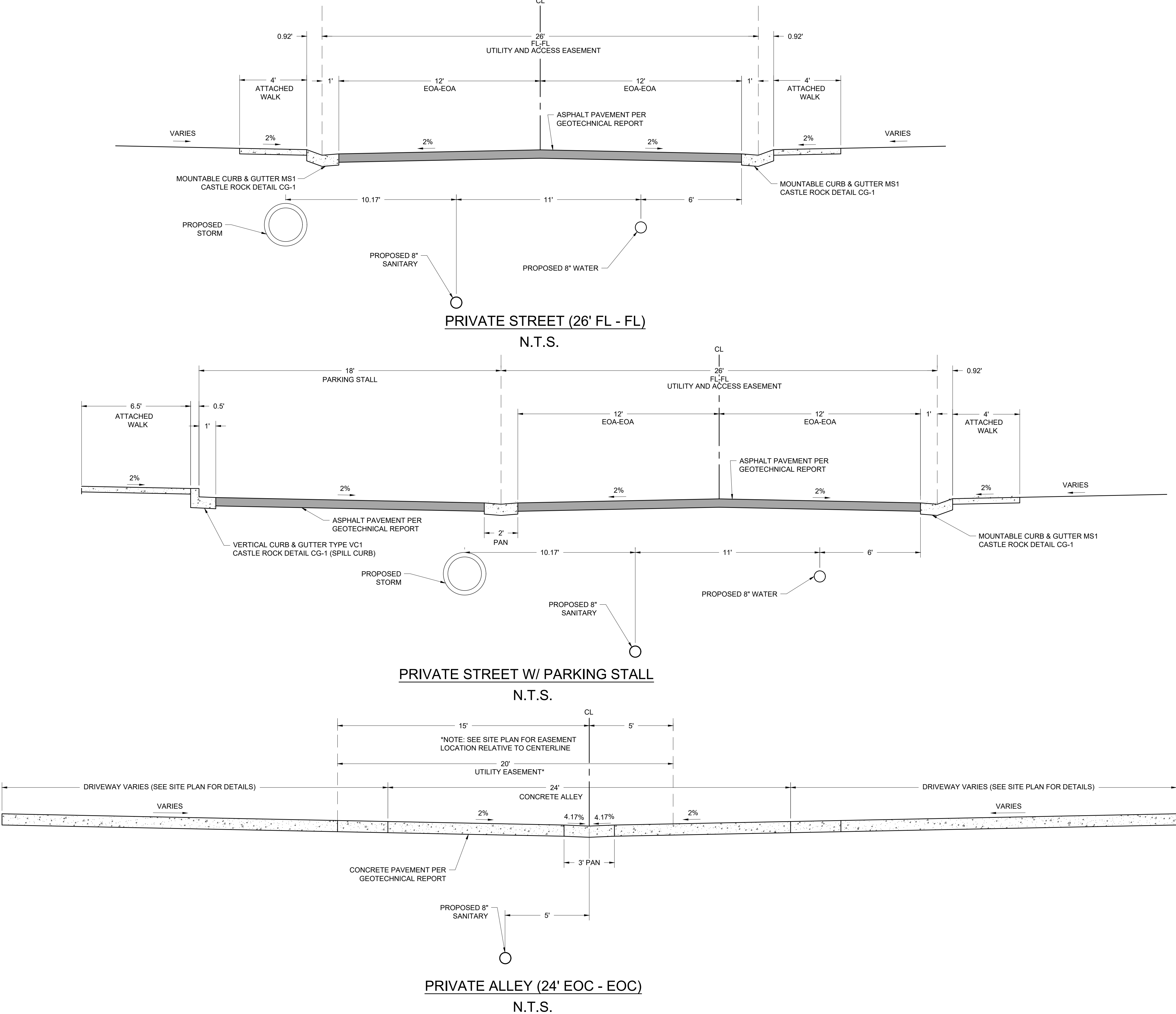


SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

SDP20-0041



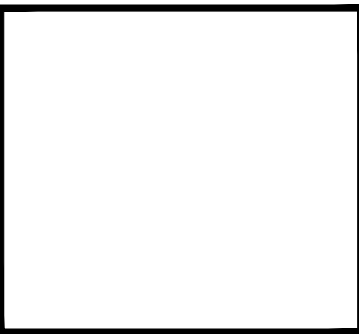
REV. NO.	DESCRIPTION	DATE
3	REVISED PER TOWN COMMENTS	12/16/2020
2	REVISED PER TOWN COMMENTS	12/01/2020
1	REVISED PER TOWN COMMENTS	10/19/2020

WATERMARK EQUITY GROUP

CANVAS AT CASTLE ROCK

TYPICAL STREET SECTIONS

NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD
CASTLE ROCK, CO



PROJ NO: 200119

ENG: DDK

DATE: 08/14/2020

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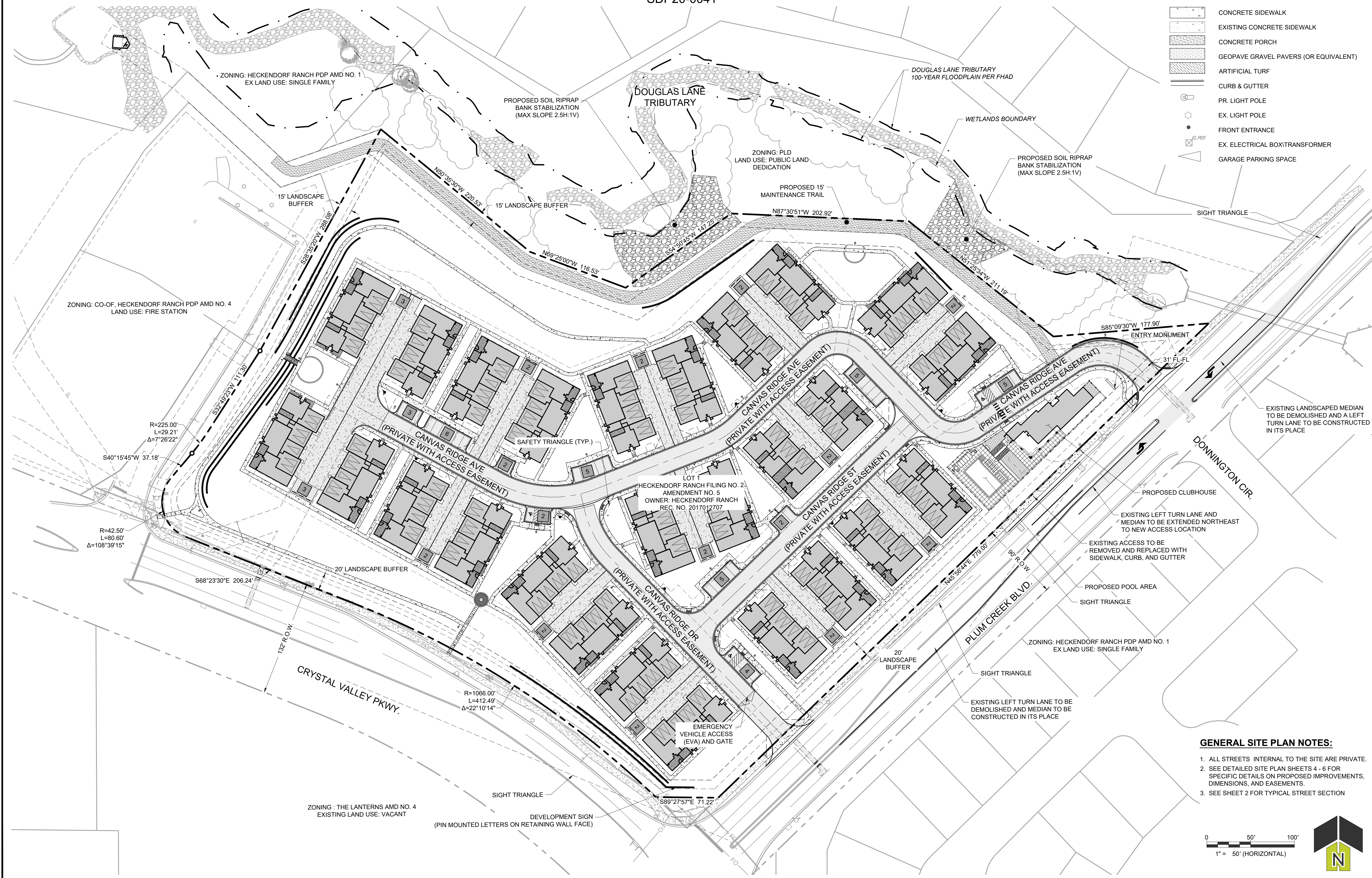
SHEET NUMBER

TS1

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO
SDP20-0041



LEGEND

- # PARKING COUNT
- # BUILDING NUMBER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- EXISTING CONCRETE SIDEWALK
- CONCRETE PORCH
- GEOPAVE GRAVEL PAVERS (OR EQUIVALENT)
- ARTIFICIAL TURF
- CURB & GUTTER
- PR. LIGHT POLE
- EX. LIGHT POLE
- FRONT ENTRANCE
- EX. ELECTRICAL BOX/TRANSFORMER
- GARAGE PARKING SPACE



DATE	REV. NO.	DESCRIPTION
12/16/2020	3	REVISED PER TOWN COMMENTS
12/01/2020	2	REVISED PER TOWN COMMENTS
10/19/2020	1	REVISED PER TOWN COMMENTS

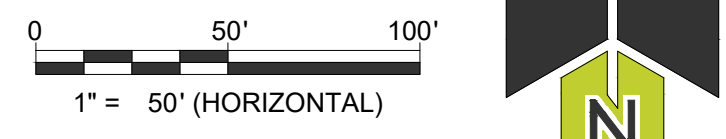
WATERMARK EQUITY GROUP

CANVAS AT CASTLE ROCK

GENERAL SITE PLAN

NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD
CASTLE ROCK, CO

- GENERAL SITE PLAN NOTES:**
- ALL STREETS INTERNAL TO THE SITE ARE PRIVATE.
 - SEE DETAILED SITE PLAN SHEETS 4 - 6 FOR SPECIFIC DETAILS ON PROPOSED IMPROVEMENTS, DIMENSIONS, AND EASEMENTS.
 - SEE SHEET 2 FOR TYPICAL STREET SECTION



PROJ NO. 200119
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DATE 08/14/2020

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SHEET NUMBER

SP1

3 OF 25

SITE DEVELOPMENT PLAN AMENDMENT NO. 1
LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

SDP20-0041

SEE SHEET 5

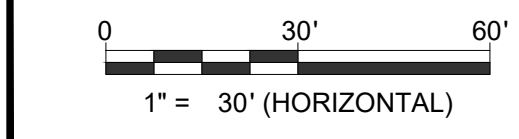


KEYMAP

- SITE PLAN NOTES:**
- 1. ALL DIMENSIONS ARE FLOWLINE TO FLOWLINE OR BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
 - 2. ALL STREETS INTERNAL TO THE SITE ARE PRIVATE
 - 3. SEE SHEET 2 FOR TYPICAL SECTIONS

- SITE PLAN KEYNOTES:**
- 1 WHEEL STOP
 - 2 4" WIDE PARKING STRIPING (TYP.)
 - 3 RETAINING WALL (SEE GRADING PLAN FOR MAX HEIGHT)
 - 3' RETAINING WALL WITH SAFETY RAILING
 - 4 STAIRS
 - 5 ACCESSIBLE CURB RAMP
 - 6 SIGHT TRIANGLE
 - 7 SAFETY TRIANGLE
 - 8 SIDEWALK CHASE
 - 9 4' CONCRETE SIDEWALK
 - 10 6.5' CONCRETE SIDEWALK
 - 11 2' CONCRETE CROSSSPAN
 - 12 4' CONCRETE CROSSSPAN
 - 13 TYPE MS1 CURB AND GUTTER WITH 4' ATTACHED SIDEWALK (TYP.)
 - 14 TYPE VC1 CURB AND GUTTER
 - 15 STOP SIGN (R1-1)
 - 16 ADA RESERVED PARKING SIGN (R7-8)
 - 17 CDOT TYPE 2 DIRECTIONAL CURB RAMP (M-608-1)
 - 18 6 FT WIDE SIDEWALK
 - 19 FIRE HYDRANT ASSEMBLY

- LEGEND**
- # PARKING COUNT
 - # BUILDING NUMBER
 - ASPHALT PAVEMENT
 - CONCRETE PAVEMENT
 - CONCRETE SIDEWALK
 - EXISTING CONCRETE SIDEWALK
 - CONCRETE PORCH
 - GEOPAVE GRAVEL PAVERS (OR EQUIVALENT)
 - ARTIFICIAL TURF
 - CURB & GUTTER
 - PR. LIGHT POLE
 - EX. LIGHT POLE
 - FRONT ENTRANCE
 - EX. ELECTRICAL BOX/TRANSFORMER
 - GARAGE PARKING SPACE



PROJECT NO. SDP20-0041

DATE	12/16/2020
REV. NO.	12/01/2020
DESCRIPTION	2
REVISED PER TOWN COMMENTS	1

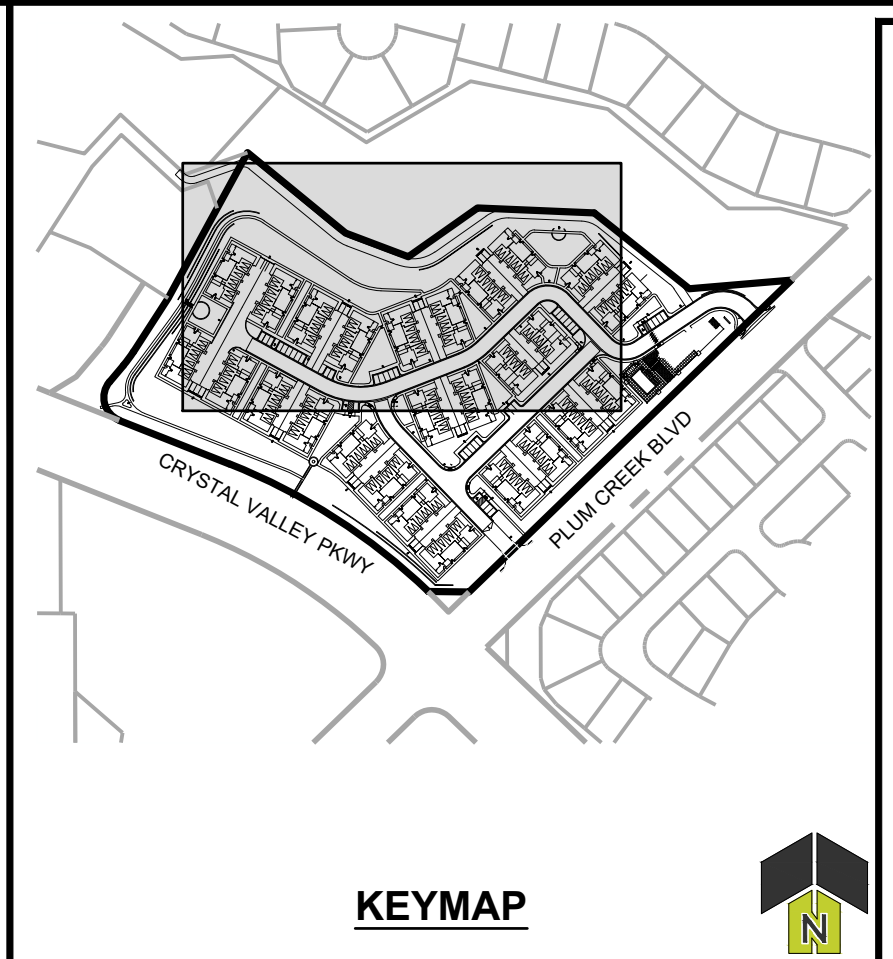
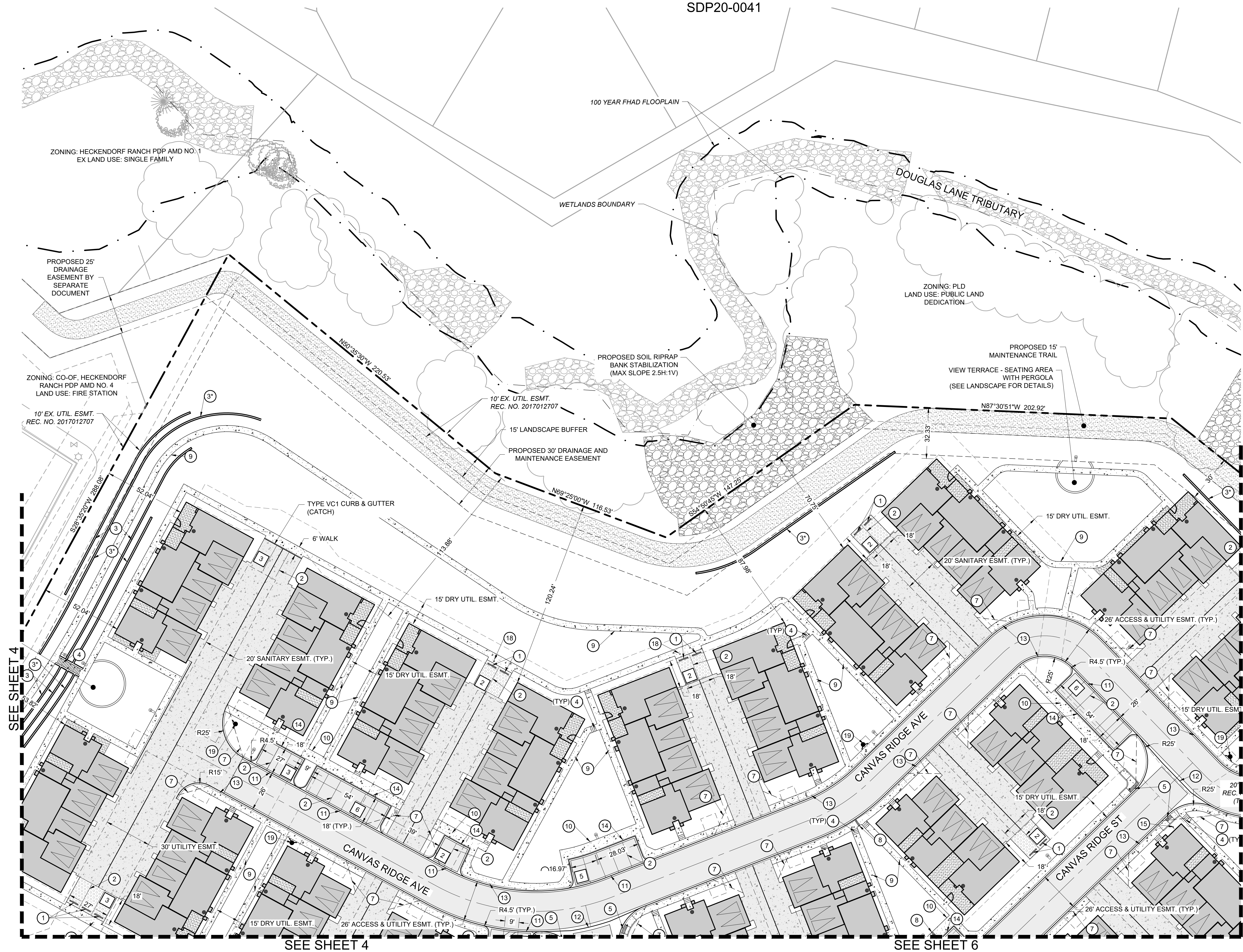
WATERMARK EQUITY GROUP
CANVAS AT CASTLE ROCK
DETAILED SITE PLAN
NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD
CASTLE ROCK, CO

PROJ NO. 200119
ENG: DDK
DATE 08/14/2020

SHEET NUMBER
SP2
4 OF 25

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO
SDP20-0041



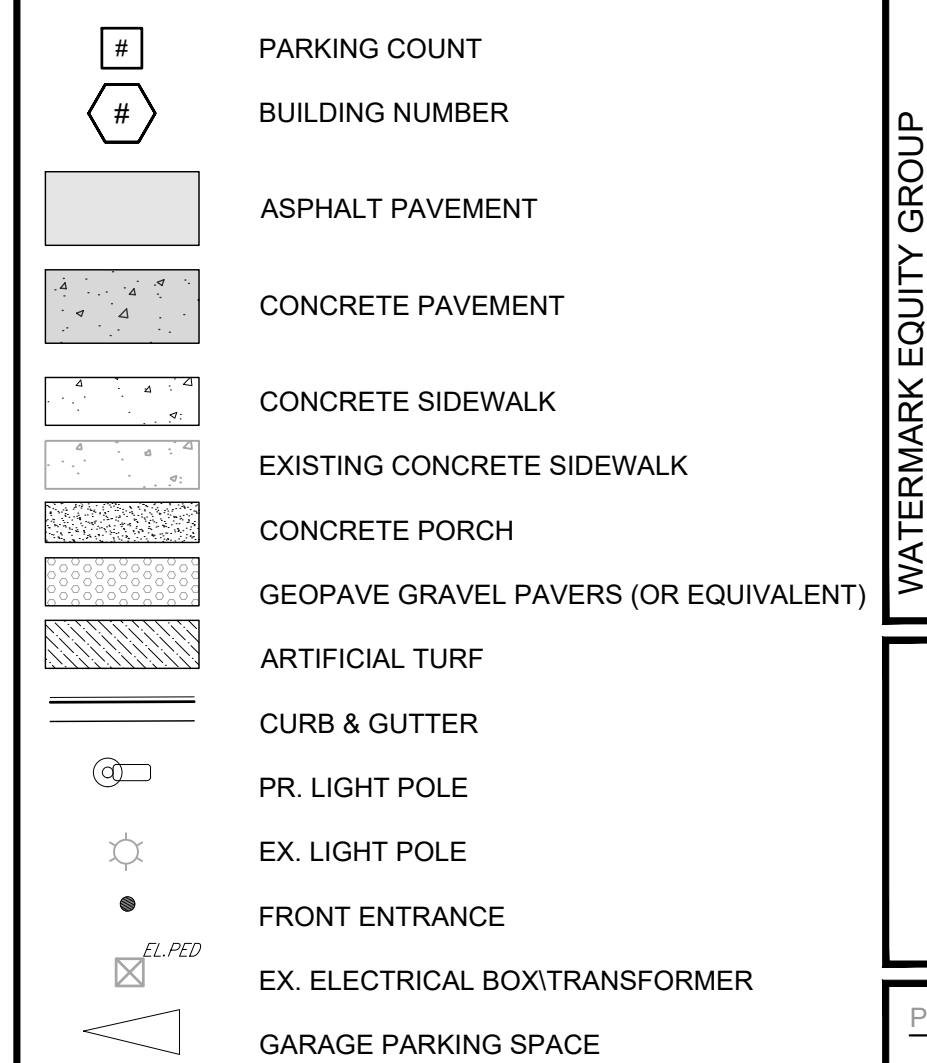
SITE PLAN NOTES:

1. ALL DIMENSIONS ARE FLOWLINE TO FLOWLINE OR BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
2. ALL STREETS INTERNAL TO THE SITE ARE PRIVATE
3. SEE SHEET 2 FOR TYPICAL SECTIONS

SITE PLAN KEYNOTES:

- ① WHEEL STOP
 - ② 4" WIDE PARKING STRIPING (TYP.)
 - ③ RETAINING WALL (SEE GRADING PLAN FOR MAX HEIGHT)
 - ④ RETAINING WALL WITH SAFETY RAILING
 - ⑤ STAIRS
 - ⑥ ACCESSIBLE CURB RAMP
 - ⑦ SIGHT TRIANGLE
 - ⑧ SAFETY TRIANGLE
 - ⑨ SIDEWALK CHASE
 - ⑩ 4' CONCRETE SIDEWALK
 - ⑪ 6.5' CONCRETE SIDEWALK
 - ⑫ 2' CONCRETE CROSSPAN
 - ⑬ 4' CONCRETE CROSSPAN
 - ⑭ TYPE MS1 CURB AND GUTTER WITH 4' ATTACHED SIDEWALK (TYP.)
 - ⑮ TYPE VC1 CURB AND GUTTER
 - ⑯ STOP SIGN (R1-1)
 - ⑰ ADA RESERVED PARKING SIGN (R7-8)
 - ⑱ CDOT TYPE 2 DIRECTIONAL CURB RAMP (M-608-1)
 - ⑲ 6 FT WIDE SIDEWALK
 - ⑳ FIRE HYDRANT ASSEMBLY

LEGEND



PROJECT NO. SDP20-0041

The logo for CAGE CIVIL ENGINEERING. It features a stylized geometric icon on the left, composed of three triangles meeting at a central point, with the top triangle in dark grey and the bottom two in light green. To the right of the icon, the word "CAGE" is written in large, bold, dark grey capital letters, and "CIVIL ENGINEERING" is written in smaller, dark grey capital letters below it.[illegible]

CANVAS AT CASTLE ROCK
DETAILED SITE PLAN
NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD
CASTLE ROCK, CO

DJ NO: 200119

G : DDK

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SHEET NUMBER

SP3

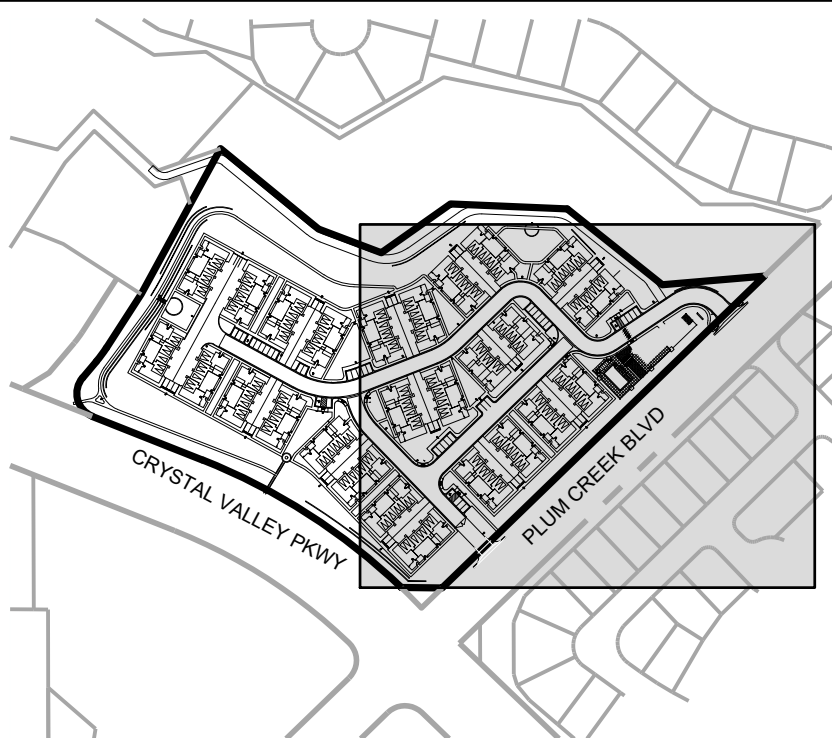
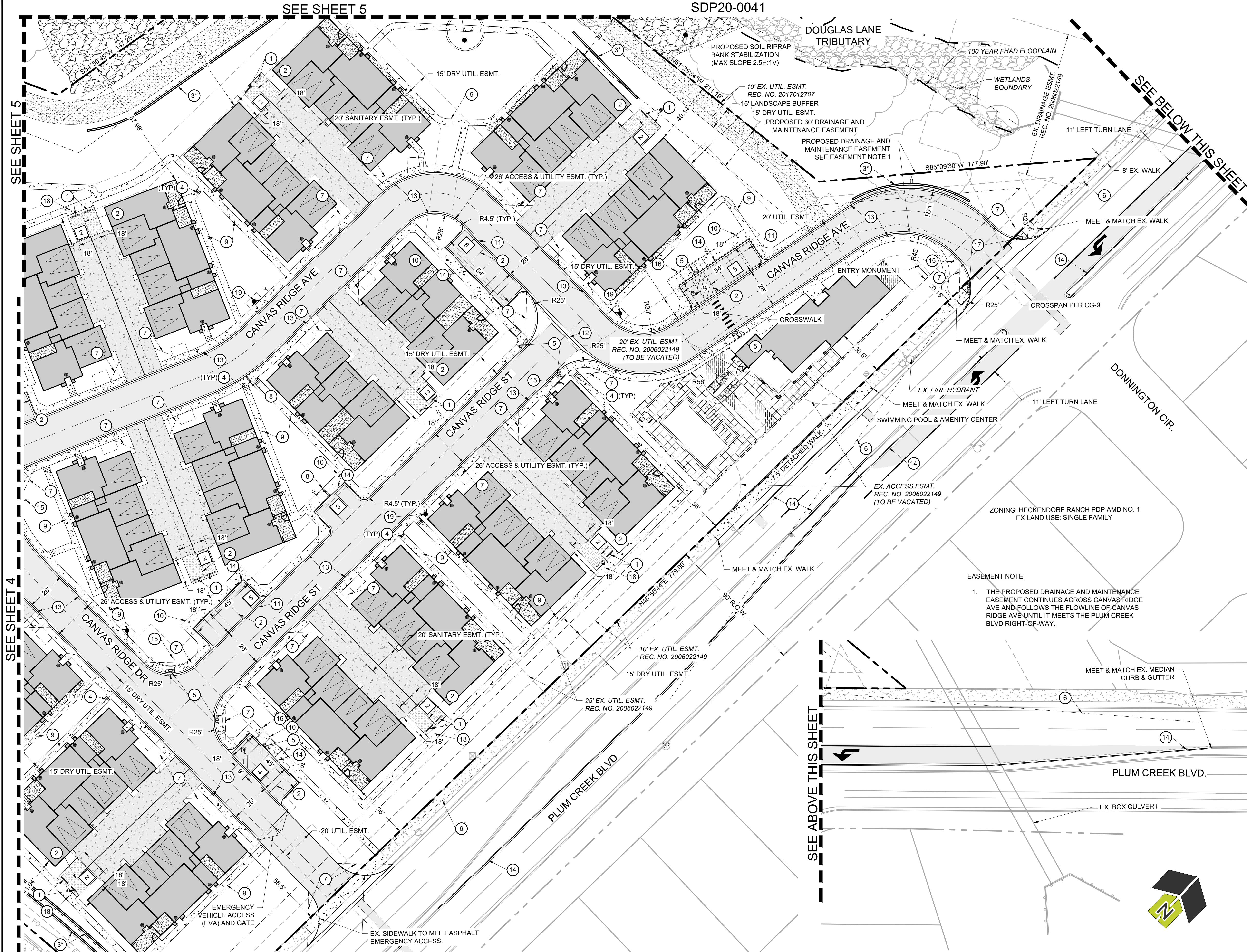
OF 25

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

SDP20-0041



KEYMAP



SITE PLAN NOTES:

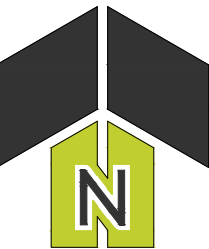
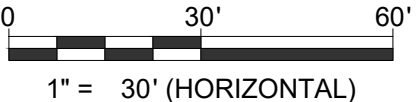
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- 15 STOP SIGN (R1-1)
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- 17 CDOT TYPE 2 DIRECTIONAL CURB RAMP (M-608-1)
- 18 6 FT WIDE SIDEWALK
- 19 FIRE HYDRANT ASSEMBLY

LEGEND

- | | |
|-----------|---------------------------------------|
| # | PARKING COUNT |
| # | BUILDING NUMBER |
| [Pattern] | ASPHALT PAVEMENT |
| [Pattern] | CONCRETE PAVEMENT |
| [Pattern] | CONCRETE SIDEWALK |
| [Pattern] | EXISTING CONCRETE SIDEWALK |
| [Pattern] | CONCRETE PORCH |
| [Pattern] | GEOPAVE GRAVEL PAVERS (OR EQUIVALENT) |
| [Pattern] | ARTIFICIAL TURF |
| [Pattern] | CURB & GUTTER |
| [Symbol] | PR. LIGHT POLE |
| [Symbol] | EX. LIGHT POLE |
| [Symbol] | FRONT ENTRANCE |
| [Symbol] | EX. ELECTRICAL BOX/TRANSFORMER |
| [Symbol] | GARAGE PARKING SPACE |



PROJECT NO. SDP20-0041

DATE	12/16/2020
REV. NO.	12/01/2020
DESCRIPTION	2
REVISED PER TOWN COMMENTS	1

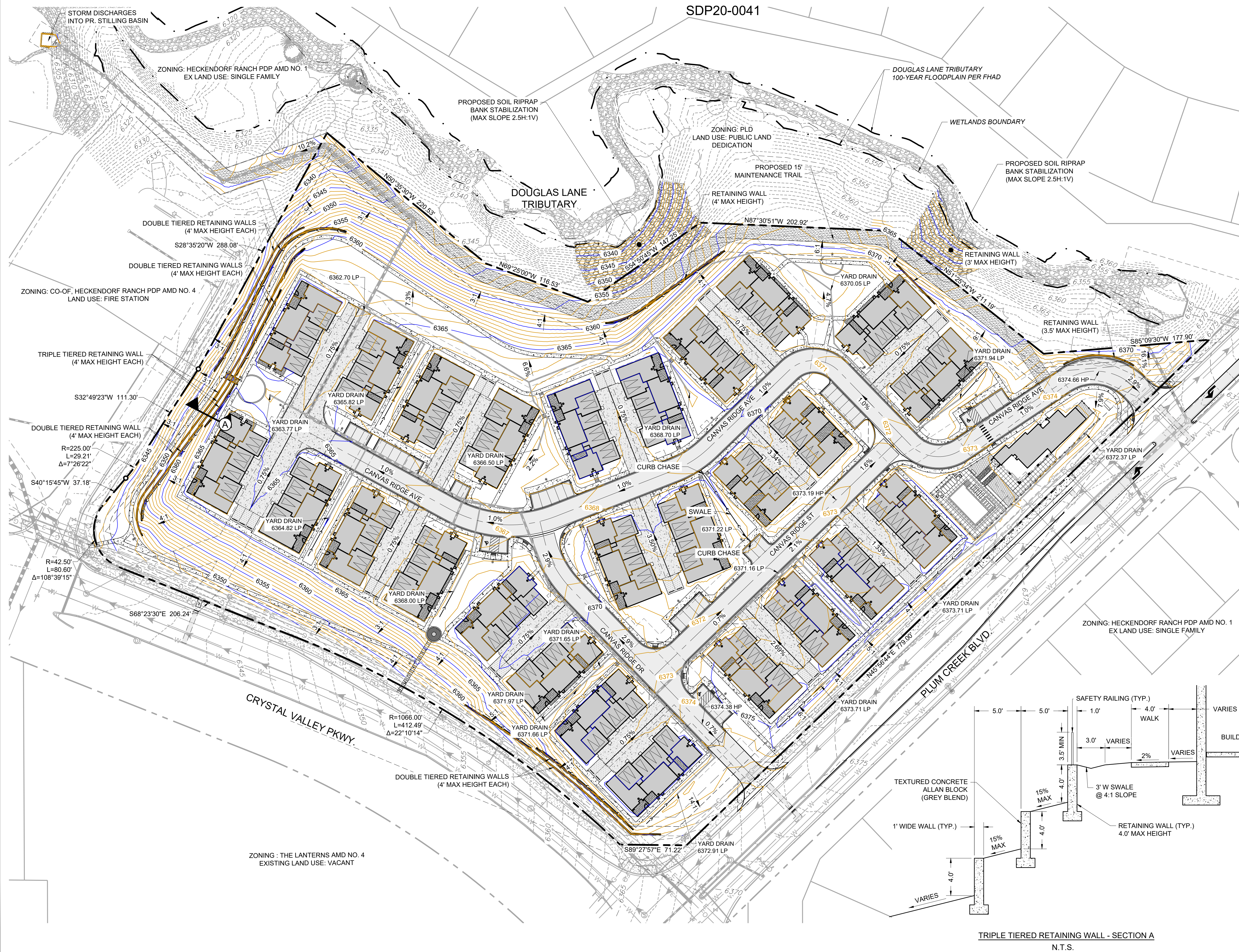
WATERMARK EQUITY GROUP
CANVAS AT CASTLE ROCK
DETAILED SITE PLAN
NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD
CASTLE ROCK, CO

PROJ NO: 200119
ENG: DDK
DATE: 08/14/2020

SHEET NUMBER
SP4

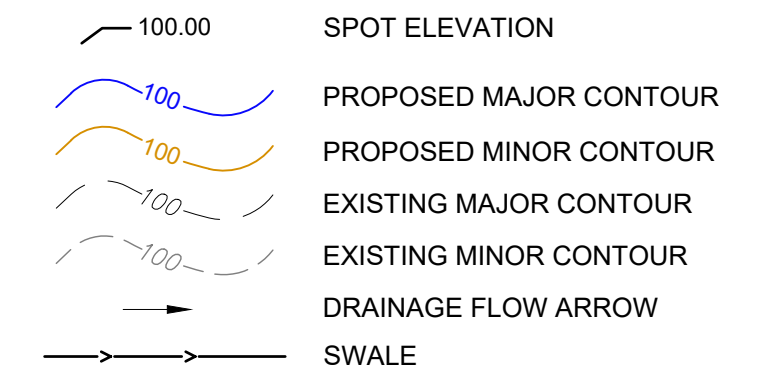
SITE DEVELOPMENT PLAN AMENDMENT NO. 1

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO
SDP20-0041

**GRADING PLAN NOTES:**

1. ACCORDING TO FIRM PLAN 08035C0303G, DATED MARCH 16, 2016 NO 100 YEAR FLOOD PLAIN EXISTS ON SITE.
2. NO SIGNIFICANT VEGETATION EXISTS ONSITE.
3. DETENTION AND WATER QUALITY PROVIDED IN OFFSITE REGIONAL FACILITY.
4. RETAINING WALLS OVER 4 FEET HIGH WILL REQUIRE A SEPARATE BUILDING PERMIT.
5. OFFSITE GRADING WILL REQUIRE A TEMPORARY CONSTRUCTION EASEMENT.

LEGEND



GRADING ABBREVIATIONS

HP	HIGH POINT
LP	LOW POINT
TF	TOP OF FOUNDATION

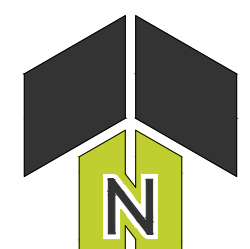
BENCHMARK

BENCH MARK IS NG'S POINT "X 396". THE MONUMENT IS A STEEL ROD WITH A PUNCH MARK INSIDE OF A PVP PIPE SET IN CONCRETE. ACCESS TO THE MONUMENT IS THROUGH A 5" LOGO CAP LOCATED 0.25 MILES SOUTH OF THE INTERSECTION OF DOUGLAS LANE LEADING EAST, 121.1 FT EAST OF THE CENTERLINE OF THE NORTH BOUND LANES OF INTERSTATE 25, 86.6 FT SOUTH OF THE CENTER OF A RAMPWAY DRIVE LEADING EAST TO A FRAME HOUSE, 38.1 FT EAST OF THE CENTERLINE OF THE EAST FRONTAGE ROAD OF INTERSTATE 25, 5.6 FT NORTH OF A UTILITY POLE, ABOUT LEVEL WITH THE HIGHWAY, AND 1 FT WEST OF A FIBERGLASS WINDSTOP POST AND SHEET FENCE. ELEVATION = 6355.09, NAD83.



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PROJECT NO. SDP20-0041

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WATERMARK EQUITY GROUP

CANVAS AT CASTLE ROCK

GENERAL GRADING PLAN

NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD
CASTLE ROCK, CO

D.J. NO: 200119

G : DDK

TE : 08/14/2020

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SHEET NUMBER

GR1

OF 25

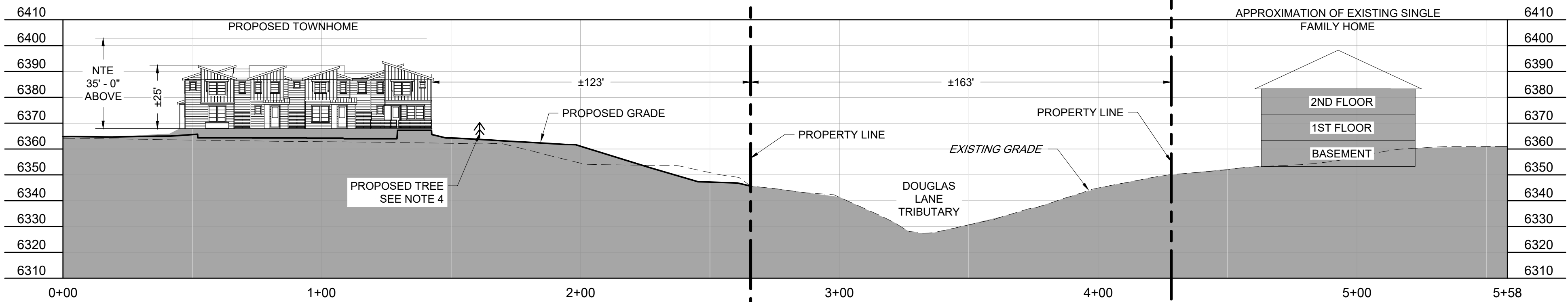
SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

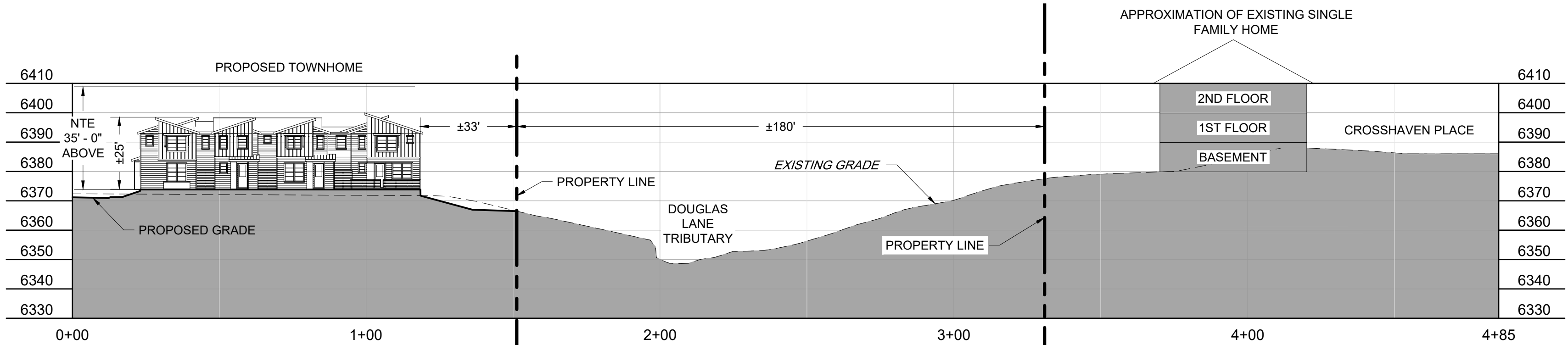
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

SDP20-0041



1. SITE SECTION THROUGH DOUGLAS LANE TRIBUTARY

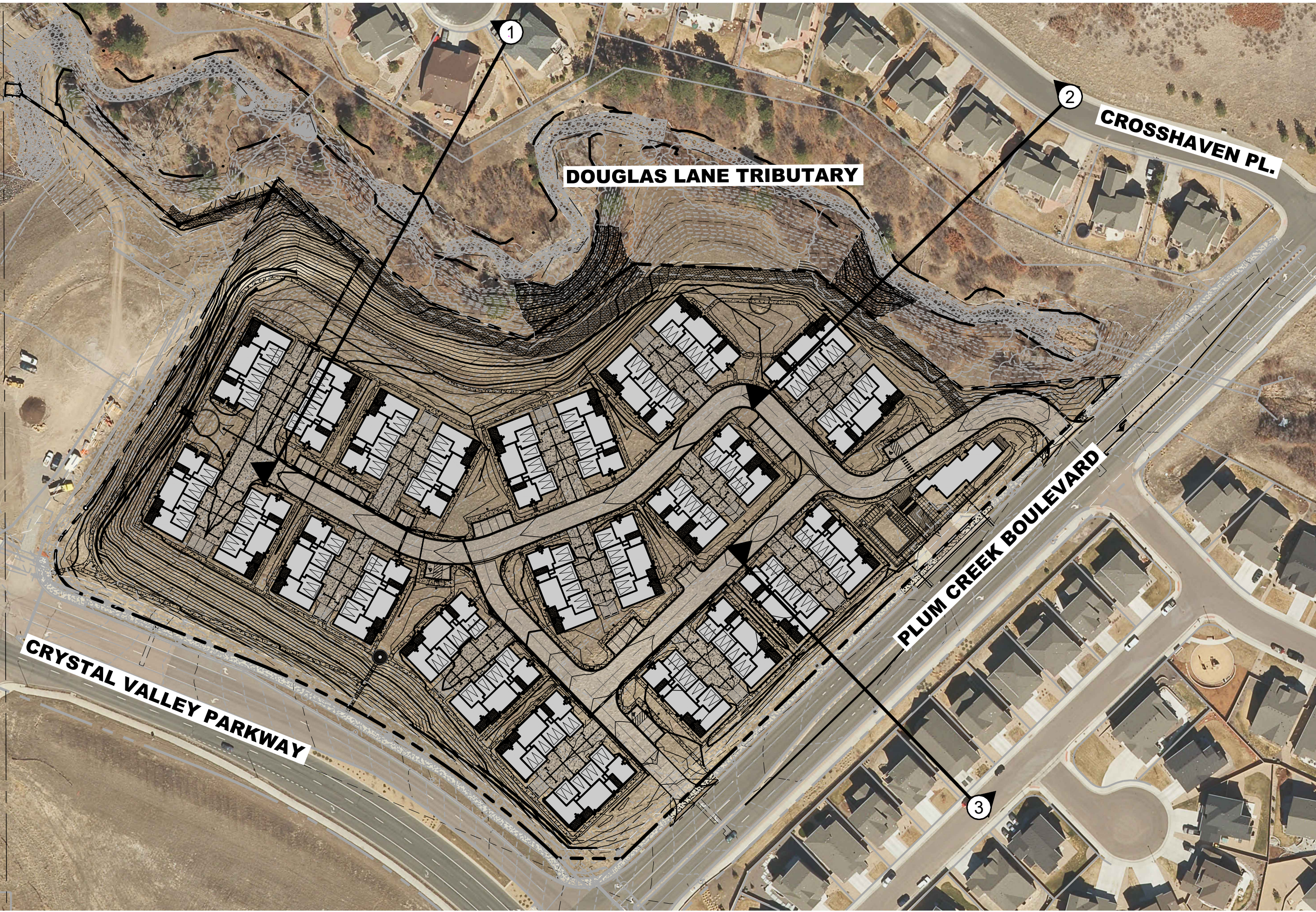
1" = 30'



2. SITE SECTION THROUGH DOUGLAS LANE TRIBUTARY

1" = 30'

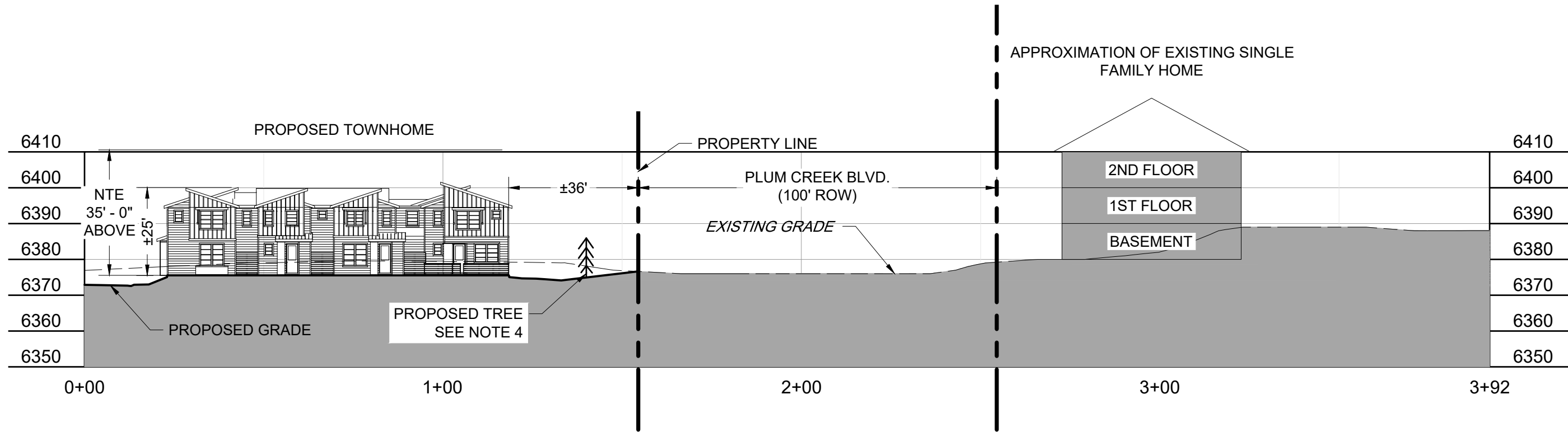
- CROSS SECTION NOTES:
1. NTE IS AN ABBREVIATION FOR NOT TO EXCEED. PROPOSED TOWNHOMES ARE NOT TO EXCEED 35 FT IN HEIGHT.
 2. SEE ARCHITECTURAL PLANS FOR DETAILED ELEVATIONS OF PROPOSED STRUCTURES.
 3. TOPOGRAPHY DEPICTED IS BASED ON EXISTING SITE SURVEY INFORMATION AND SUPPLEMENTAL GIS DATA.
 4. SEE LANDSCAPE PLANS FOR TREE LOCATIONS AND DETAILS.



SITE KEYMAP

0 100' 200'

1" = 100' (HORIZONTAL)



3. SITE SECTION THROUGH PLUM CREEK BLVD.

1" = 30'



REV. NO.	DESCRIPTION	DATE
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WATERMARK EQUITY GROUP

CANVAS AT CASTLE ROCK

SITE SECTIONS

NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD

CASTLE ROCK, CO

PROJ NO: 200119

ENG: DDK

DATE: 08/14/2020

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SHEET NUMBER

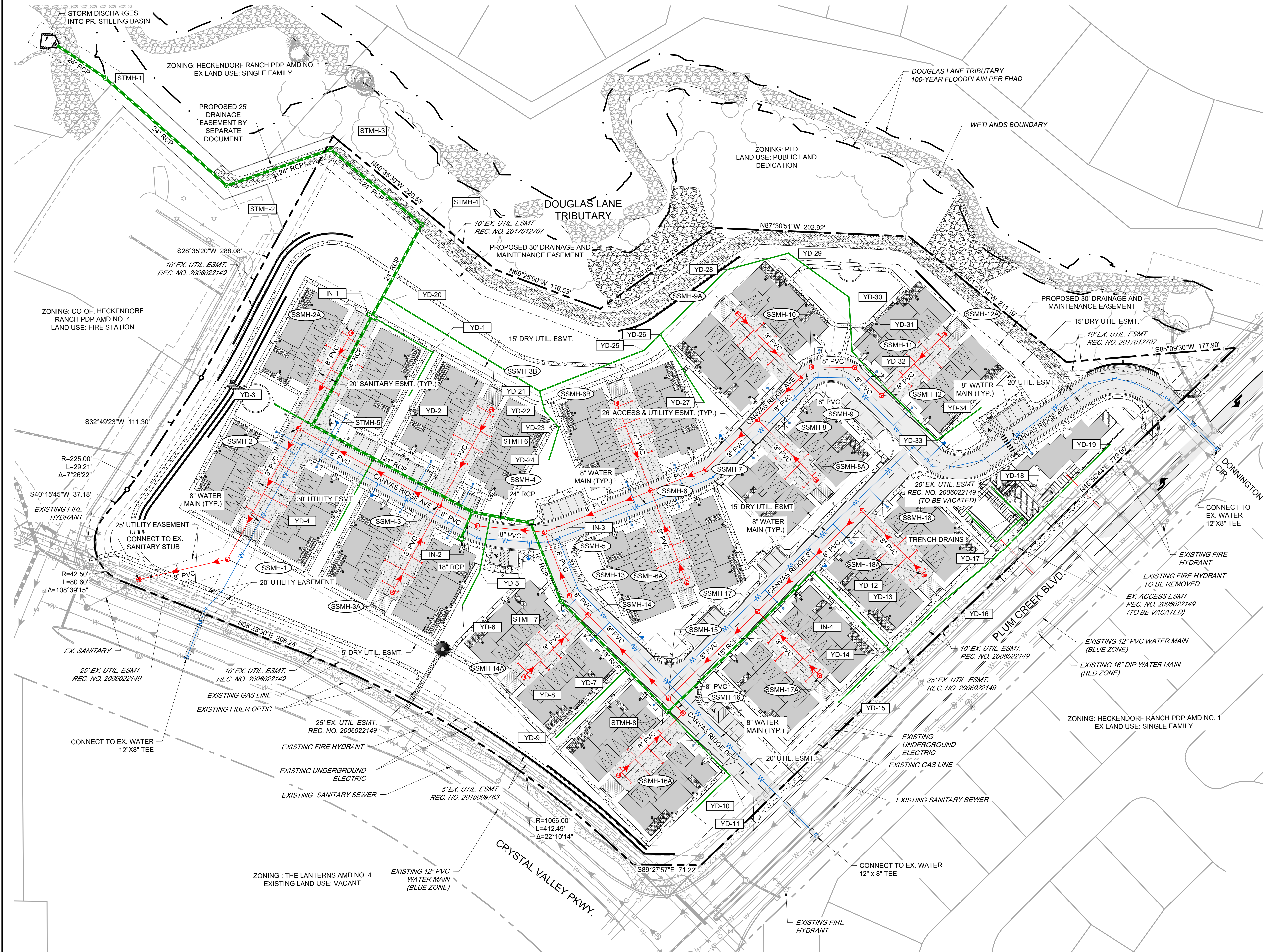
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8 OF 25

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO
SDP20-0041




- UTILITY PLAN NOTES:**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER, AND STORM SEWER LINES IS 10 FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK BLUE WATER PRESSURE ZONE.
 5. THE SITE IS LOCATED WITHIN THE PLUM CREEK WATERSHED.

LEGEND	
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED WATER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER METER
	PROPOSED STORM PIPE
	PROPOSED STORM INLET
	PROPOSED STORM MANHOLE
	PROPOSED YARD DRAIN
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM PIPE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE

REV. NO.	DESCRIPTION	DATE
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0 50' 100'
1" = 50' (HORIZONTAL)

PROJECT NO. SDP20-0041



DATE	12/16/2020
REV. NO.	3
DESCRIPTION	REVISED PER TOWN COMMENTS

WATERMARK EQUITY GROUP

CANVAS AT CASTLE ROCK
GENERAL UTILITY PLAN

NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD
CASTLE ROCK, CO

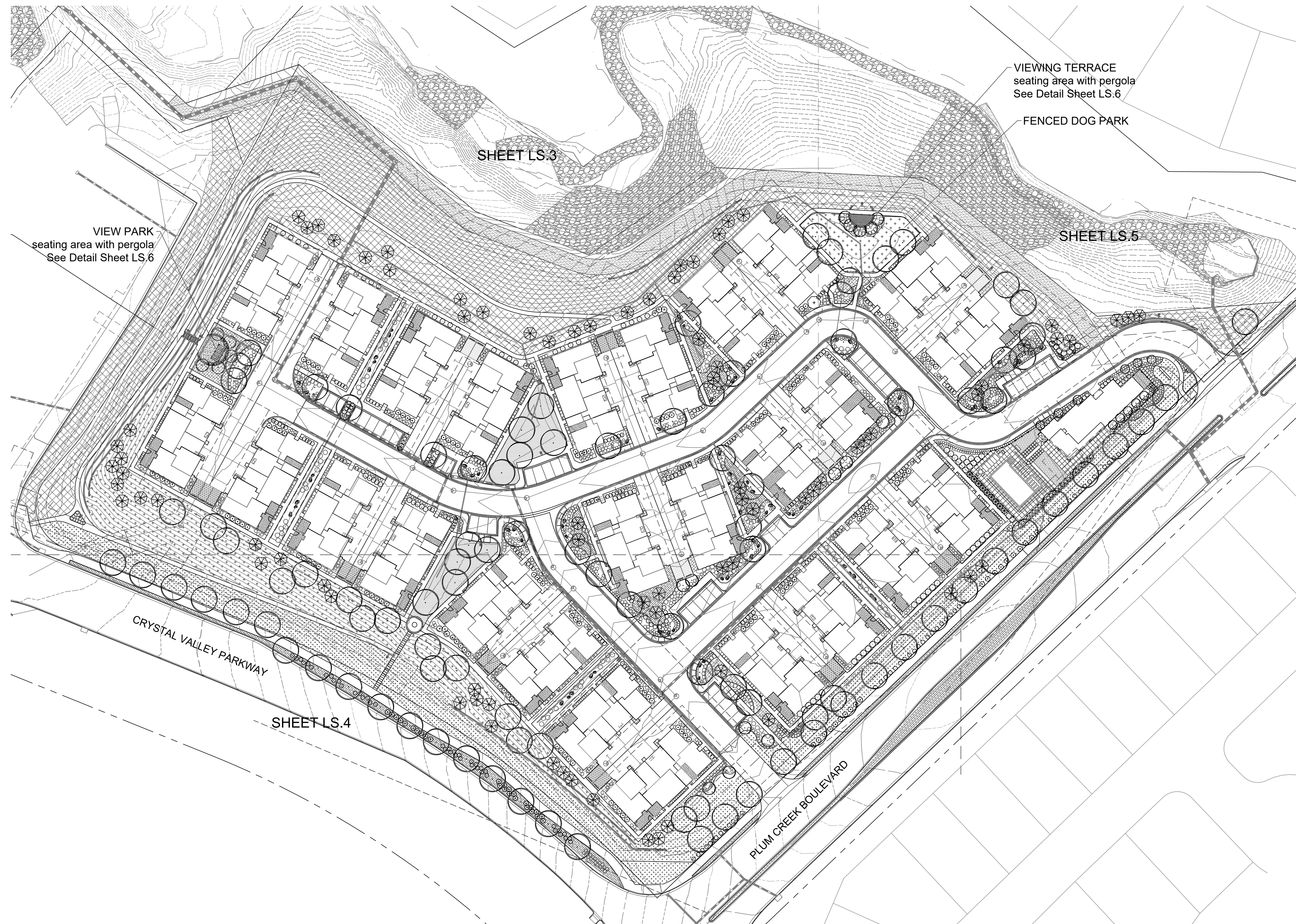
PROJ NO. 200119
ENG : DDK
DATE 08/14/2020

SHEET NUMBER
UT1
9 OF 25

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

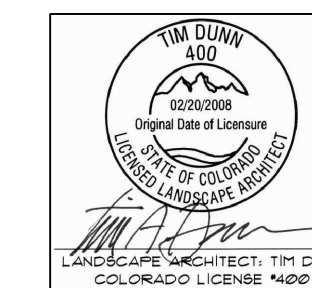
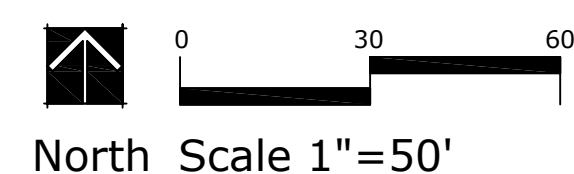
SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO
SDP20-0041



PLANT TYPE	TOTAL PLANT QUANTITIES	
	ON-SITE	RIGHT OF WAY
2" Caliper Deciduous Trees	67	35
Ornamental Trees 1.5" cal. or 6'-8" ht. multi-stem	30	
6' Evergreen Trees	91	
TOTAL TREES	188	35
5 Gallon Evergreen Shrubs	182	46
5 Gallon Deciduous Shrubs	358	94
TOTAL SHRUBS	540	140
Shrub Hydrozone Type		
Very Low	150	
Low	240	
Moderate	61	

LEGEND	
	2" Caliper Deciduous Trees
	Ornamental Trees 1.5" cal. or 6'-8" ht. multi-stem
	6' Evergreen Trees
	5 Gallon Evergreen Shrubs
	5 Gallon Deciduous Shrubs
	1 Gallon Ornamental Grasses
	1 Gallon Perennials
	Moss Rock Boulders
	IRRIGATED THERMAL BLUE TURF
	IRRIGATED FESCUE TURF SEED MIX
	IRRIGATED SEED MIX
	NON-IRRIGATED SEED MIX
	ROCK MULCH BED Over weed barrier Note: all other beds are bark mulch over weed barrier
	Crusher Fines
	Dog Park Open Rail Fence

OVERALL SITE LANDSCAPE PLAN



Landscape Plans prepared by:
Tim Dunn Design Landscape Architecture
Tim Dunn A.S.L.A. R.L.A.
720-350-2411 tadunn1958@gmail.com
www.timdunnlandscapearchitect.com

PROJECT NO. SDP20-0041

TIM DUNN A.S.L.A. R.L.A.
TIM DUNN DESIGN LANDSCAPE ARCHITECTURE
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REV. NO.	DESCRIPTION	DATE
3	REVISED PER TOWN COMMENTS	12/16/2020
2	REVISED PER TOWN COMMENTS	12/11/2020
1	REVISED PER TOWN COMMENTS	10/19/20

WATERMARK EQUITY GROUP
CANVAS AT CASTLE ROCK
GENERAL LANDSCAPE PLAN
NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD
CASTLE ROCK, COLORADO

PROJ NO: 20041
DRAWN BY: TAD
DATE : 8/15/2020

SHEET NUMBER
LS.1
10 OF 25

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO
SDP20-0041

SITE UTILIZATION TABLE

Open Space/Landscaping	4.53 ac	197,370 sf	42%
Private Hardscape Streets	3.24 ac	141,015 sf	30%
Building Coverage	2.54 ac	110,485 sf	24%
Parking	0.12 ac	5,278 sf	1%
Gravel Maintenance Trail	0.31 ac	13,688 sf	3%
TOTAL	467,836 sf - 10.74 ac		

COMPOSIT LANDSCAPE WATER USE RATING CHART

Landscape Zone	LWU Rating Range
Very Low Water Use	0.0 to 1.5
Low Water Use	+1.5 to 3.0
Moderate Water Use	+3.0 to 4.5
High Water Use	+4.5

CLWUR CHART FOR THE TOWN OF CASTLE ROCK								
Irrig. Zone	Plant Name (Common)	App. rate Inches / month	Landscape Zone	% of total area	IA (Irrigated area in sf for each zone	LWUR Landscape water use rating	TA Total area of all irrigated landscape zones	CLWUR LWUR x IA/TA
Spray	Thermal Blue Turf	3.8	High	3%	7,000 sf	4.5	101,837 sf	0.31
Spray	Fescue Turf Seed Mix	2.0	Low	7%	27,825 sf	2	101,837 sf	0.55
Spray	Irrigated Native Seed Mix	2.0	Low	20%	23,500 sf	2	101,837 sf	0.46
Drip	Trees in non-irrigated native	2.0	Low	10%	250 sf	2	101,837 sf	0.01
Drip	Shrub beds	3.0	Moderate	60%	43,262 sf	2	101,837 sf	0.85
TOTALS				100%	101,837 sf		101,837 sf	
Trees in non-irrigated native to recieve drip irrigation						TOTAL OF THE CLWUR		2.18

TOTAL OF THE CLWUR 2.03 (2)

LANDSCAPE SUMMARY TABLE

Landscape Type	Square Footage	Percentage
Thermal Blue Turf	7,000	3%
Irrigated Fescue Turf Seed	27,825	14%
Irrigated Native Seed Mix	23,500	12%
Non-irrigated Seed Mix	47,250	24%
Irigated Beds	43,262	22%
Non Irrigated Beds (rock mulch)	34,033	17%
Drainage Rip Rap / Maintenance Road	14,500	8%
TOTAL LANDSCAPE AREA	197,370 sf	100%

LANDSCAPE BUFFER

	PD Requirement	SDP18-0010 RECPT#2018058620	SDP20-041
Crystal Valley Pkwy. (Douglas Lane)	20 FT	20 FT	20 FT
Plum Creek Blvd.	20 FT	20 FT	20 FT
Public Land Dedication	15 FT	15 FT	15 FT
Commercial Properties (West)	15 FT	15 FT	15 FT

MULTI-FAMILY LANDSCAPE SITE INVENTORY

CLWUR Total = 2.18 (LWU rating Low Water Use)

Gross Site (area in sq ft)	Landscape Area (area in sq ft)	Turfgrass List Species	Non-Living Ornamental (area in sq ft)	Number of Trees Required	Number of Trees Provided	Number of Shrubs Required	Number of Shrubs Provided	Soil Prep. Amounts (in cu yds/1,000 sf)	Separate Irrigation Service Connections
467,836 sf (20%-93,567 req.)	197,370 sf provided	Thermal Blue (7,000 sf)	34,033 sf	188	188	375	540	5 cy/1,000 sf	yes

Parking Lot (Area in Sq. Ft.)	Parking Lot Landscape (Area in Sq. Ft.)	No. of Parking Spaces (surface parking)	Non-Living Ornamental (area in sq ft)	No. of Interior Landscape Medians	Min. width of Landscape Medians	Number of Trees Required	Number of Trees Provided	Number of Shrubs Required	Number of Shrubs Provided
11,178 (10%-1,118 sf)	1,118	69	0 sf	0	8'	3	10	12	26

STREETSCAPE REQUIREMENT TABLE

Street Name	Frontage Linear Feet (LF)	Trees				Shrubs	
		Required trees	Canopy shade trees min. 75% of total provided	Non-canopy shade trees provided	Provided trees total	Required shrubs	Provided shrubs
Crystal Valley Pkwy.	664	17	17		17	68	68
Plum Creek Blvd.	723	18	18		18	72	72

LANDSCAPE NOTES

1. FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.

2. LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORSEEN FIELD CONSTRAINTS.

3. ALL PLANTS ARE TO BE PROPERY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.

4. DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.

5. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPE AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.

6. DESIGN MUST ACCOMODATE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGMENT PLAN (WUMP).

7. IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.

8. IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE OF THE PROPERTY.

9. IF ANY TRANSFORMERS, GROUND MOUNTED HVAC UNITS, UTILITY PEDESTALS OR SIMILAR EXISTING ON THE SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED BASED UPON FINAL INSPECTION AND ISSUANCE OF THE CERTIFICATE OF OCCUPANCY AS APPLICABLE.

10. NO SOLID OBJECT EXCEEDING 30 INCHES IN HEIGHT ABOVE THE FLOWINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED WITHIN THE SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLANS.

11. NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTLITY AND DRAINAGE EASEMENTS.

12. AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.

13. LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.

14. DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACE WITH HEALTHY PLANTING MATERIALS OF COMPARIBLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.

15. SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

GENERAL IRRIGATION STANDARD NOTES

1. ALL SEEDED TURF AREAS TO BE IRRIGATED WITH SPRAY HEADS.

2. TREES IN NATIVE TO BE IRRIGATED USING ABOVE GROUND DRIP EMITTERS.

3. NATIVE SEED GRASSES THAT ARE IIRRIGATED ARE TO USE ROTORS.

4. SOD AREAS LESS THAN 10 FEET IN WIDTH WILL BE IRRIGATED WITH SUBSURFACE DRIP IRRIGATION.

5. IRRIGATION TO CONFORM TO THE TOWN OF CASTLE ROCK WATERING TIMES/DAYS GUIDELINES.

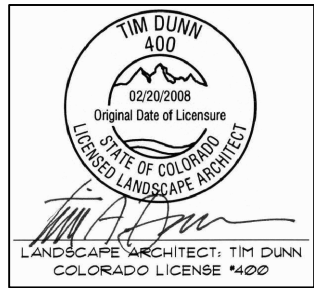
6. ALL LANDSCAPE SHOWN ON CONCEPUTAL LANDSCAPE PLAN IS CONSIDERED LOW HYDROZONE EXCEPT FO THE IRRIGATED TURF GRASS AREAS WHICH ARE CONSIDERED HIGH.

GENERAL GRADING NOTES

1. ALL AREAS ARE TO BE GRADED TO ACHEIVE POSITIVE DRAINAGE. MINIMUM SLOPE ON LANDSCAPED AREAS SHALL BE 2%, MAXIMUM SLOPE SHALL BE 3:1.

2. MAXIMUM ALLOWED FINAL GRADES FOR LONGITUDINAL SLOPE ON WALKS AND PAVED AREAS SHALL BE 6% UNLESS OTHERWISE INDICATED ON PLANS.

3. ALL SLOPES EQUAL OR GREATER THAN 3:1 ARE TO BE CALLED OUT ON THE LANDSCAPE SHEETS.



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PROJECT NO. SDP20-0041

WATERMARK EQUITY GROUP

CANVAS AT CASTLE ROCK

LANDSCAPE DATA & NOTES

NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD
CASTLE ROCK, COLORADO

PROJ NO: 20041

DRAWN BY: TAD

DATE : 8/15/2020

SHEET NUMBER

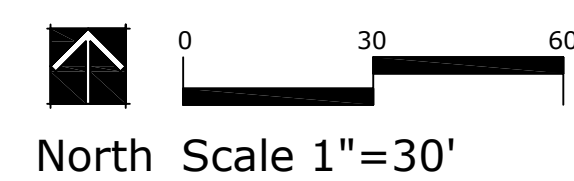
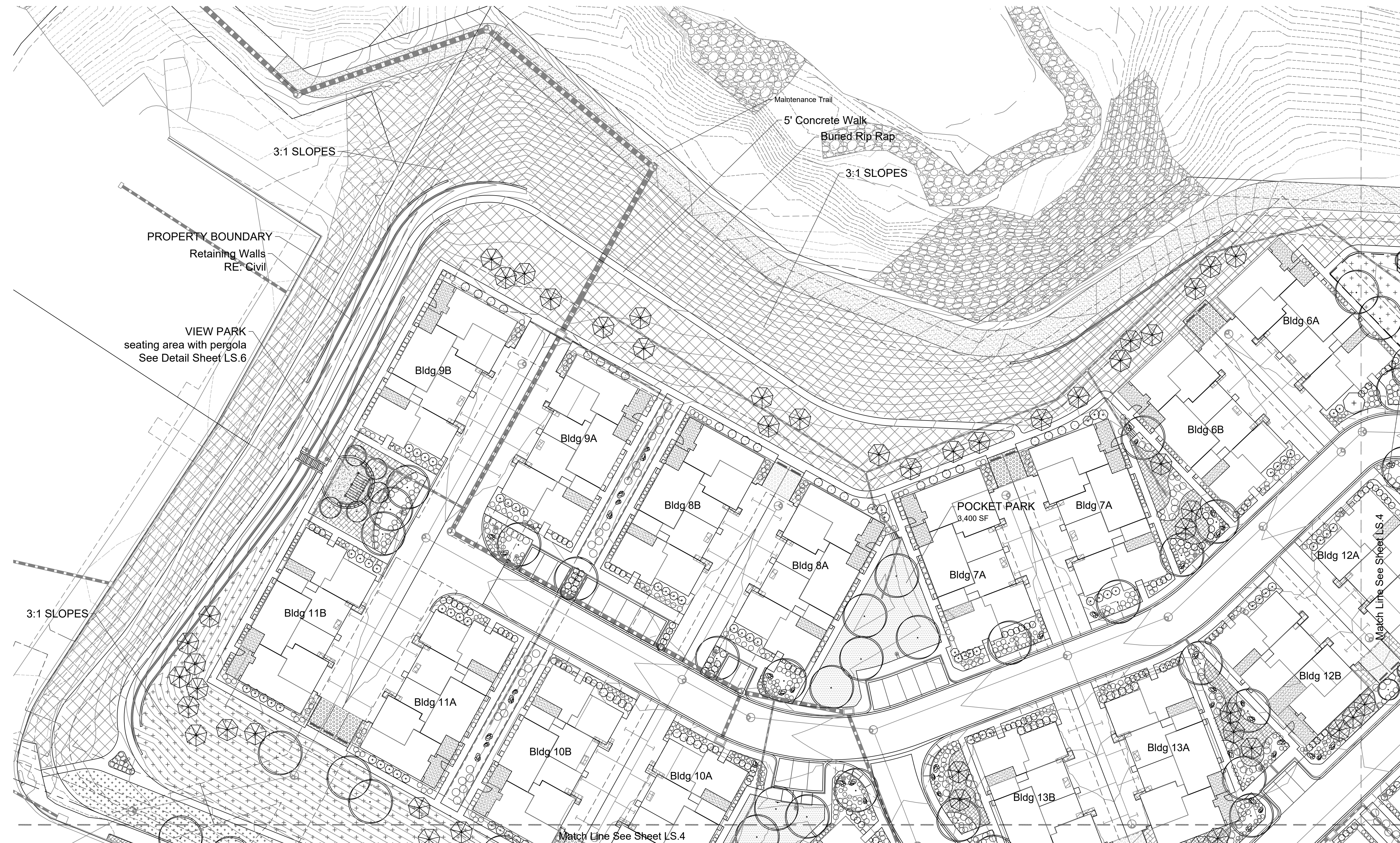
LS.2

11 OF 25

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

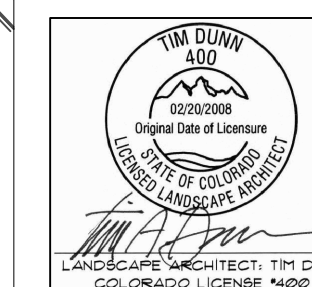
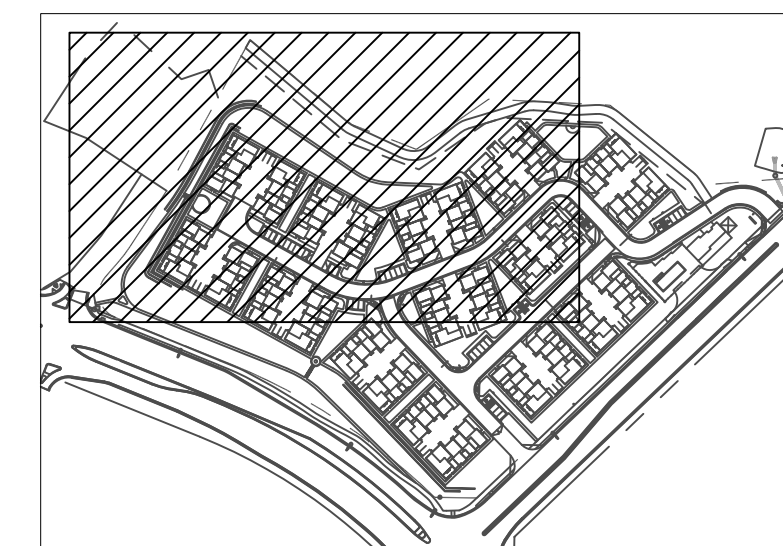
LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

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TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO
SDP20-0041



LEGEND			
	2" Caliper Deciduous Trees		IRRIGATED THERMAL BLUE TEXAS HYBRID TURF
	Ornamental Trees 1.5" cal. or 6'-8" ht. multi-stem		IRRIGATED FESCUE TURF SEED MIX
	6" Evergreen Trees		IRRIGATED SEED MIX
	5 Gallon Evergreen Shrubs		NON-IRRIGATED SEED MIX
	5 Gallon Deciduous Shrubs		
	1 Gallon Ornamental Grasses		
	1 Gallon Perennials		
	Moss Rock Boulders		Crusher Fines
			ROCK MULCH BED Over weed barrier Note: all other beds are bark mulch over weed barrier
			Dog Park Open Rail Fence

KEY MAP



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REV. NO.	DESCRIPTION	DATE
1	REVISED PER TOWN COMMENTS	10/19/20
2	REVISED PER TOWN COMMENTS	12/1/2020
3	REVISED PER TOWN COMMENTS	12/16/2020

WATERMARK EQUITY GROUP
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DETAIL LANDSCAPE PLAN
NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD
CASTLE ROCK, COLORADO

PROJ NO: 20041
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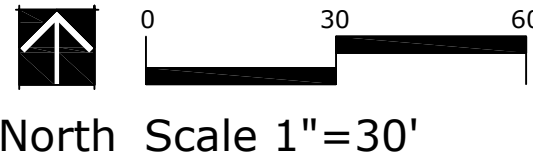
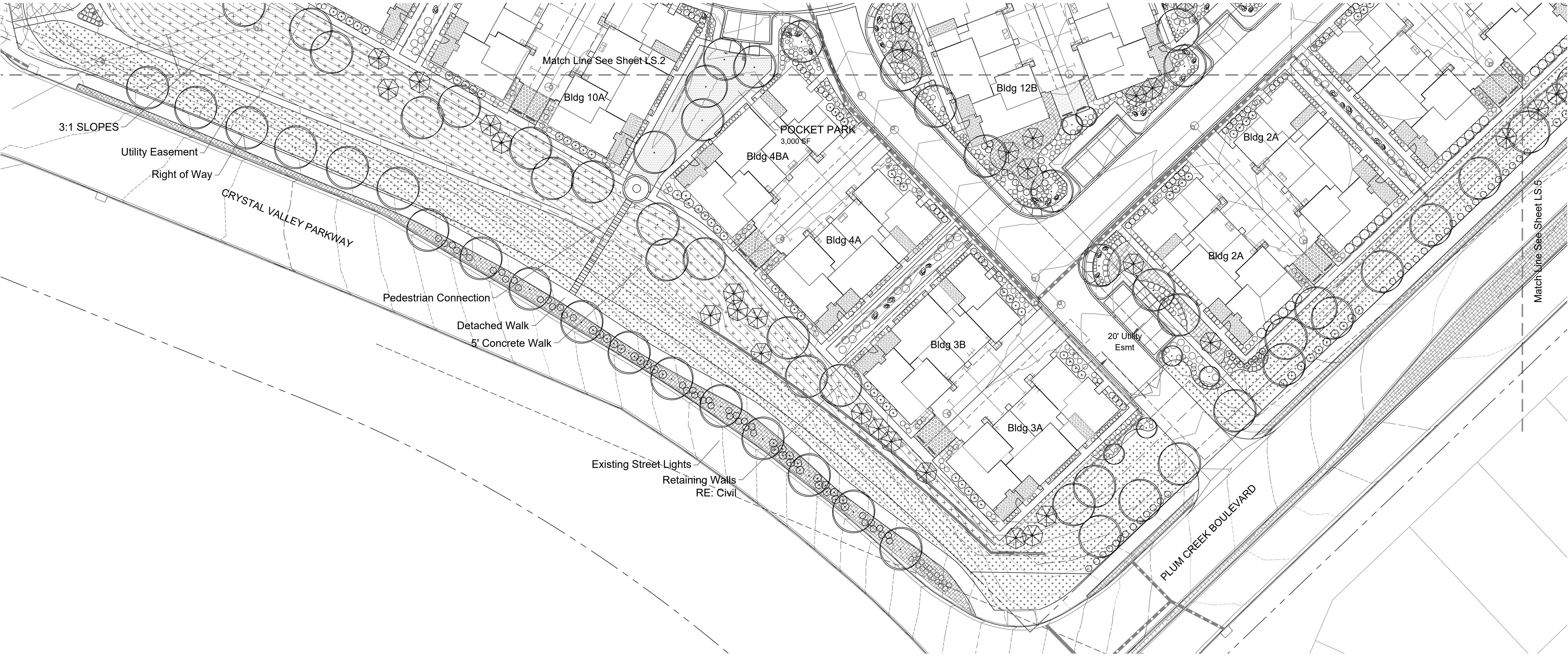
SHEET NUMBER
LS.3
12 OF 25

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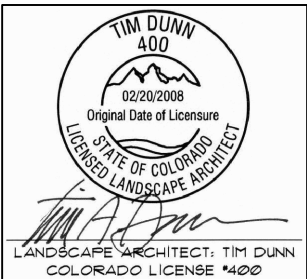
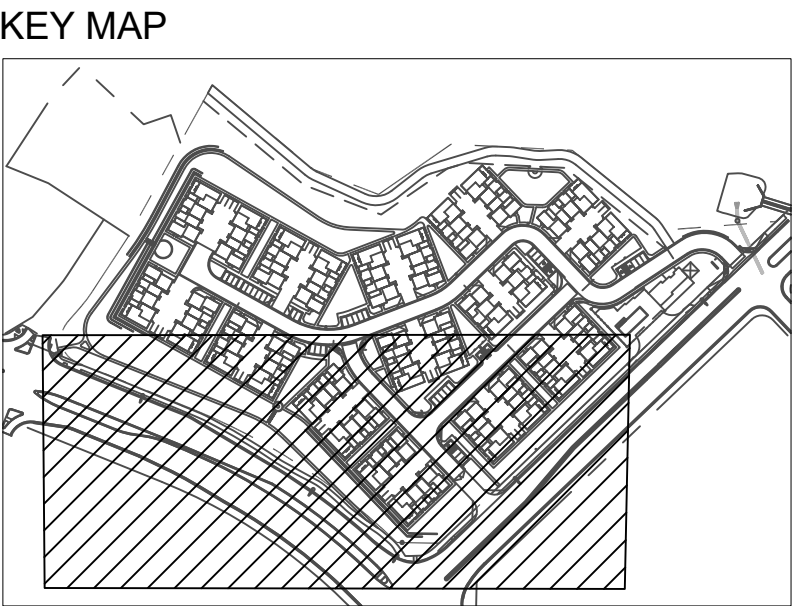
SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO
SDP20-0041



- LEGEND
- | | | | | | |
|--|---|--|--|--|--|
| | 2" Caliper Deciduous Trees | | IRRIGATED THERMAL BLUE TEXAS HYBRID TURF | | Crusher Fines |
| | Ornamental Trees
1.5" cal. or 6"-8" ht. multi-stem | | IRRIGATED FESCUE TURF SEED MIX | | ROCK MULCH BED
Over weed barrier
Note: all other beds are bark mulch over weed barrier |
| | 6' Evergreen Trees | | IRRIGATED SEED MIX | | Dog Park Open Rail Fence |
| | 5 Gallon Evergreen Shrubs | | NON-IRRIGATED SEED MIX | | |
| | 5 Gallon Deciduous Shrubs | | | | |
| | 1 Gallon Ornamental Grasses | | | | |
| | 1 Gallon Perennials | | | | |
| | Moss Rock Boulders | | | | |



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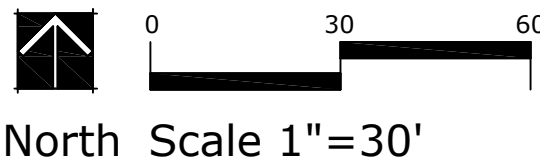
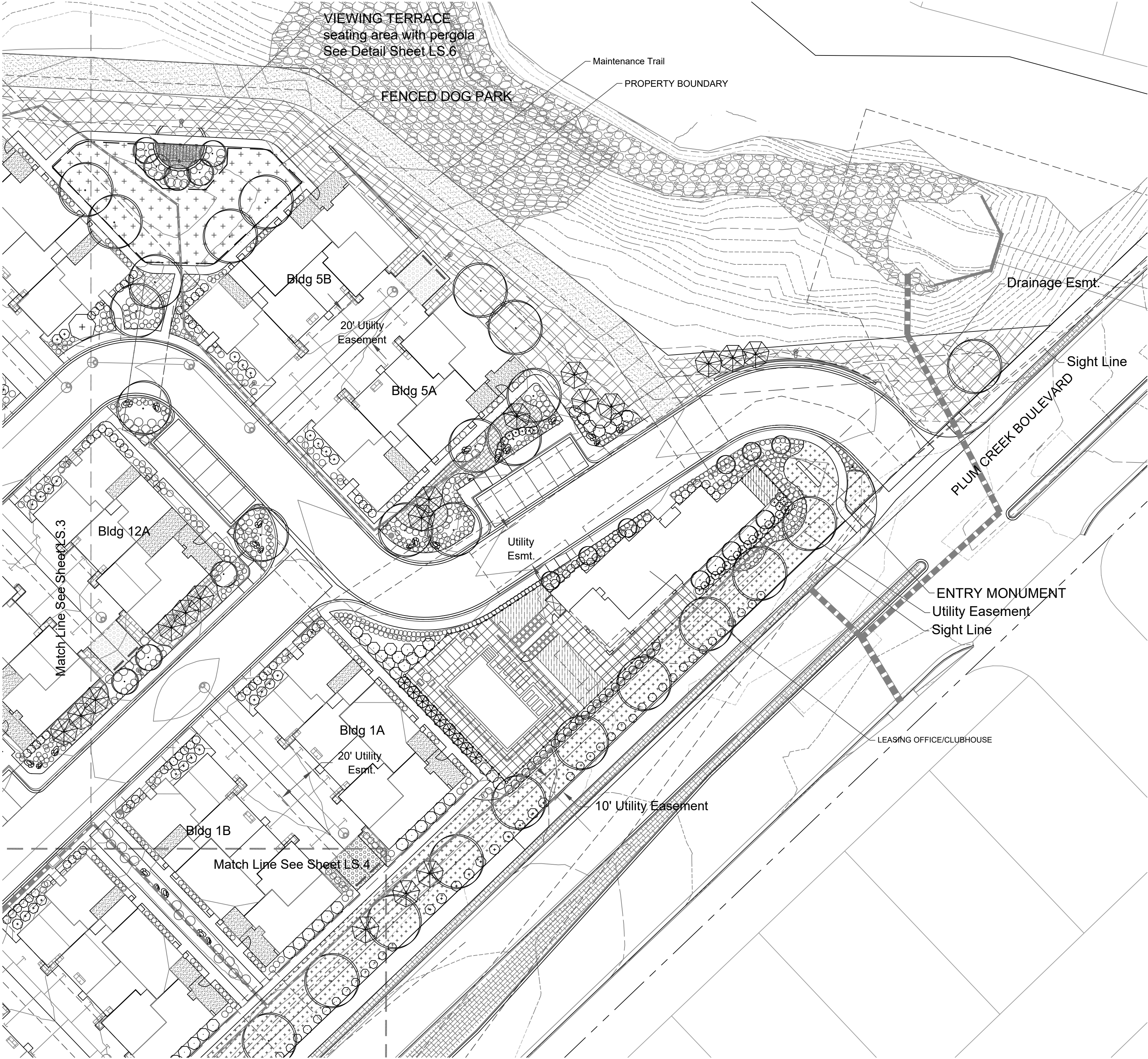
SHEET NUMBER
LS.4
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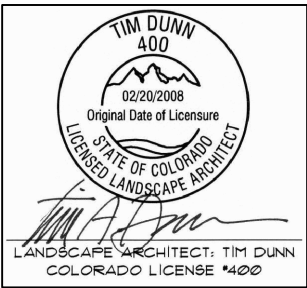
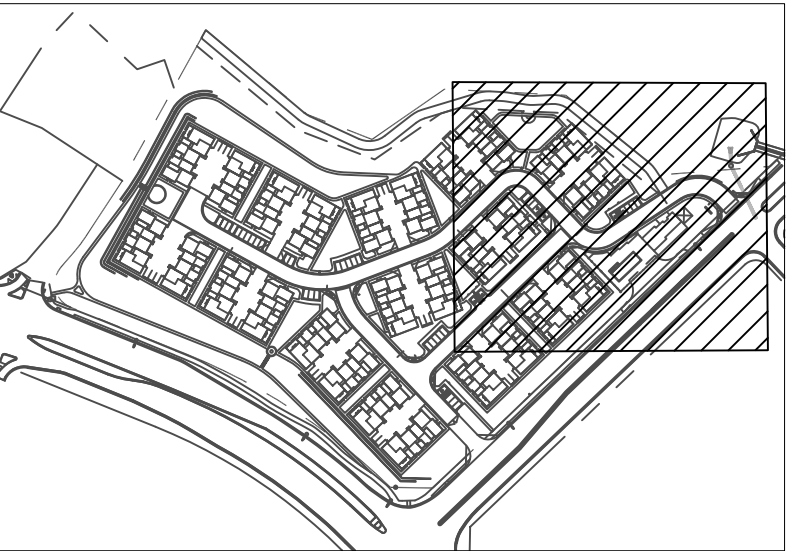
LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO
SDP20-0041



- LEGEND
- 2" Caliper Deciduous Trees
 - Ornamental Trees
1.5" cal. or 6'-8" ht. multi-stem
 - 6' Evergreen Trees
 - 5 Gallon Evergreen Shrubs
 - 5 Gallon Deciduous Shrubs
 - 1 Gallon Ornamental Grasses
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 - Moss Rock Boulders
 - IRRIGATED THERMAL BLUE TEXAS HYBRID TURF
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 - NON-IRRIGATED SEED MIX
 - Crusher Fines
 - ROCK MULCH BED
Over weed barrier
Note: all other beds are bark mulch over weed barrier
 - Dog Park Open Rail Fence

KEY MAP



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CASTLE ROCK, COLORADO



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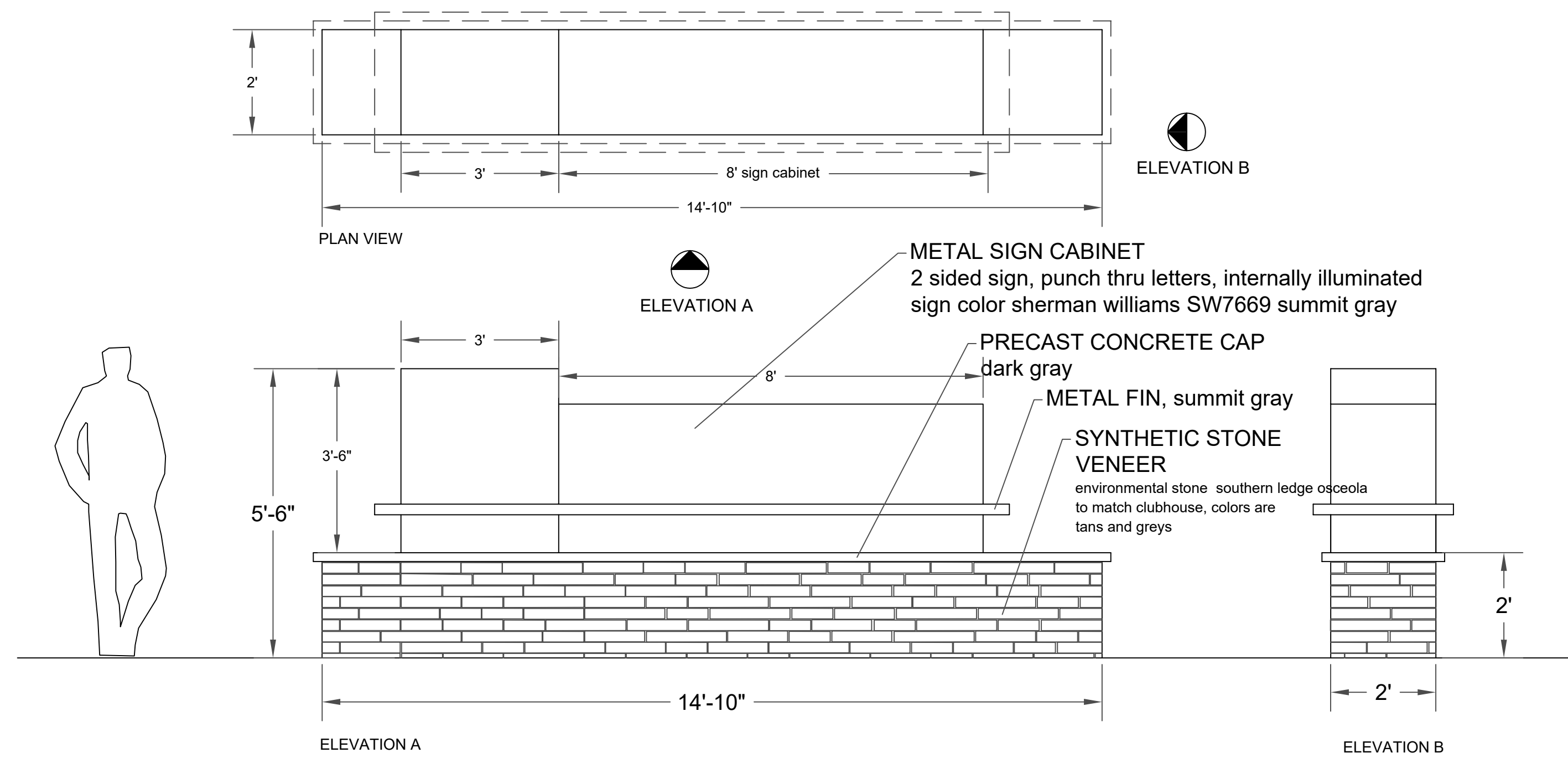
SHEET NUMBER
LS.5
14 OF 25

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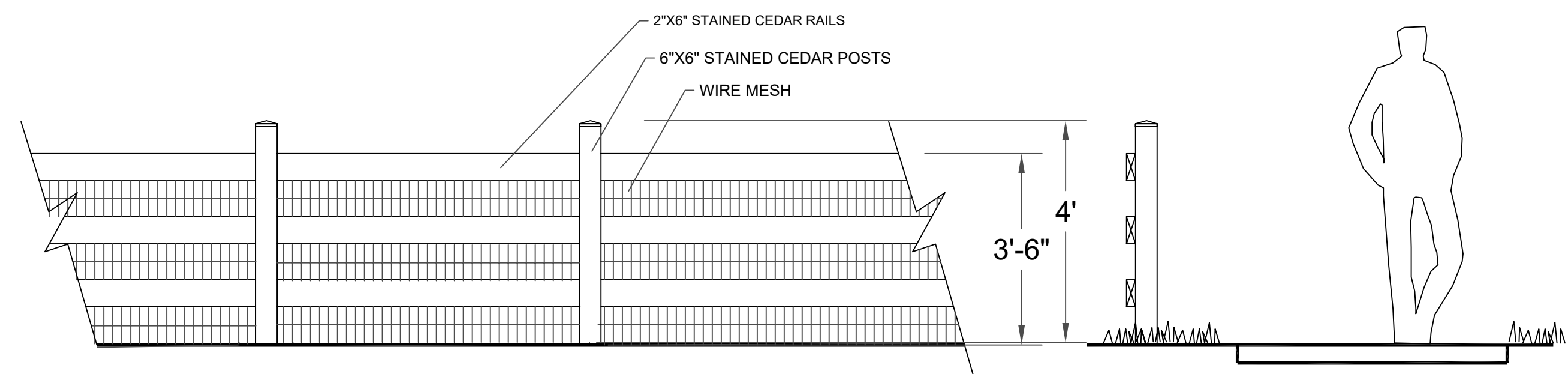
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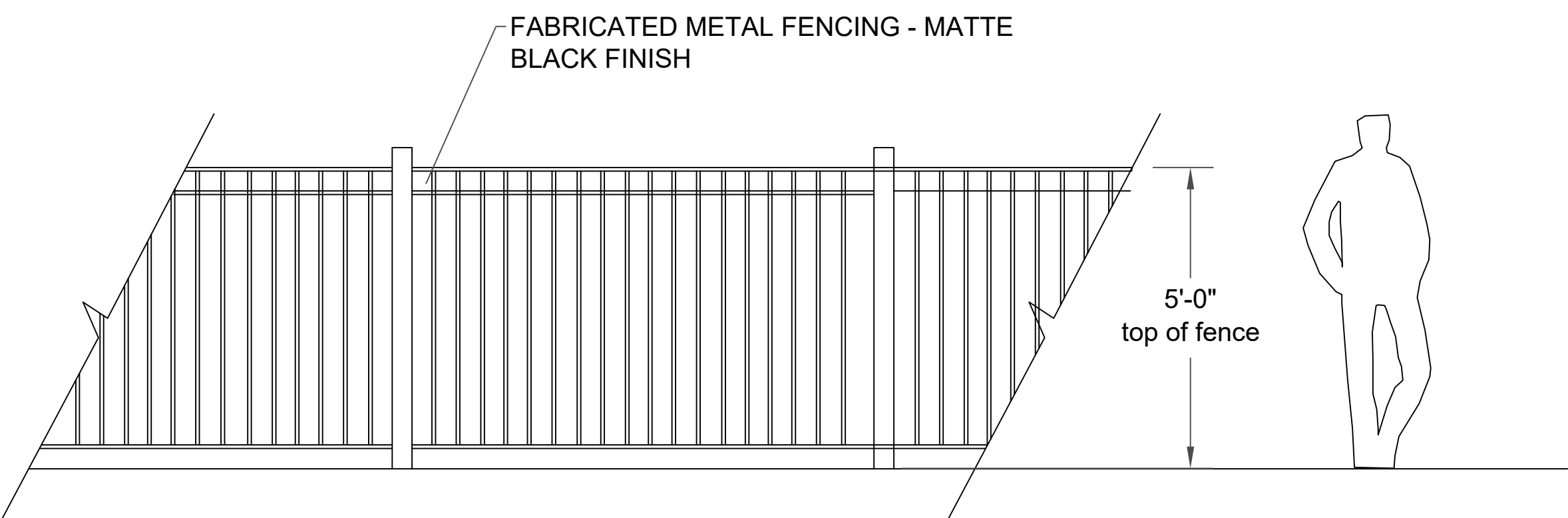
ENTRY MONUMENT - PLUM CREEK BOULEVARD

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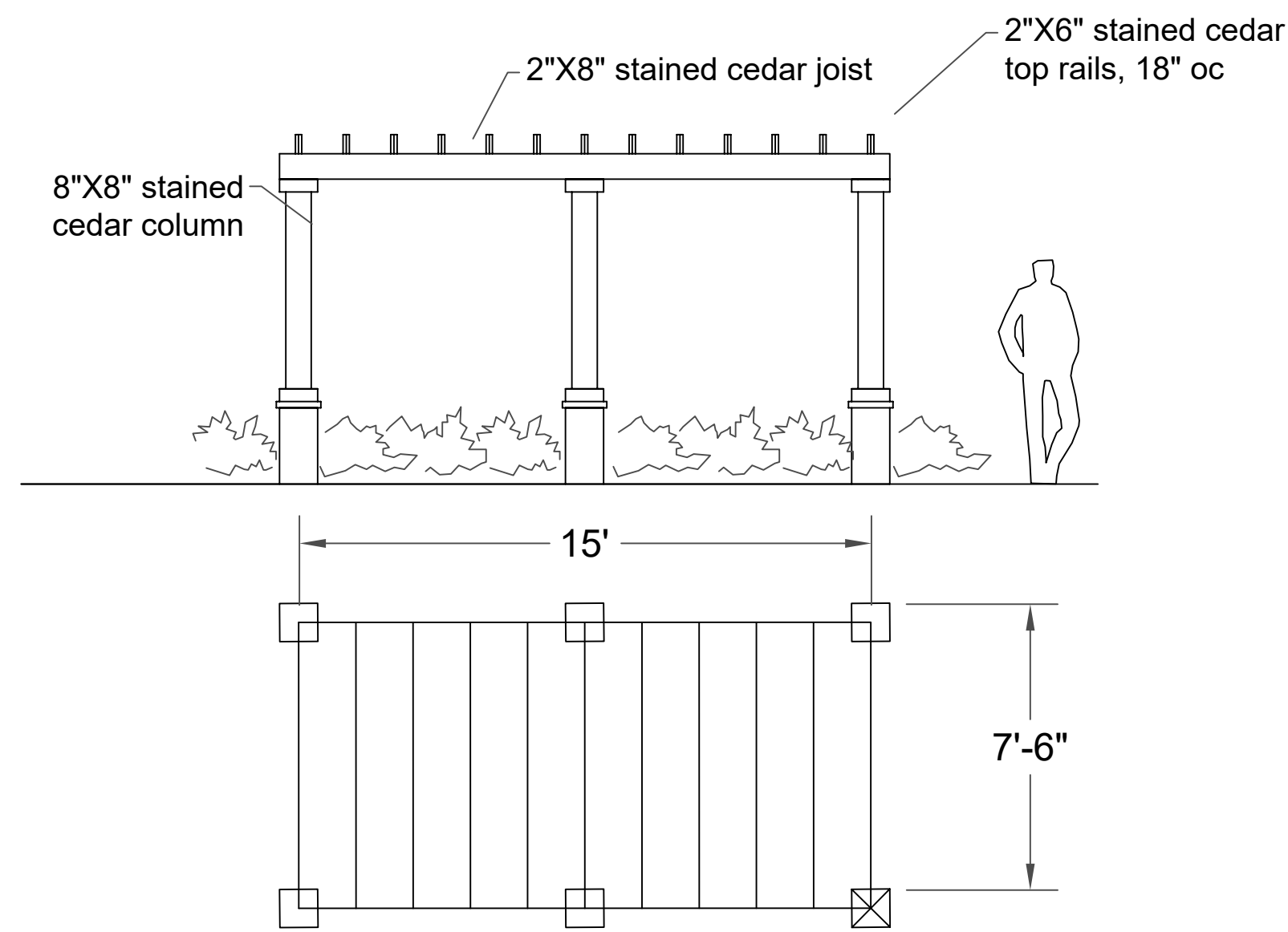
DOG PARK 3 RAIL FENCE DETAIL

No Scale



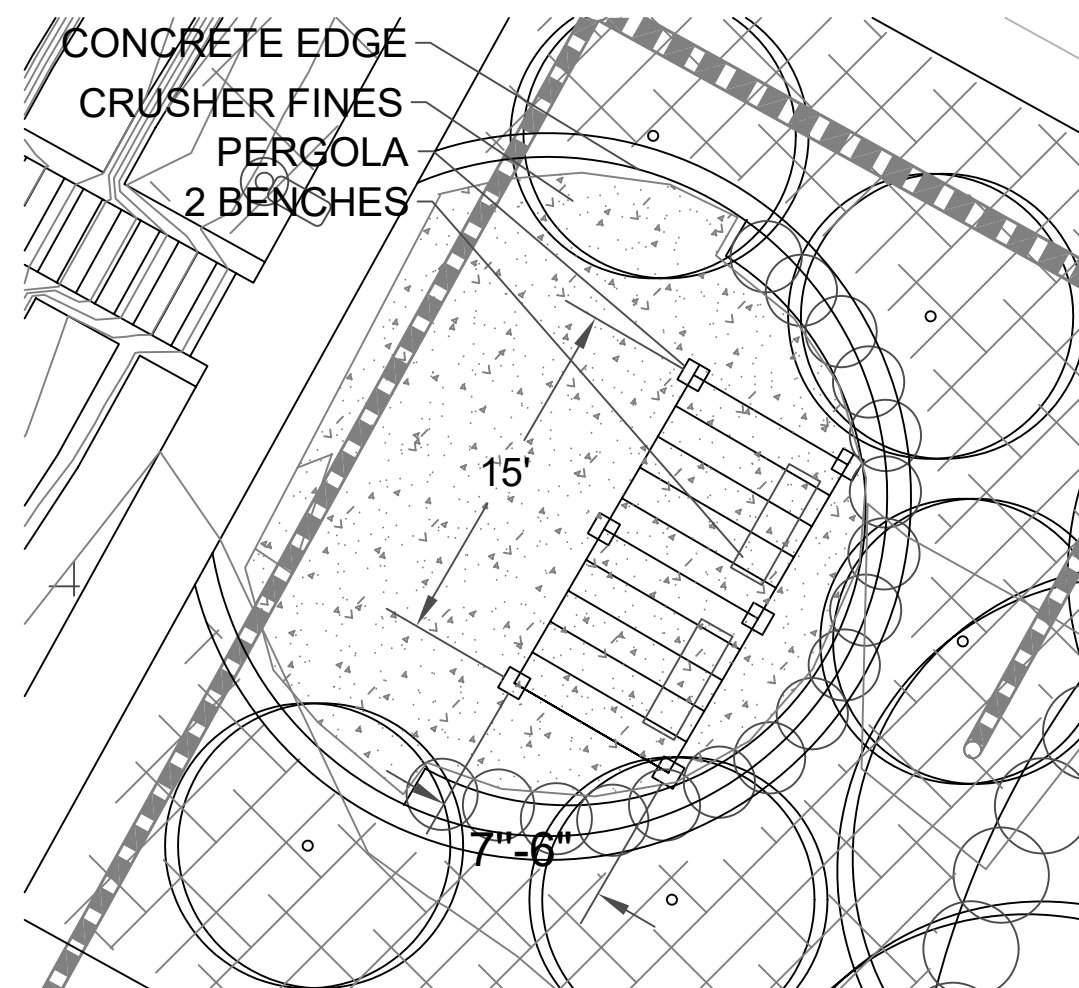
METAL POOL FENCE DETAIL

No Scale



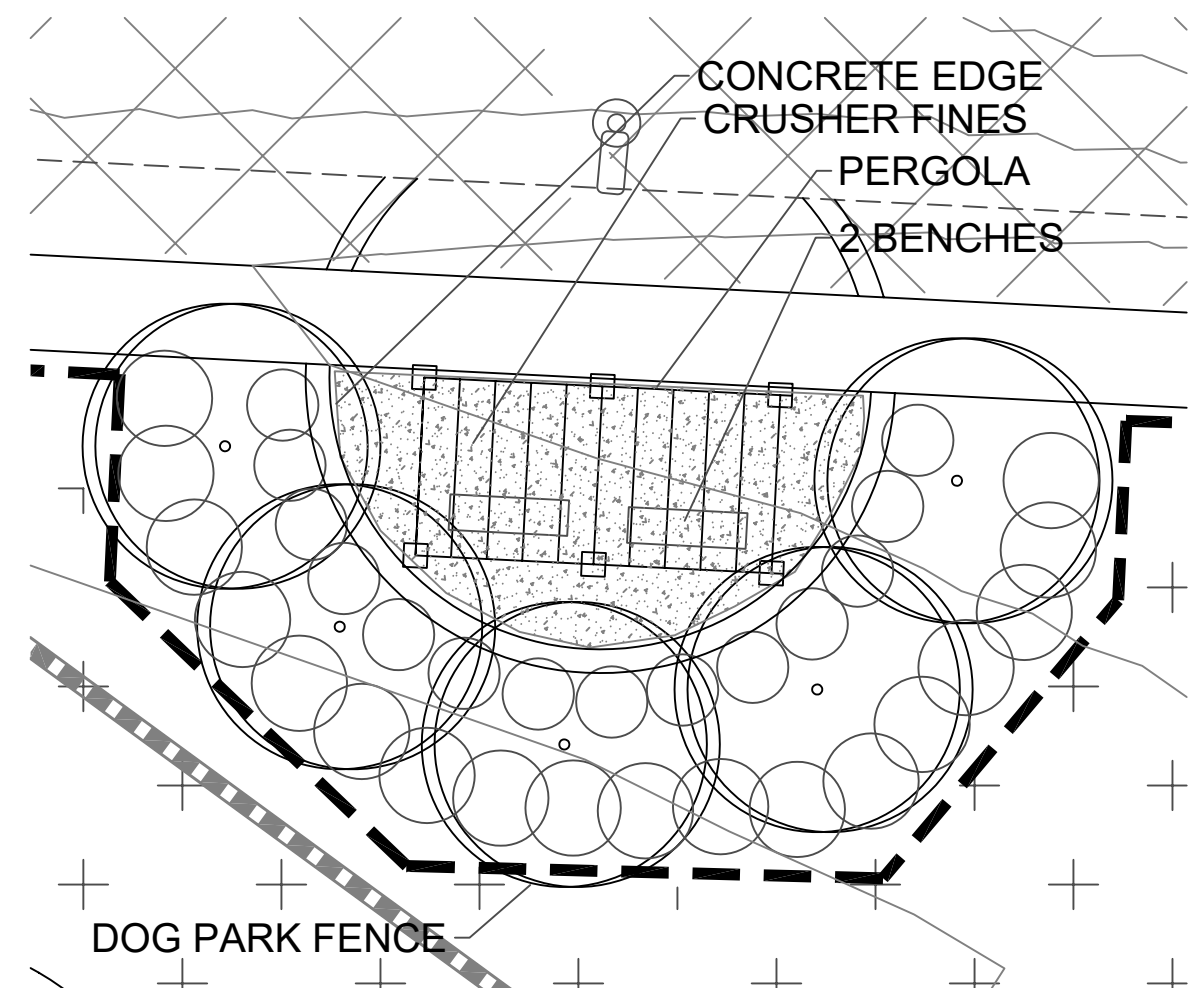
VIEW PARK & VIEWING TERRACE PERGOLA DETAIL

Scale $\frac{1}{4}$ " = 1'-0"



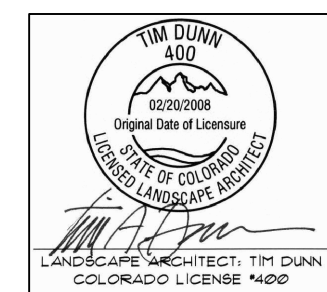
VIEW PARK SEATING AREA & PERGOLA DETAIL

Scale $\frac{1}{8}$ " = 1'-0"



VIEWING TERRACE SEATING AREA & PERGOLA DETAIL

Scale $\frac{1}{8}$ " = 1'-0"



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NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD
CASTLE ROCK, COLORADO

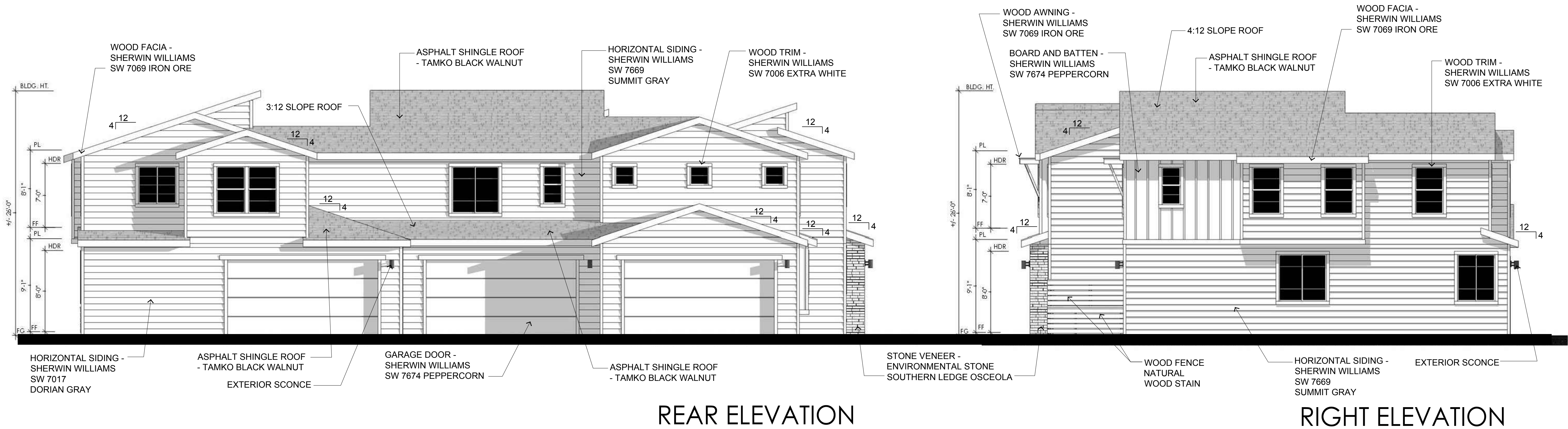
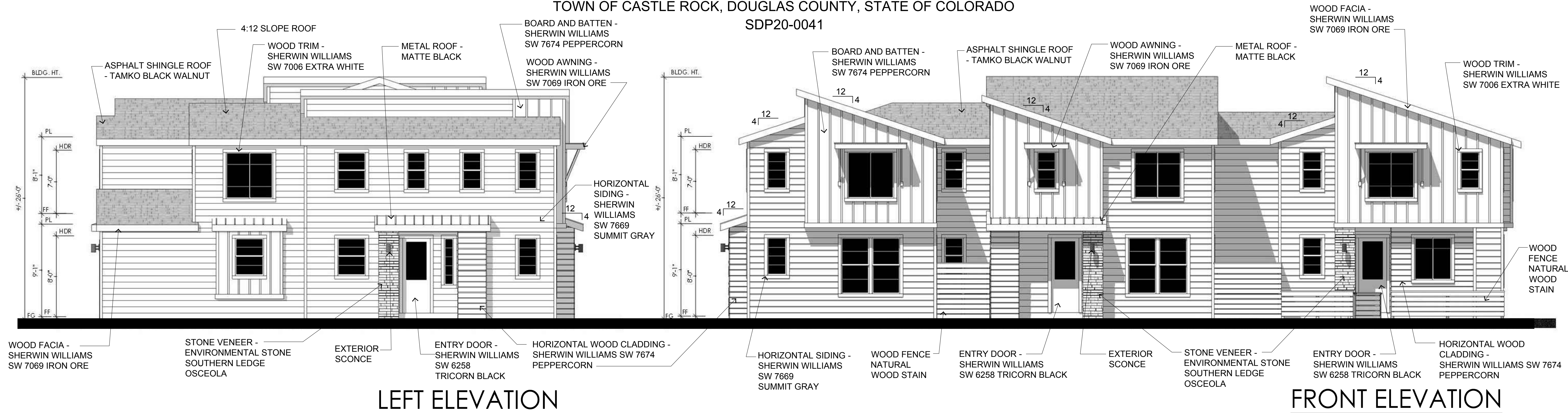
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SHEET NUMBER
LS.6
15 OF 25

SITE DEVELOPMENT PLAN AMENDMENT NO. 1
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TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

SDP20-0041



3-PLEX -- EXTERIOR ELEVATIONS
(COLOR SCHEME 1)

0' 4' 8'
SCALE: 3/16" = 1'-0"
PROJECT NO. SDP20-0041

DANIELIAN
ASSOCIATES
architects planners
www.danielian.com 949.474.6030

REV. NO.	DESCRIPTION	DATE
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WATERMARK EQUITY GROUP
CANVAS AT CASTLE ROCK
NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD
CASTLE ROCK, CO

PROJ NO: 20041
BY: VMAD
DATE: 12/15/2020
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SHEET NUMBER
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16 OF 25

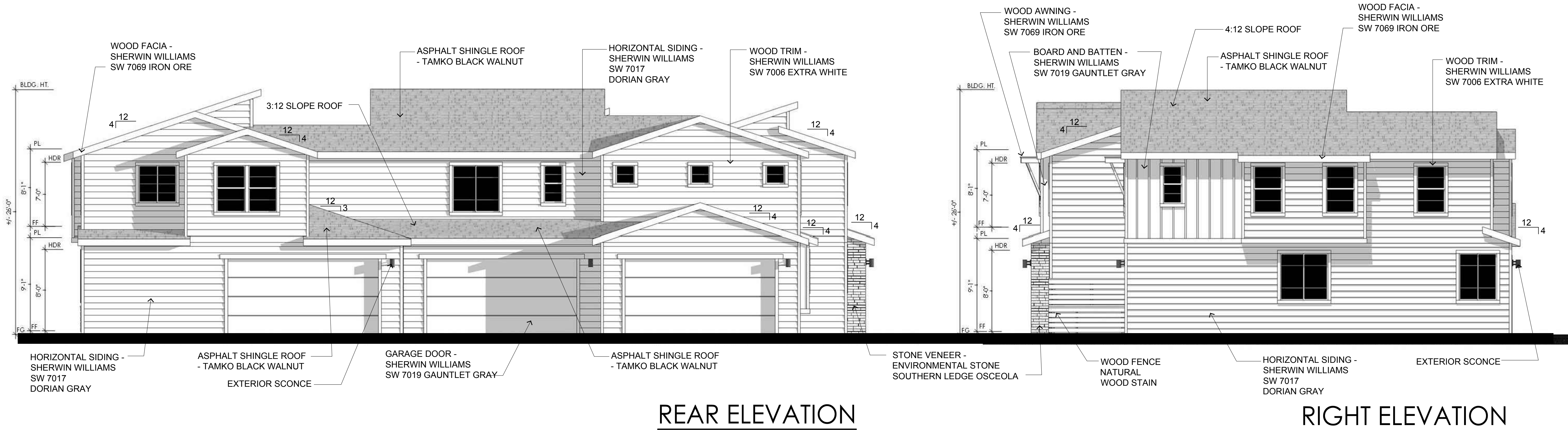
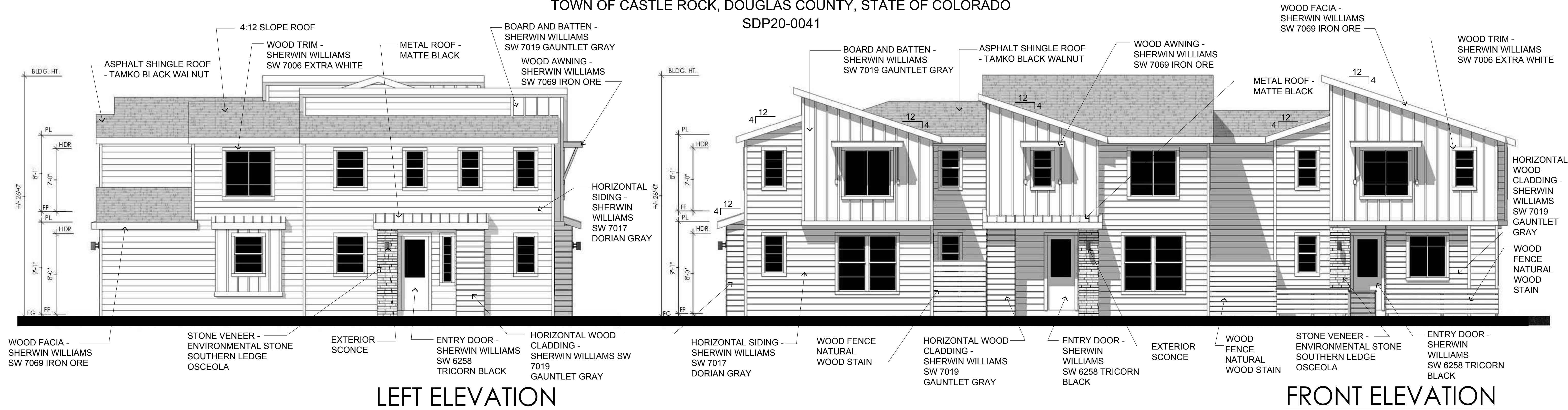
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SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

SDP20-0041



3-PLEX -- EXTERIOR ELEVATIONS (COLOR SCHEME 2)

0' 4' 8'
SCALE: 3/16" = 1'-0"
PROJECT NO. SDP20-0041

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architects planners
www.danielian.com 949.474.6030

REV. NO.	DESCRIPTION	DATE
3	REVISED PER TOWN COMMENTS	12/16/2020
2	REVISED PER TOWN COMMENTS	
1	REVISED PER TOWN COMMENTS	

WATERMARK EQUITY GROUP
CANVAS AT CASTLE ROCK
NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD
CASTLE ROCK, CO

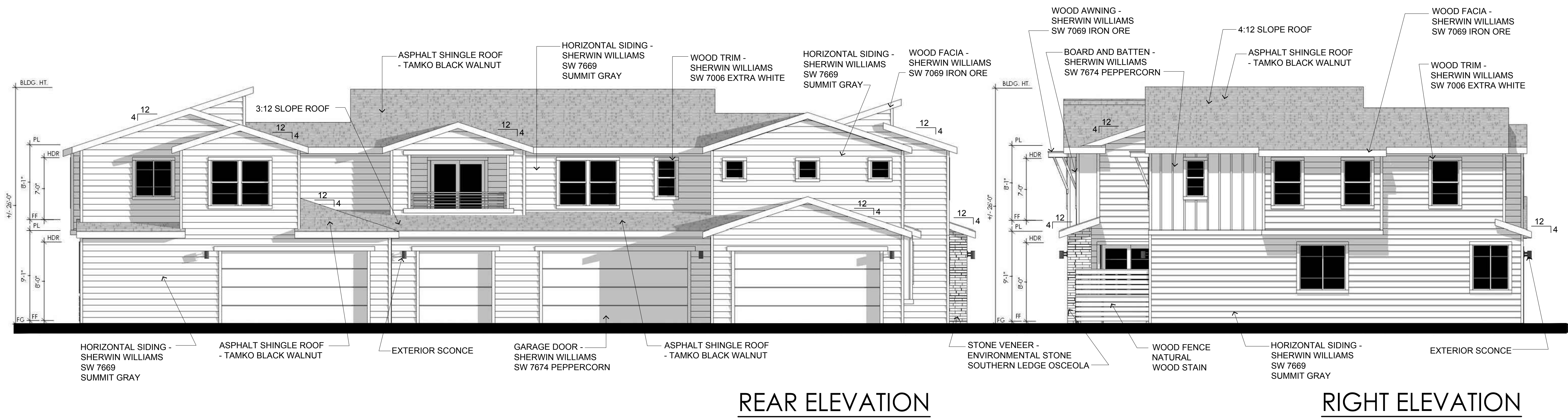
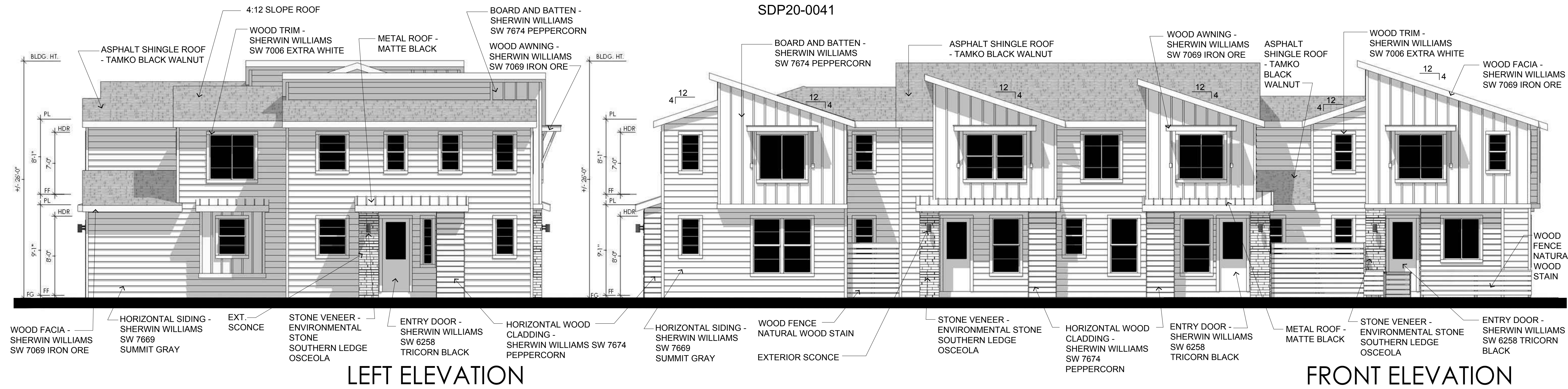
PROJ NO: 20041
BY: VMAD
DATE: 12/15/2020

SHEET NUMBER
A1.2
17 OF 25

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
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SDP20-0041



4-PLEX -- EXTERIOR ELEVATIONS (COLOR SCHEME 1)

0' 4' 8'
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DATE: 12/15/2020

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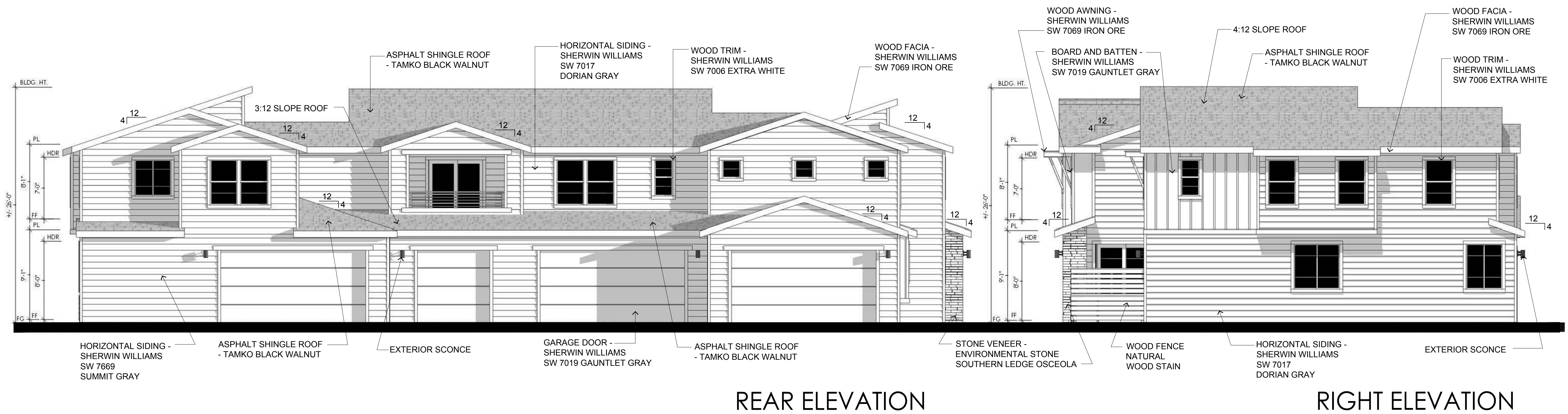
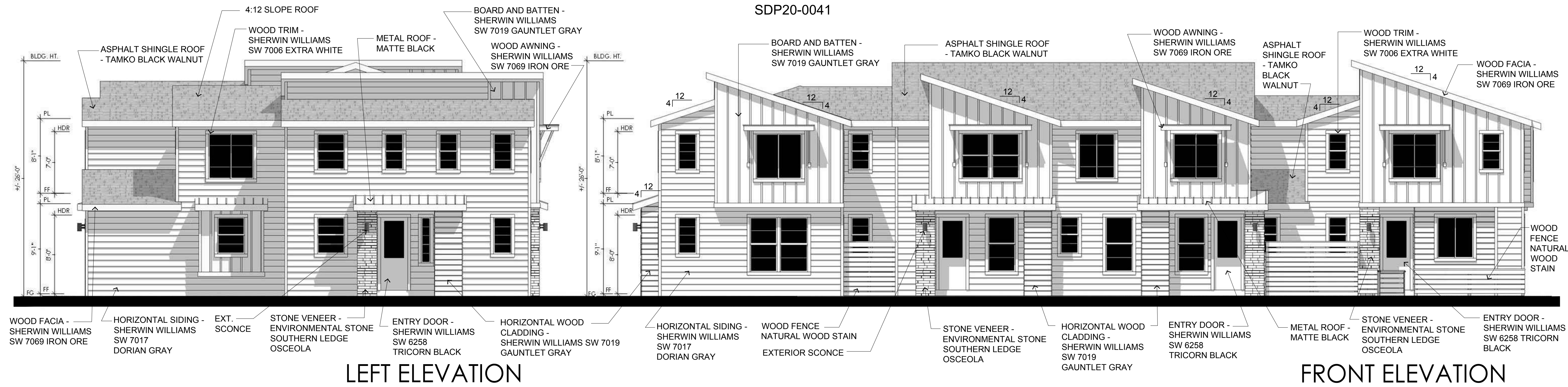
19 OF 25

Plot Date: 12/15/2020 11:01:17 AM; By: Roland Escalona

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO
SDP20-0041



4-PLEX -- EXTERIOR ELEVATIONS (COLOR SCHEME 2)

0' 4' 8'
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CANVAS AT CASTLE ROCK

NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD
CASTLE ROCK, CO

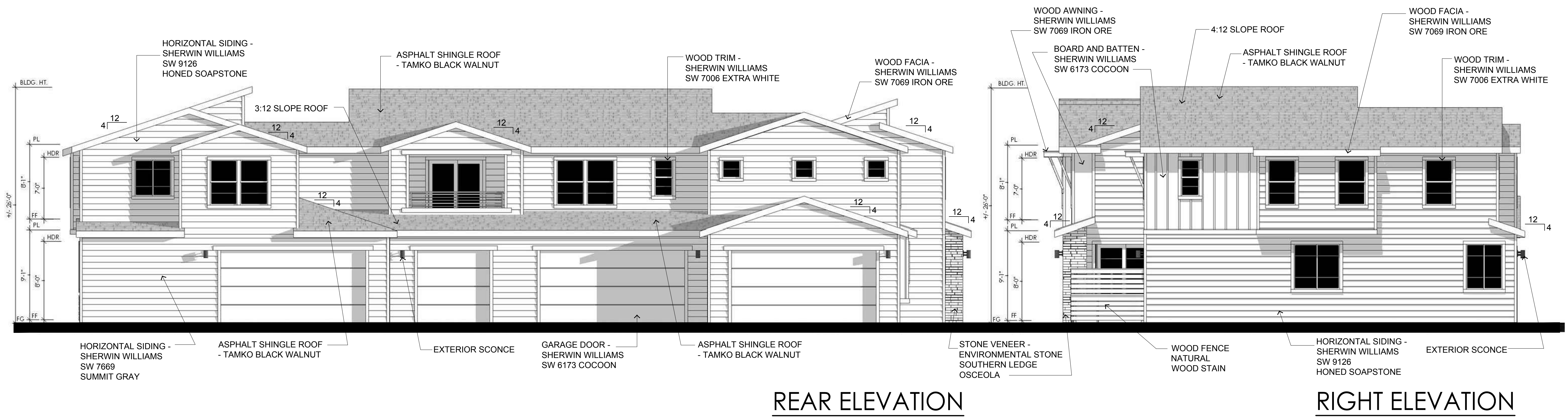
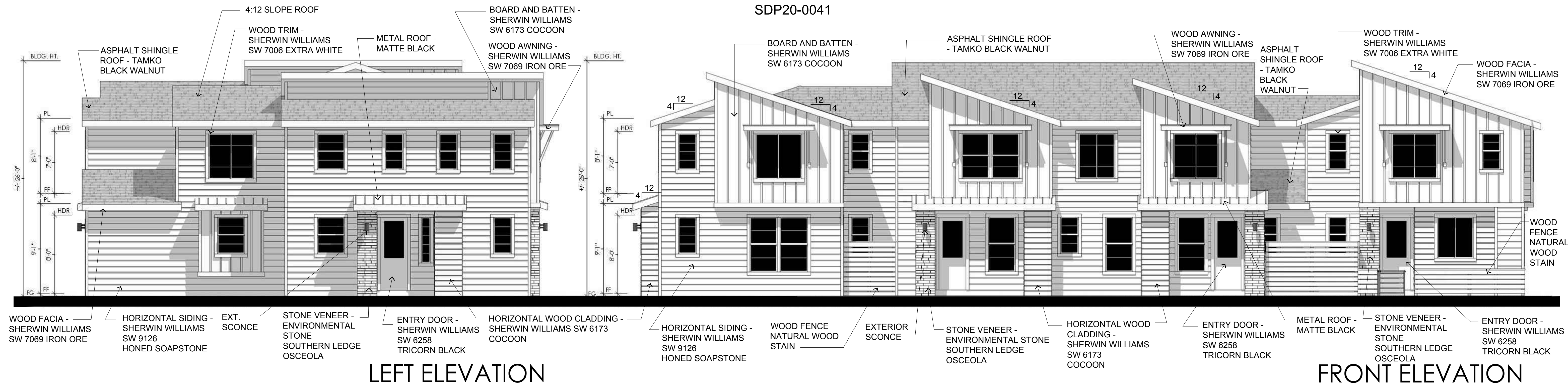
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A2.2
20 OF 25

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO
SDP20-0041



4-PLEX -- EXTERIOR ELEVATIONS (COLOR SCHEME 3)

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CANVAS AT CASTLE ROCK
NORTH CORNER OF CRYSTAL VALLEY PKWY & PLUM CREEK BLVD
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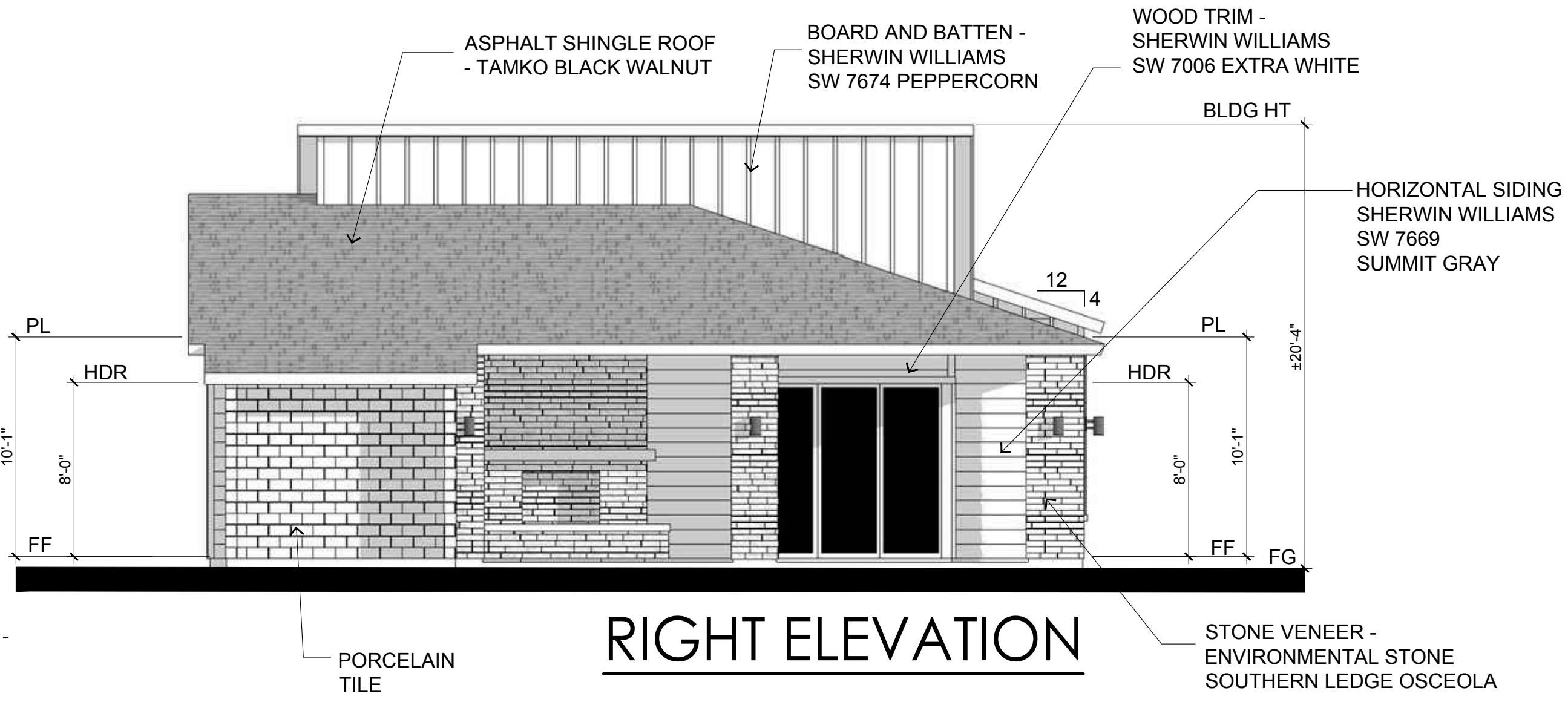
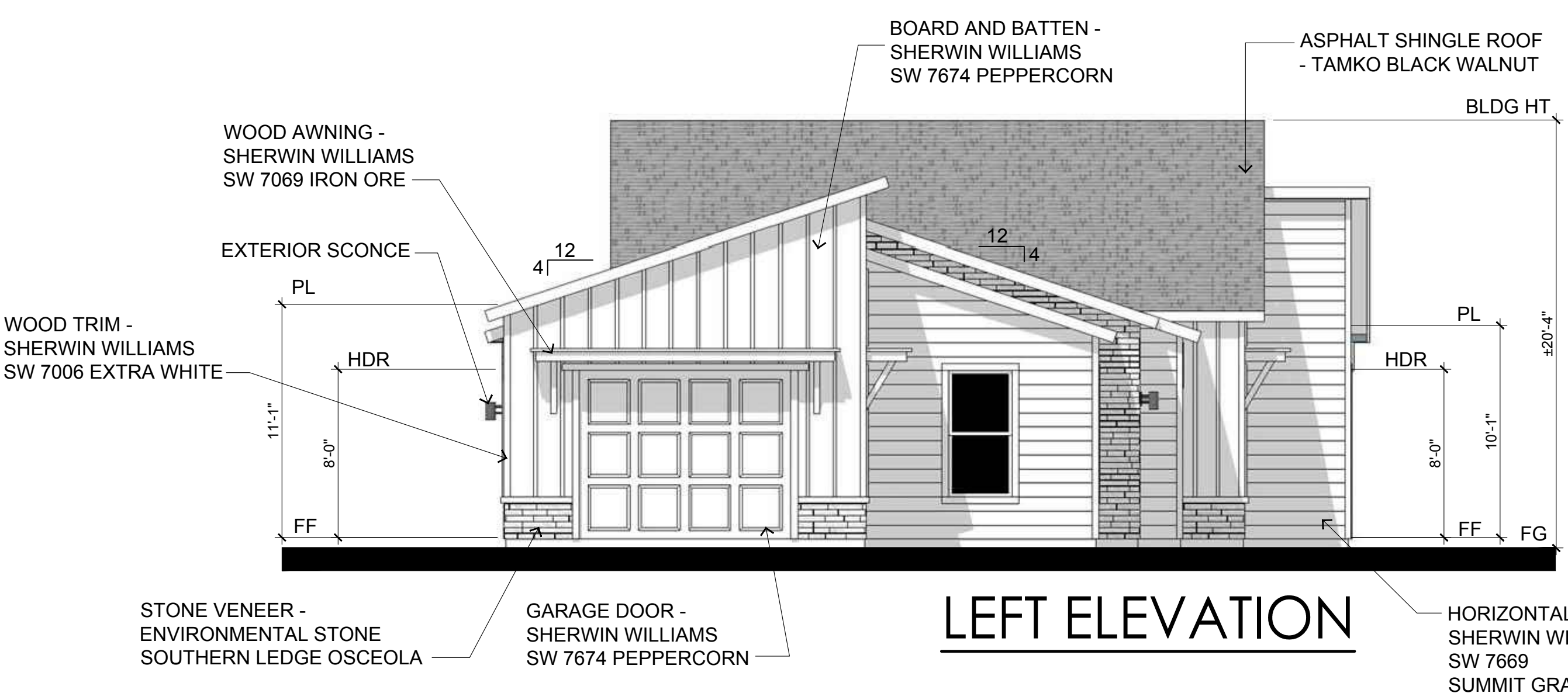
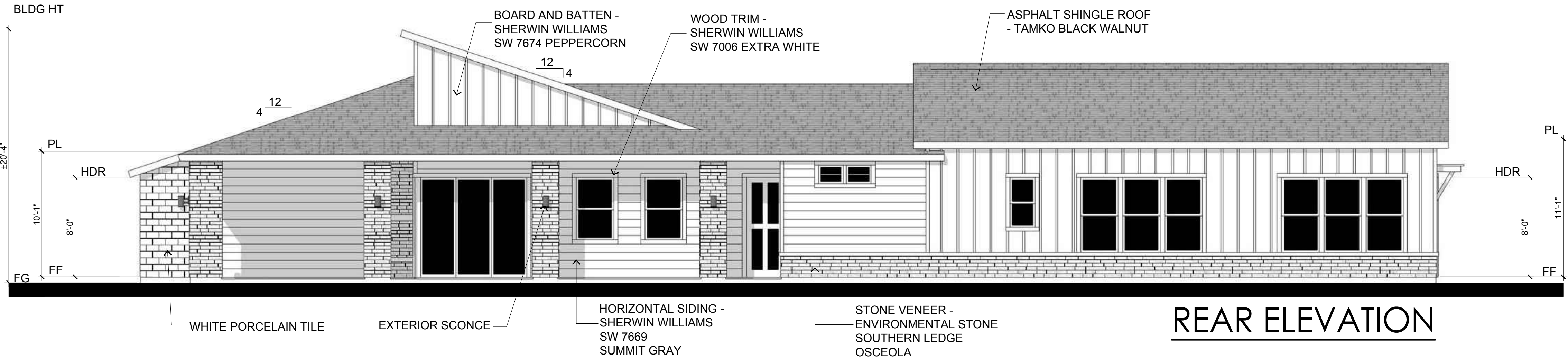
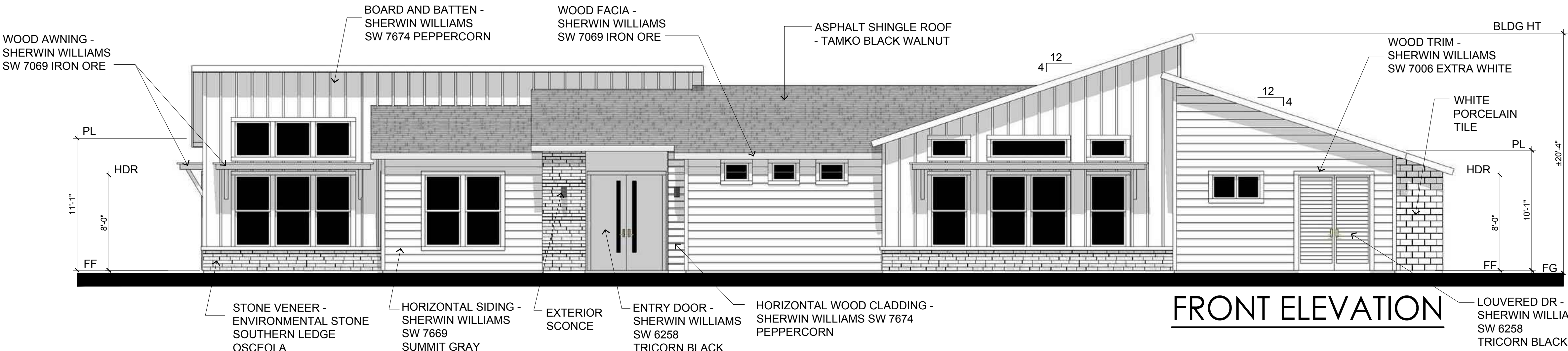
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SHEET NUMBER
A2.3
21 OF 25

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

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TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO
SDP20-0041



AMENITY CENTER -- EXTERIOR ELEVATIONS (COLOR SCHEME 1)

0' 4' 8'

SCALE: 3/16" = 1'-0"

PROJECT NO. SDP20-0041

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WATERMARK EQUITY GROUP
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CASTLE ROCK, CO

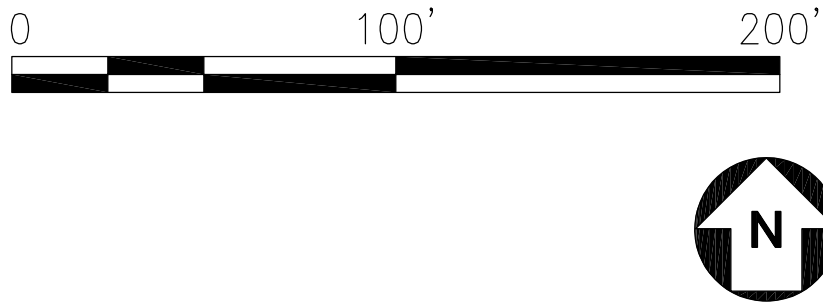
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A3.0
22 OF 25

SITE DEVELOPMENT PLAN AMENDMENT NO. 1






LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO.3

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO
SDP20-0041




SITE LIGHTING CONTROLS SCHEDULE			
TYPE	DESCRIPTION	CONTROL TYPE	SCHEDULE
E1	BUILDING MOUNTED SCONCES	PHOTOCELL	ON (DUSK TO DAWN) OFF (DAYLIGHT HOURS)
E2	AREA PARKING POLE LIGHTS	PHOTOCELL	ON (DUSK TO DAWN) OFF (DAYLIGHT HOURS)
E4	AREA PEDESTRIAN POLE LIGHTS	PHOTOCELL	ON (DUSK TO DAWN) OFF (DAYLIGHT HOURS)
E5	POOL DECK LIGHTS	PHOTOCELL	ON (DUSK TO DAWN) OFF (DAYLIGHT HOURS)
E6	POOL FLOOD LIGHTS	TIMECLOCK	ON (DUSK TO 12AM) OFF (12AM TO DUSK)

NOTES:
1. FIXTURES SHALL BE CIRCUITED THROUGH THE NEAREST BUILDING RELAY PANEL.
2. EACH RELAY PANEL SHALL COME WITH A ROOF MOUNTED PHOTOCELL AND AN ASTRONOMICAL TIME CLOCK WITH SETTINGS THAT MEET OR EXCEED THE REQUIREMENTS IN SECTION C405 OF THE 2015 IECC AND ANY REQUIREMENTS BY THE LOCAL AHJ.
3. ALL TIME CLOCK SETTINGS SHALL BE VERIFIED BY OWNER AND ADHERE TO LOCAL AHJ REQUIREMENTS.
4. ROOF MOUNTED PHOTOCELLS SHALL FACE NORTH.

SITE LUMINAIRE SCHEDULE										
TYPE	SYMBOL	QTY	DESCRIPTION	MANUFACTURER	CATALOG NO.	MOUNTING HEIGHT	DISTRIBUTION TYPE	CCT	LUMEN OUTPUT	LAMPS
E1		212	EXTERIOR BUILDING MOUNTED LED SCONCE WITH INTEGRAL DRIVER. UL WET LOCATION.	PROGRESS LIGHTING	P563000 020 30K	BOTTOM OF FIXTURE AT 6'-8" AFF	FLOOD FULL CUT OFF	3000K	905	12W LED
E2		14	EXTERIOR PARKING POLE WITH INTEGRAL DRIVER. UL WET LOCATION.	LITHONIA	DSX0 LED P2 30K T2M MVOLT RPA *FINISH	20' ROUND POLE WITH 3' CONCRETE BASE	TYPE II FULL CUT OFF	3000K	5593	49W LED
E4		5	EXTERIOR PEDESTRIAN POLE LIGHT WITH INTEGRAL DRIVER. UL WET LOCATION.	LITHONIA	DSXWPM LED 10C 1000 30K SYMDF MVOLT PUMBA *FINISH	14' ROUND POLE	SYM FULL CUT OFF	3000K	3381	40W LED
E5		23	EXTERIOR SURFACE MOUNTED LED SCONCE WITH INTEGRAL DRIVER. COORDINATE MOUNTING WITH ARCHITECT SUCH THAT LUMINAIRE IS MOUNTED ON VERTICAL FENCE POST SURROUNDING POOL AREA. UL WET LOCATION.	KICHLER	16018-16020 *FINISH *	COORDINATE MOUNTING HEIGHT ON VERTICAL FENCE POST WITH ARCHITECT	M (35') FULL CUT OFF	3000K	600	8.5W LED
E6		5	POOL FLOODLIGHT WITH REMOTE DRIVER. UL SUBMERSIBLE LISTING.	JANDY	JLUW12W*LENGTH WITH HALF-MOON LENS	1' BELOW POOL TOP EDGE	FLOOD WITH FULL CUT OFF COVER	2700k	1080	12W LED

- NOTES:
1. ALL LIGHTING FIXTURES SHALL BE UL LISTED.
2. ALL EXTERIOR AND SITE/LANDSCAPE LIGHTING MUST ADHERE TO ALL LOCAL LIGHTING ORDINANCES AND REQUIREMENTS. PROVIDE SHIELDING, GLARE CONTROL, HARDWARE OPTIONS AND ACCESSORIES AS NECESSARY TO COMPLY.
3. CONFIRM ALL FIXTURE FINISHES, TRIMS, COLOR TEMPERATURE, ACCESSORIES, ETC. FINAL APPROVAL OF ALL LIGHT FIXTURES TO BE BY THE ARCHITECT AND OWNER DURING SUBMITTAL PHASE AND PRIOR TO ANY ORDERING, PURCHASE OR INSTALLATION OF LIGHT FIXTURES.
4. FIXTURES INSTALLED WITHIN RATED ASSEMBLIES SHALL BE PROVIDED AND/OR INSTALLED ACCORDINGLY TO MATCH THE RATING OF THE ASSEMBLY.
5. HOUSESIDE SHIELDS WILL BE ADDED AS NECESSARY TO MITIGATE THE LIGHT IMPACTS ON THE SURROUNDING RESIDENTIAL NEIGHBORHOODS.
6. THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.

1 SITE LIGHTING PLAN
EL1.0 SCALE: 1" = 50'-0"

**MAZZETTI**
1999 Broadway, Suite 2205
Denver, CO 80202
TEL: 720.644.5044
www.mazzetti.com
Project Number: 204-042

REV. NO.		DESCRIPTION	DATE
Revision	Description		
3	REVISED PER TOWN COMMENTS		
2	REVISED PER TOWN COMMENTS		
1	REVISED PER TOWN COMMENTS		

PROJECT NO: 200119

ENG : MAZZETTI


DATE : 12/16/2020

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TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO
SDP20-0041



CANVAS AT CASTLE ROCK

11/30/2020


E1

LUMINAIRE TYPES

PROGRESS LIGHTING

Cylinders

Wall Mounted - Wet Location Listed **PROGRESS LED**



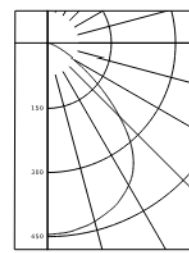
Photometrics:

ELECTRICAL DATA	P563000-020-30K
Input Voltage	120 V
Input Frequency	60 Hz
Input Current	0.183 A
THD	<20%
EMC/EMI	FCC Part 15, Class B
Operating Temperature	-10°C
Dimming	Yes
Overvoltage	over-current, short-circuit protected
*See Datasheet Notes for more information	

P563000-020-30K

P563000-020-30K

LED Light Engine: 3000 K 90 CRI
 Stream Wattsage: 12
 Fixture defined lumens: 905
 Fixture Efficacy: 75
 Spacing Criteria: 1.3




A beam spread diagram for the P563000-020-30K luminaire. It shows a series of concentric arcs representing different beam angles from 0° to 90°. The diagram is used to determine the beam spread and footcandle distribution for various mounting heights and distances.

CANDELA DISTRIBUTION	
DEG	CANDELA
0	445
5	443
15	429
25	402
35	371
45	339
55	304
65	268
75	20
85	1
90	0

ZONAL LUMEN SUMMARY	
ZONE	LUMENS
0-30	148
0-45	366
0-60	533
0-75	695
0-90	905
0-180	0
0-360	905

35.5
86.5
94.7
100.0
0.0
100.0

Test: 17.02582 Test Date: 09/28/17



MAZZETTI
LIGHTING DESIGN

CANVAS AT CASTLE ROCK
11/30/2020

E2


LUMINAIRE TYPE

Photometric Diagrams

To see complete photometric reports or download asd files for this product, visit [Lithonia Lighting's E-Series Area Size E homepage](https://lithonia-lighting.com).

LEGEND

5.1%
15.1%
10%



**LITHONIA
LIGHTING**
COMMERCIAL OUTDOOR

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CANVAS AT CASTLE ROCK

11/30/2020

E4

LUMINAIRE TYPE

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use the following multiplier to determine relative lumen output for average ambient temperatures from 40°F to 100°F.

°C	°F	Lumen Multiplier
10°C	50°F	1.33
20°C	68°F	1.00
30°C	86°F	0.80
40°C	104°F	0.60

Projected LED Lumen Maintenance

Use the following multiplier to determine projected lumen maintenance for the CDSMPM LED 3000 K system in a 2°C ambient. (Based on 10,000 hours of LED testing per test (see LM-80) at temperatures per LM-80, 145°F - 171°F).

To calculate LED Lumen maintenance factor that corresponds to the desired number of operating hours, use the lumen maintenance table, ambient history.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.91	0.88

Electrical Load


	Type	Power Factor	Current (A)					
			120V	208V	240V	277V	347V	480V
1K	1K	0.99	0.11	0.07	0.06	0.08	-	-
	1K	0.99	0.11	0.07	0.06	0.08	-	-
	1K	0.99	0.11	0.07	0.06	0.08	-	-
2K	2K	0.99	0.22	0.14	0.12	0.16	-	-
	2K	0.99	0.22	0.14	0.12	0.16	-	-
	2K	0.99	0.22	0.14	0.12	0.16	-	-
3K	3K	0.99	0.33	0.21	0.17	0.24	0.11	0.11
	3K	0.99	0.33	0.21	0.17	0.24	0.11	0.11
	3K	0.99	0.33	0.21	0.17	0.24	0.11	0.11

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lighthouse I-D Series Wall Pole Mount homepage.

Horizontal plane only for the CDSMPM LED 3000 K 1000 KIK. Distances are in units of mounting height (20').

LEGEND







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CDSMPM LED
 3000 K
 Page 4 of 5

SHEET NUMBER

EL1.1

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