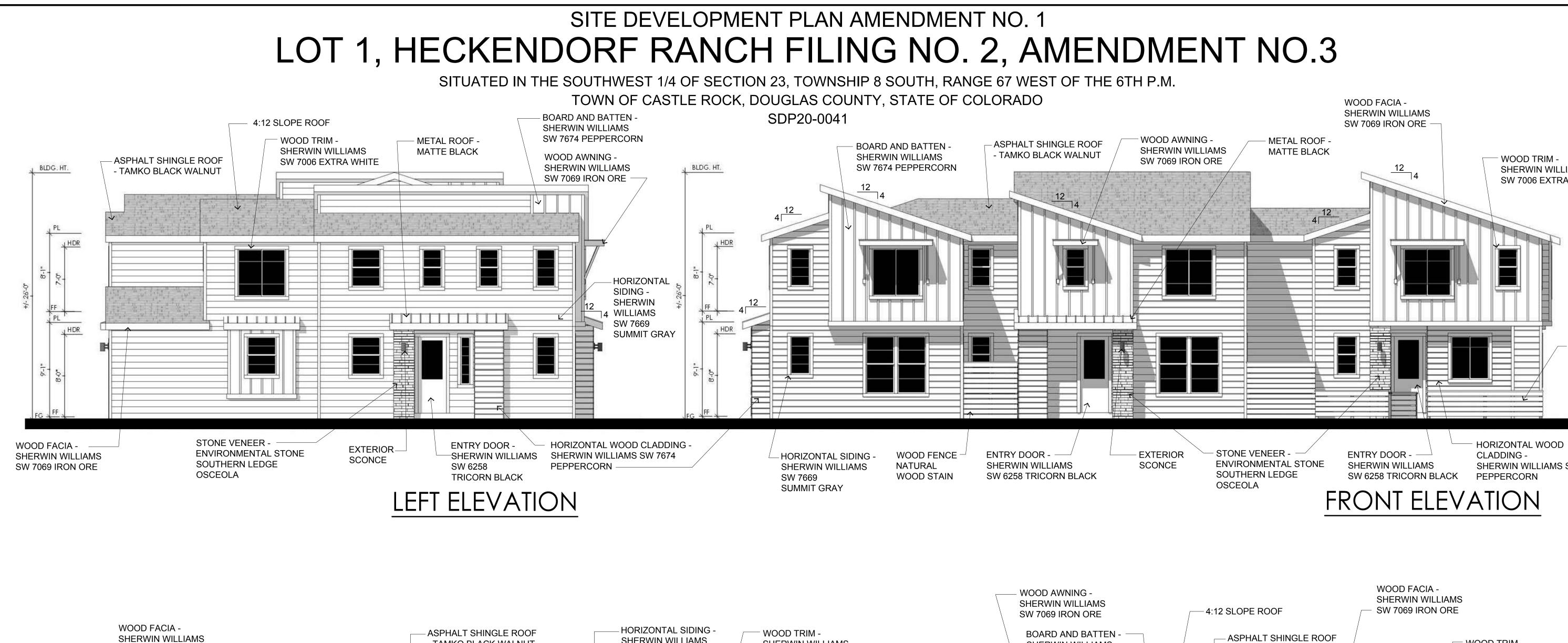
SHEET NUMBER LS.6

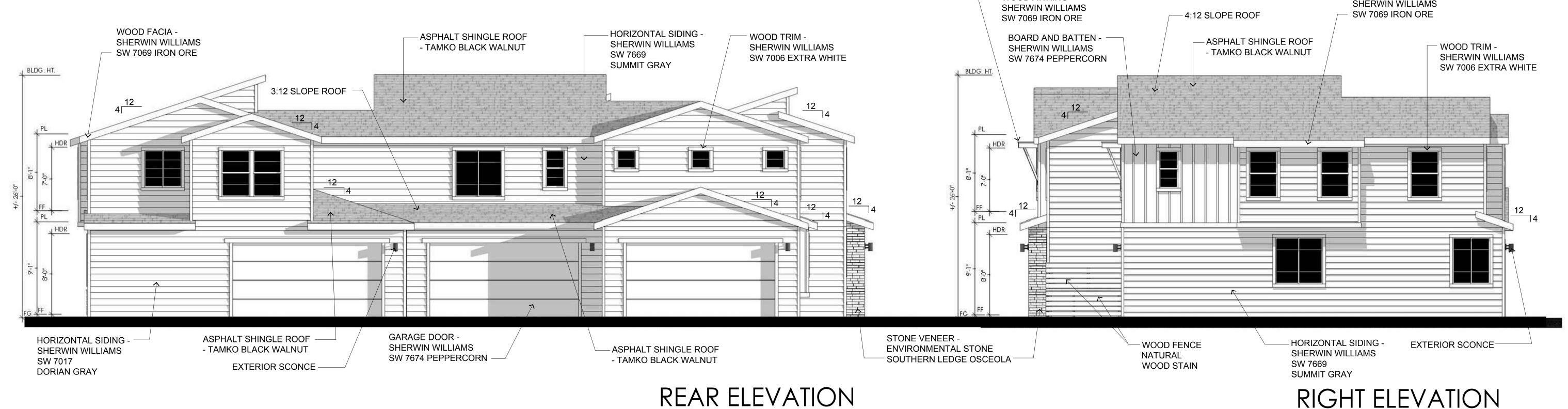
15 OF 25

PROJ NO: 20041

DRAWN BY: TAD

DATE: 8/15/2020





3-PLEX -- EXTERIOR ELEVATIONS (COLOR SCHEME 1)

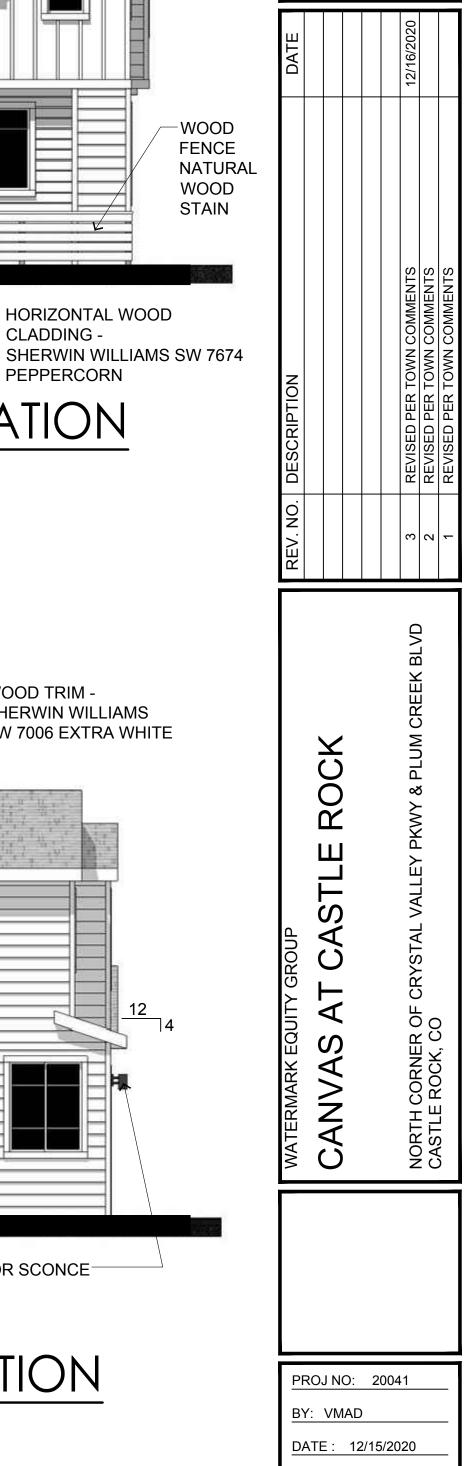


RIGHT ELEVATION

WOOD TRIM -

SHERWIN WILLIAMS

SW 7006 EXTRA WHITE



SHEET NUMBER

A1.1

16 OF 25

# scalona Roland

SW 7069 IRON ORE

**OSCEOLA** 

# Plot



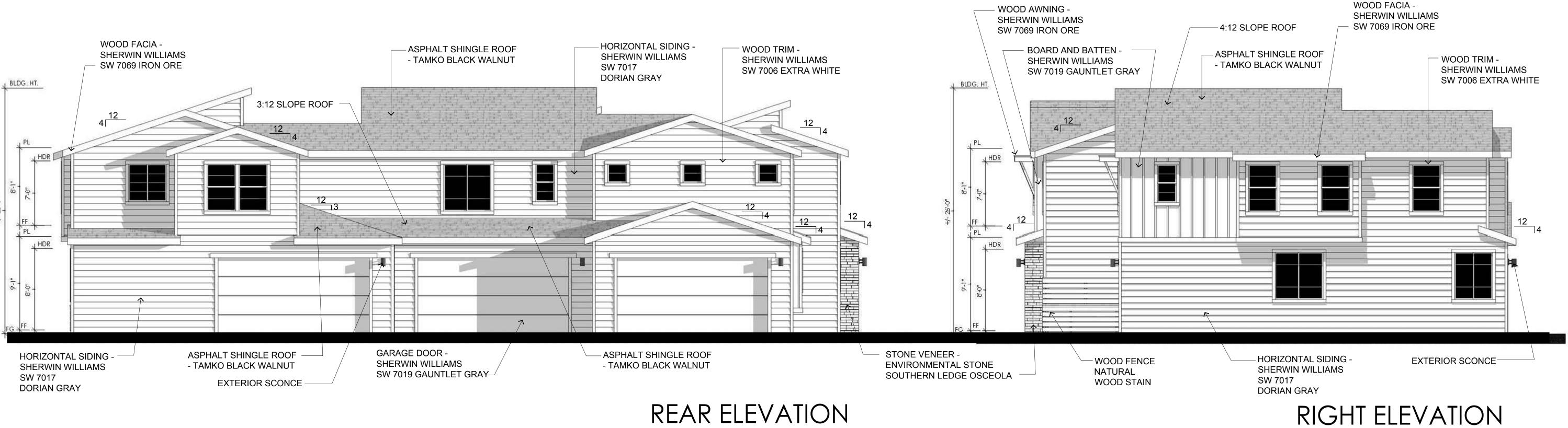
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SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO WOOD FACIA -**SHERWIN WILLIAMS** SDP20-0041 BOARD AND BATTEN -4:12 SLOPE ROOF SW 7069 IRON ORE SHERWIN WILLIAMS **WOOD TRIM -WOOD AWNING -**WOOD TRIM -METAL ROOF -SW 7019 GAUNTLET GRAY ASPHALT SHINGLE ROOF SHERWIN WILLIAMS **BOARD AND BATTEN -**SHERWIN WILLIAMS SHERWIN WILLIAMS MATTE BLACK - TAMKO BLACK WALNUT SHERWIN WILLIAMS SW 7006 EXTRA WHITE **WOOD AWNING -**- ASPHALT SHINGLE ROOF SW 7069 IRON ORE SW 7006 EXTRA WHITE SW 7019 GAUNTLET GRAY BLDG. HT. BLDG. HT. SHERWIN WILLIAMS - TAMKO BLACK WALNUT METAL ROOF SW 7069 IRON ORE MATTE BLACK **HORIZONTAL** WOOD **CLADDING HORIZONTAL** SHERWIN SIDING -**WILLIAMS** SHERWIN SW 7019 WILLIAMS GAUNTLET SW 7017 J HDR GRAY **DORIAN GRAY** -WOOD **FENCE** NATURAL WOOD STAIN **ENTRY DOOR -**HORIZONTAL WOOD STONE VENEER -STONE VENEER -WOOD **EXTERIOR ENTRY DOOR -**HORIZONTAL WOOD **ENTRY DOOR -WOOD FENCE** WOOD FACIA - -HORIZONTAL SIDING -**ENVIRONMENTAL STONE SHERWIN ENVIRONMENTAL STONE CLADDING** -**EXTERIOR** FENCE SCONCE SHERWIN WILLIAMS **CLADDING** -**SHERWIN** NATURAL SHERWIN WILLIAMS SHERWIN WILLIAMS **WILLIAMS** SOUTHERN LEDGE SHERWIN WILLIAMS SW SCONCE SOUTHERN LEDGE NATURAL SHERWIN WILLIAMS **WOOD STAIN** WILLIAMS

SW 7017

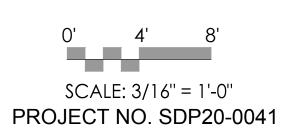
LEFT ELEVATION

**DORIAN GRAY** 



REAR ELEVATION

3-PLEX -- EXTERIOR ELEVATIONS (COLOR SCHEME 2)



SW 6258 TRICORN

OSCEOLA

FRONT ELEVATION

WOOD STAIN

SW 6258 TRICORN

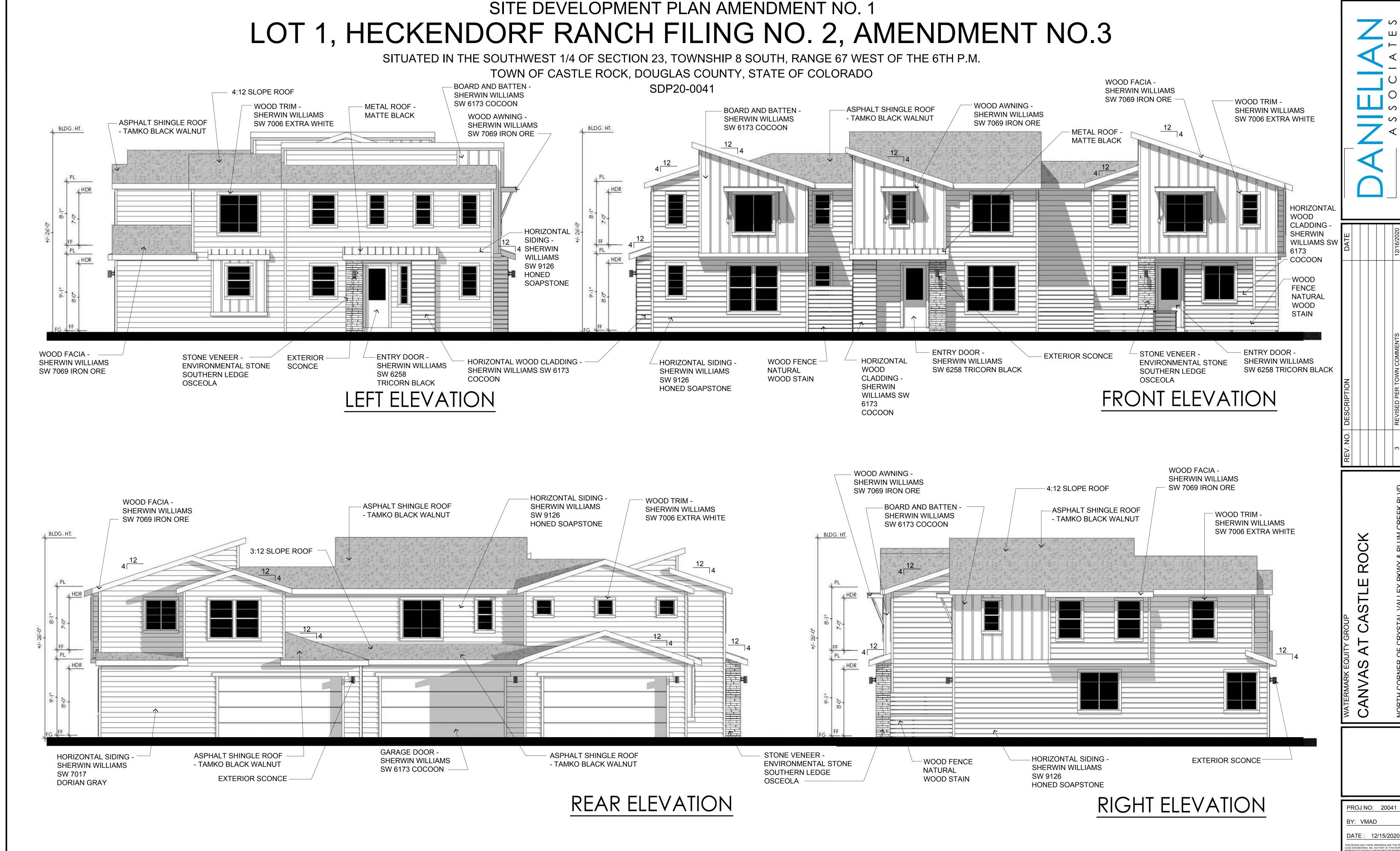
**BLACK** 

SW 7019

**GAUNTLET GRAY** 

PROJ NO: 20041

SHEET NUMBER A1.2 17 OF 25



3-PLEX -- EXTERIOR ELEVATIONS

(COLOR SCHEME 3)

SCALE: 3/16" = 1'-0" PROJECT NO. SDP20-0041

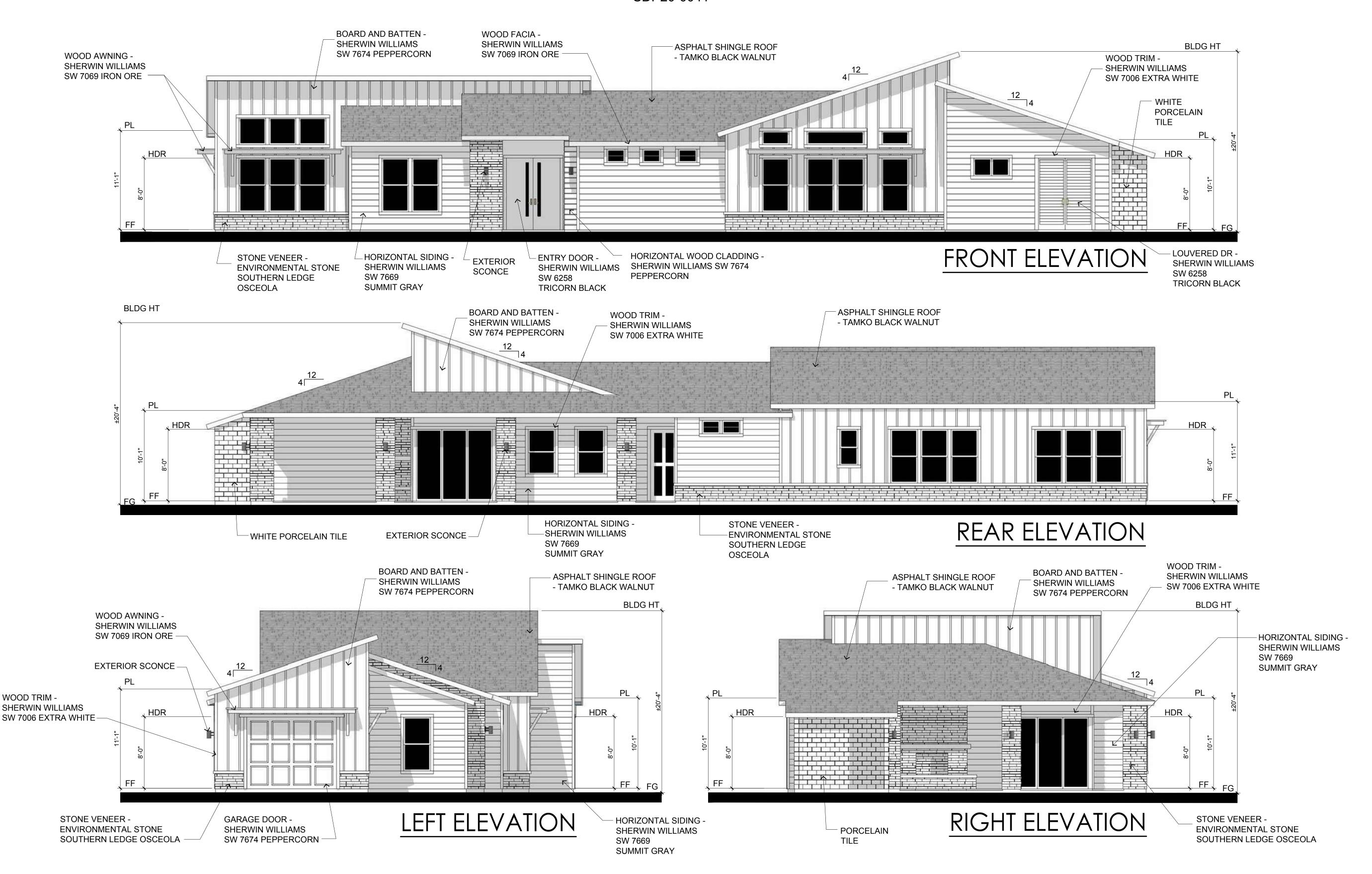
SHEET NUMBER A1.3 18 OF 25

# LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

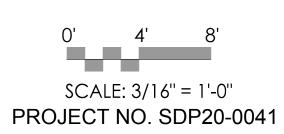
SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

SDP20-0041



AMENITY CENTER -- EXTERIOR ELEVATIONS (COLOR SCHEME 1)





D
3 REVISED PER TOWN COMMENTS
1 REVISED PER TOWN COMMENTS

CANVAS AT CASTLE ROCK

NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CRE

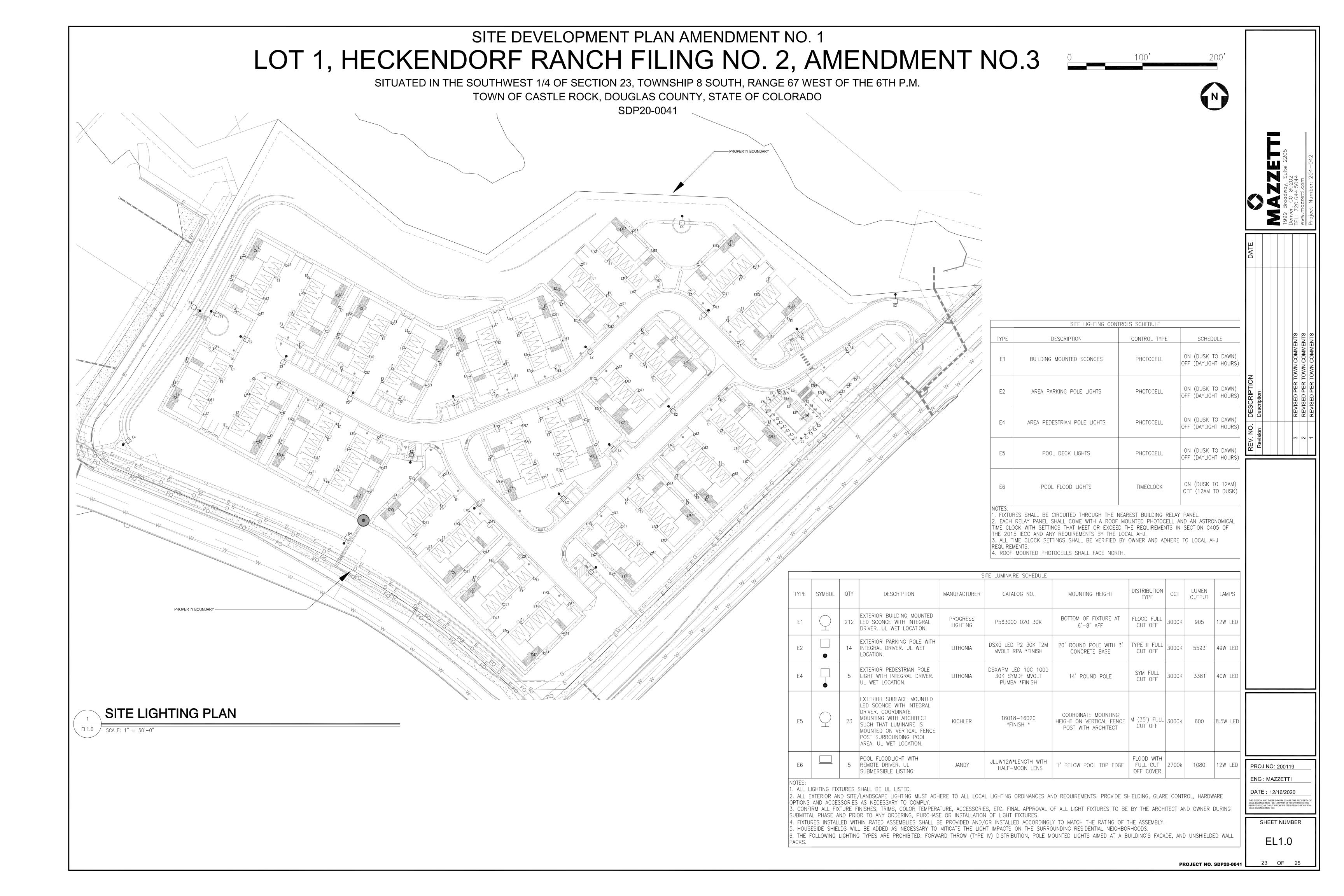
PROJ NO: 20041

BY: VMAD

DATE: 12/15/2020

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A3.0



# LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO
SDP20-0041

MAZZETTI

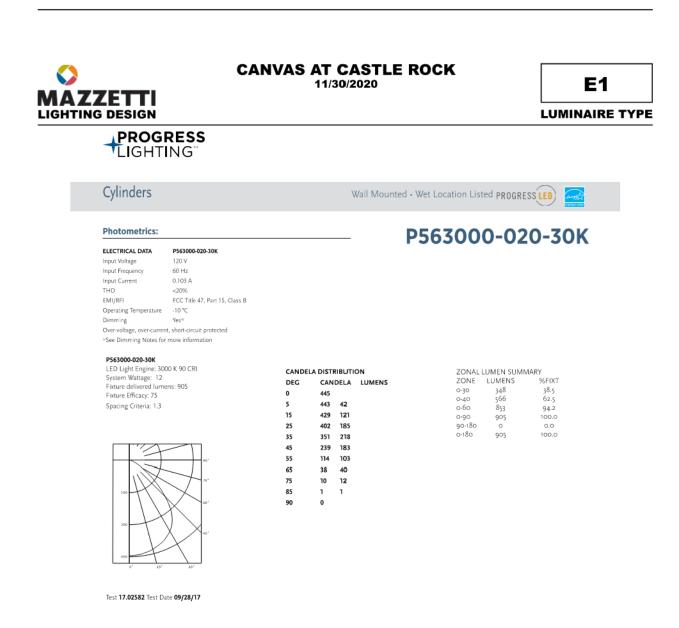
**CANVAS AT CASTLE ROCK** 

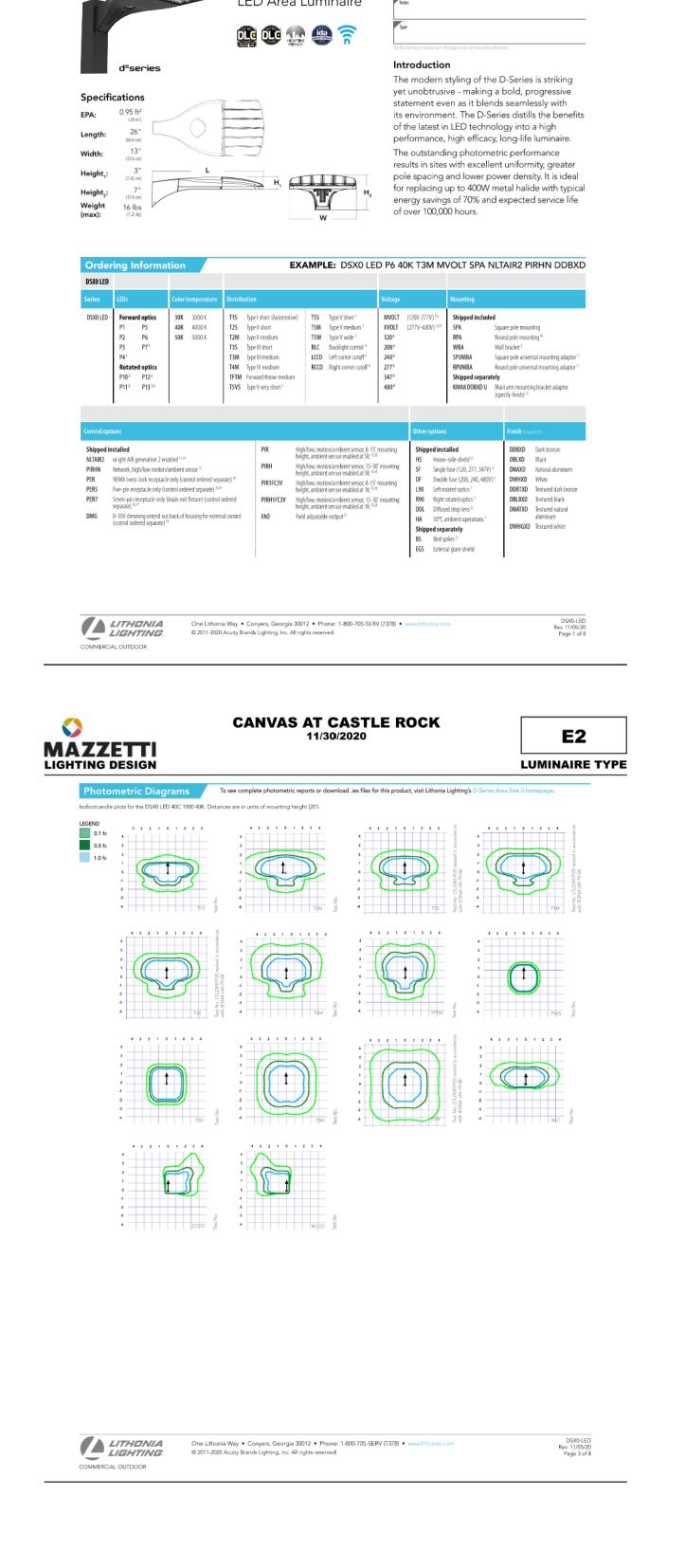
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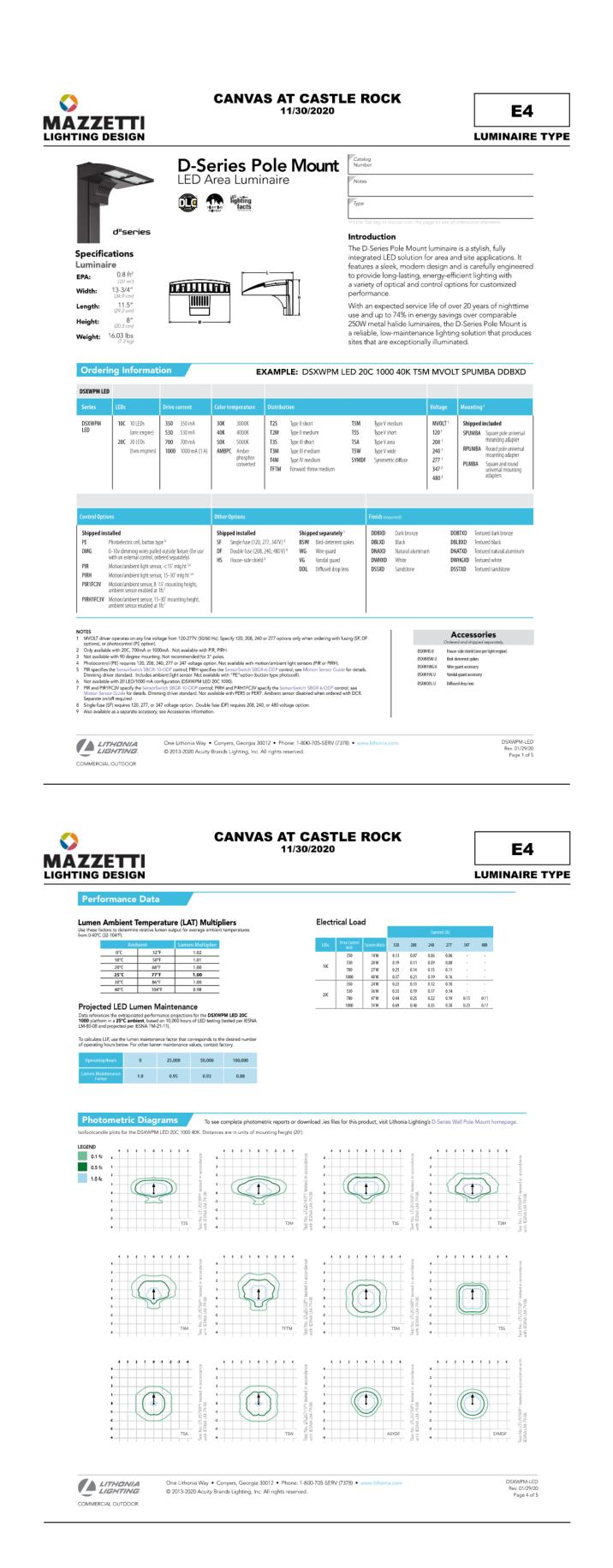
**E2** 

LUMINAIRE TYPE

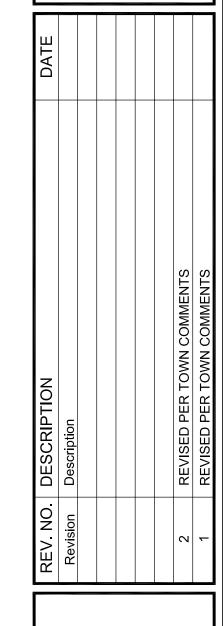












PROJ NO: 200119

PROJ NO: 200119

ENG: MAZZETTI

DATE: 11/30/2020

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SHEET NUMBER

EL1.1

24 OF 25

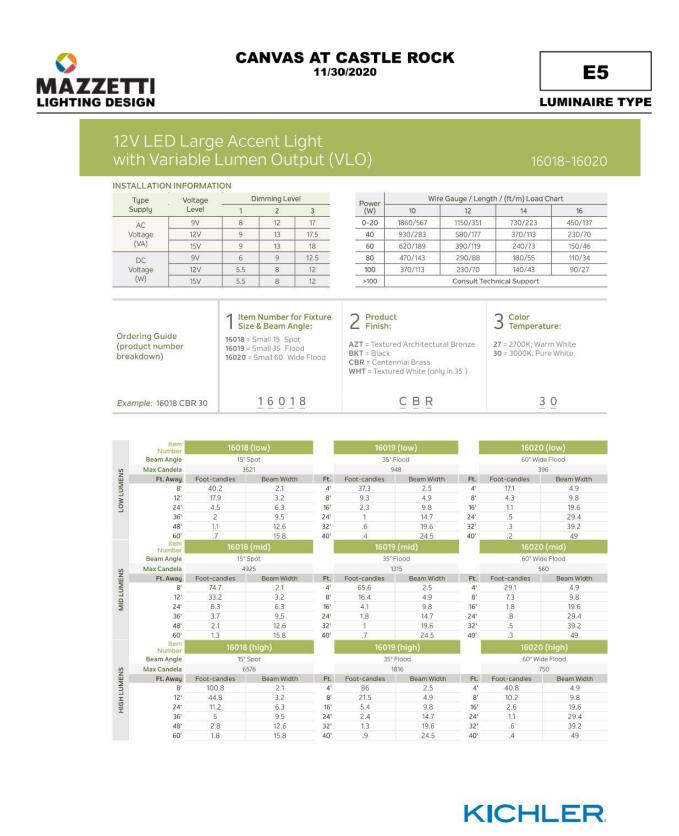
# LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

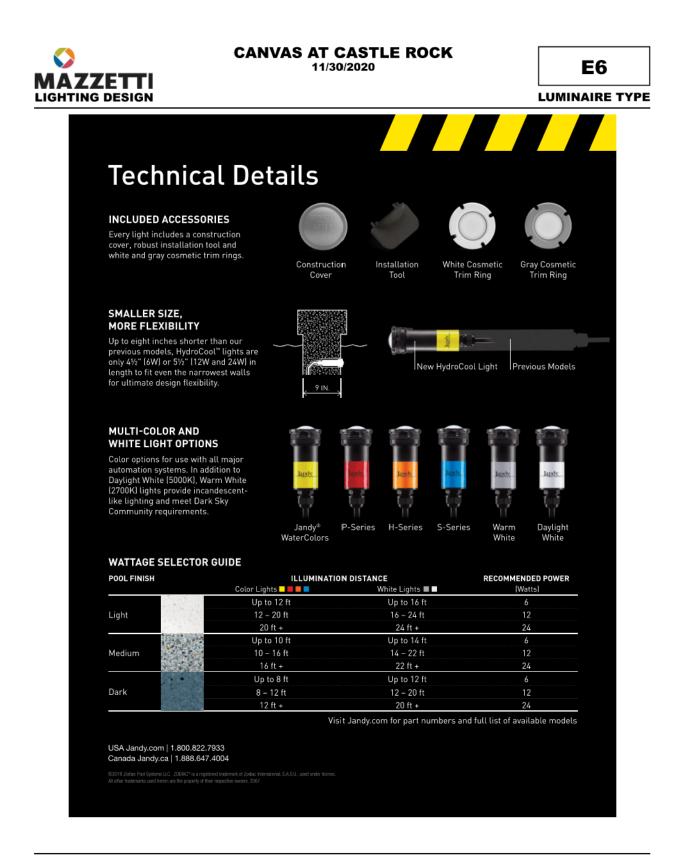
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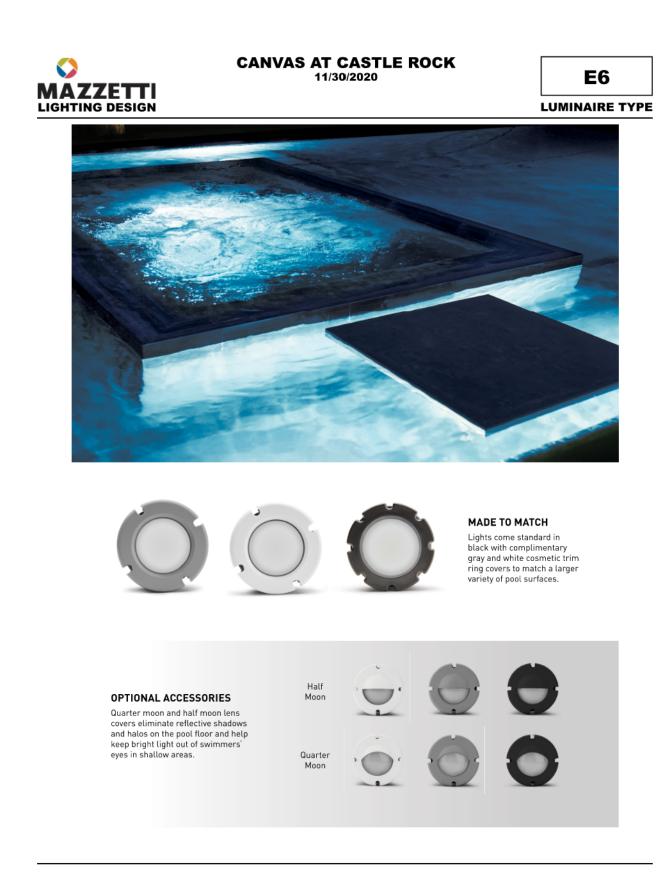
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

SDP20-0041











DATE						
REV. NO. DESCRIPTION	Revision Description			REVISED PER TOWN COMMENTS	REVISED PER TOWN COMMENTS	
REV. NO.	Revision			2	1	

PROJ NO: 200119

ENG: MAZZETTI

DATE: 11/30/2020

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25 OF 25