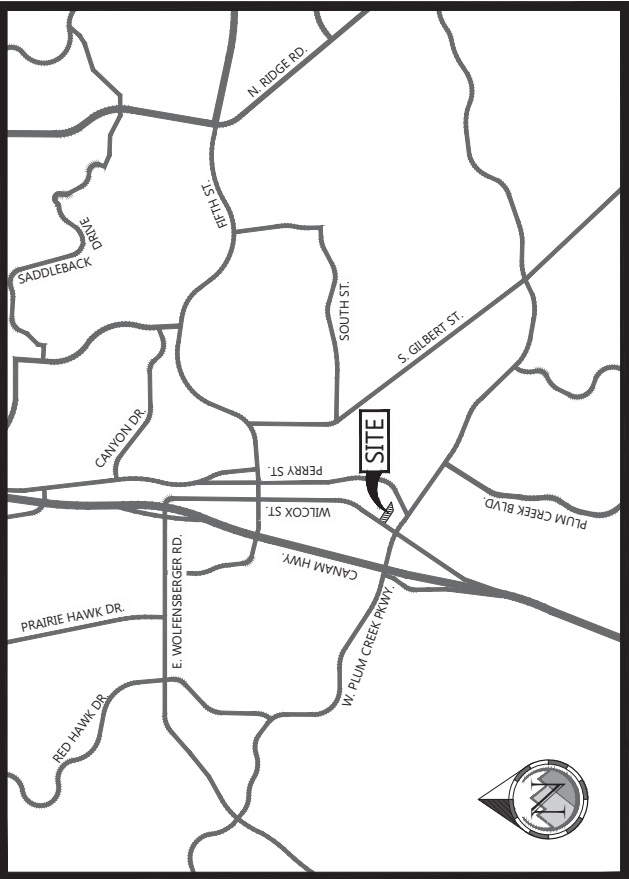


SITE DEVELOPMENT PLAN, AMENDMENT NO. 1
GRANDMERE PLAZA
LOT 1, K.L.N. SUBDIVISION FILING NO. 3
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 11, T8S, R67W OF THE 6TH PM
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

OWNER 340 S WILCOX STREET LLC C/O GRAND MERE RESTAURANT GRP[300 PARK AVE 12TH FLOOR NEW YORK, NY 10022	SHEET INDEX COVER SHEET NOTES SITE PLAN GRADING PLAN UTILITY PLAN LANDSCAPE PLAN LANDSCAPE NOTES AND DETAILS BUILDING ELEVATIONS BUILDING ELEVATIONS DEVELOPMENT MASTER SIGN PLAN PHOTOMETRIC PLAN
ARCHITECT MANKE ARCHITECTURE & DESIGN, INC. 2422 N. RUTGERS COURT WICHITA, KS 67205 316.749.5873 LEE B. MANKE, AIA	
LANDSCAPE ARCHITECT TCK DESIGN P.O. BOX 202560 DENVER, CO 80220 720.242.7947 CHRIS MARCH	
ENGINEER PROOF CIVIL 800 W 8TH AVENUE STE 104 DENVER, CO 80204 303.325.5709 JASON DEYOUNG	
SURVEYOR ARROW POINT 6078 BLUE TERRACE PL. CASTLE PINES, CO 80108 720.384.5330	



VICINITY MAP
SCALE: 1" = 2000'

BEARINGS:
BASIS OF BEARING FOR THIS SURVEY IS THE NORTHERLY BOUNDARY OF LOT 1, K.L.N. SUBDIVISION (SUBJECT PROPERTY). THE SAID LINE IS MONUMENTED AT ITS NORTHWESTERLY END BY A RECOVERED NAIL WITH 3/4" BRASS TAG IN A CONCRETE SIDEWALK. MARKINGS ARE ILLEGIBLE. AND AT ITS SOUTHEASTERLY END BY A RECOVERED NUMBER 5 REBAR SET 0.4' +/- BELOW GRADE. THE SAID LINE BEARS S 65° 48' 23" E, PER A GRID BEARING BASED ON COLORADO STATE PLANE CENTRAL ZONE, NAD 83 (1992) DATUM.

BENCHMARK:
NATIONAL GEODETIC SURVEY (NGS) MONUMENT G 23, BEING A STANDARD NGS DISK SET IN TOP OF A CONCRETE POST, STAMPED: G 23 1929, HAVING A PUBLISHED ELEVATION OF 6231.61' NAVD 88 DATUM.

SITE TEMPORARY BENCHMARK (TBM): SET A CHISELED SQUARE AT THE NORTHERLY SIDE OF A CONCRETE LIGHT POLE BASE AS SHOWN HEREON. ELEVATION: 6212.58'

PROPERTY DESCRIPTION:
(AS DESCRIBED IN DEED OF TRUST RECORDED AT RECEPTION NUMBER 2019006190)
PARCEL ONE:
LOT 1, K.L.N. SUBDIVISION, COUNTY OF DOUGLAS, STATE OF COLORADO.

PROJECT DATA
TOWN OF CASTLE ROCK PROJECT #SDP20-0054

GENERAL	ZONE LOT INFORMATION	SQUARE FEET	ACRES
	LOT AREA	37,283 SF	0.86 AC
		PERMITTED	PROPOSED
	BUILDING GROUND COVERAGE (MAX)	13,049 SF	6,288 SF
	BUILDING HEIGHT	PERMITTED	PROPOSED
	BUILDING HEIGHT, STORIES (MAX)	6	1
	BUILDING HEIGHT, FEET (MAX)	35 FT	24 FT
	PARKING	REQUIRED/PERMITTED	PROVIDED
	STANDARD	31 (5 SPACES/1,000 SQ. FT. OF GFA)	42
	ACCESSIBLE	2 (1 VAN ACCESSIBLE)	2 (1 VAN ACCESSIBLE)
	TOTAL	36	44
	SETBACKS	REQUIRED/PERMITTED	PROVIDED
	FRONT YARD - WEST	15 FT	21.3 FT
	SIDE YARD - NORTH	0 FT	5.7 FT
	SIDE YARD - SOUTH	0 FT	47.1 FT
	REAR YARD - EAST	0 FT	189.6 FT
	ZONING	DOWNTOWN OVERLAY	
	USE	COMMERCIAL /RETAIL	
	2015 IBC CONSTRUCTION TYPE	II-B	
	OCCUPANCY GROUP	B 8/M	

OWNERSHIP CERTIFICATE

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

340 S WILCOX STREET LLC A COLORADO LIMITED LIABILITY COMPANY)
SIGNED THIS _____ DAY OF _____, 20____

NOTARY BLOCK:

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20____ BY _____ AS _____ OF 340 S WILCOX STREET LLC.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

LEINHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED JANUARY 28, 2019 AT RECEPTION NO. 2019006190, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

(WELLS FARGO NATIONAL ASSOCIATION)
SIGNED THIS _____ DAY OF _____, 20____

NOTARY BLOCK:

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20____ BY _____

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

TITLE CERTIFICATE

I, _____, AN AUTHORIZED REPRESENTATIVE OF _____, A TITLE INSURANCE COMPANY, LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE EXAMINED THE PUBLIC RECORDS OF THE COUNTY OF DOUGLAS AND STATE OF COLORADO AND HAVE DETERMINED THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LEINHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE

TITLE COMPANY _____

SIGNED THIS _____ DAY OF _____, 20____

NOTARY BLOCK:

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20____ BY _____ AS AUTHORIZED REPRESENTATIVE.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

DOUGLAS COUNTY CLERK AND RECORDER CERTIFICATE

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT _____ ON THE _____ DAY OF _____, 20____ AT RECEPTION NO. _____.

BY _____
DEPUTY

DESIGN REVIEW BOARD APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DESIGN REVIEW BOARD OF THE TOWN OF CASTLE ROCK, COLORADO ON THE _____ DAY OF _____, 2021.

CHAIR _____ DATE _____

CIVIL ENGINEER STATE REVIEW _____ DATE _____

I, _____, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER DATE _____

SURVEYOR'S CERTIFICATE

I, _____, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN AMENDMENT ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR DATE _____

DRAWING NO.

1

1 OF 11

TOWN OF CASTLE ROCK PROJECT #SDP20-0054

COVER SHEET

GRANDMERE PLAZA

340 S. WILCOX STREET

CASTLE ROCK



REVISIONS		DESCRIPTION
NO.	DATE	
1	12/28/2020	TOWN COMMENTS
2	01/18/2021	TOWN COMMENTS

CHECKED BY:

COLORADO

PROJ. NO.:	20040
DATE:	11/13/2020
DRAWN BY:	ANM
JGD	

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

GRANDMERE PLAZA

LOT 1, K.L.N. SUBDIVISION FILING NO. 3

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 11, T8S, R67W OF THE 6TH PM

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

CASTLE ROCK SDP GENERAL NOTES

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER. SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS, THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
2. PURSUANT TO SECTION 4.3 AND 8.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. THIS PROPERTY IS LOCATED WITHIN ZONE X AS PER FEMA FIRM PANEL NO. 08035C0303016 DATED 3/16/2016.
5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK S REGULATIONS, STANDARDS AND REQUIREMENTS.
6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY". AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
7. APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
9. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK BY SEPARATE DOCUMENT.
10. THIS SITE IS ZONED B, BUSINESS/COMMERCIAL, WITHIN THE DOWNTOWN OVERLAY DISTRICT, SOUTH DISTRICT. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
11. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
12. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
13. THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.

DRAWING NO. 2		2 OF 11	
CASTLE ROCK		340 S. WILCOX STREET	
COLORADO		GRANDMERE PLAZA	
NOTES			
PROJ. NO.: 20040		DATE: 11/13/2020	
		DRAWN BY: ANM	
		CHECKED BY: JGD	
REVISIONS		NO. DATE DESCRIPTION	
		1 12/28/2020 TOWN COMMENTS	
		2 01/18/2021 TOWN COMMENTS	

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 11, T8S, R67W OF THE 6TH PM
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PROOFCIVIL
consulting engineers
600 Grant Street | Suite 210 | Denver, CO

3 OF 11

1. ALL DIMENSIONS ARE TO FLOWLINE UNLESS OTHERWISE INDICATED.



SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

GRANDMERE PLAZA

LOT 1, K.L.N. SUBDIVISION FILING NO. 3

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 11, T8S, R67W OF THE 6TH PM
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



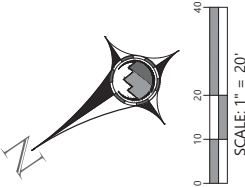
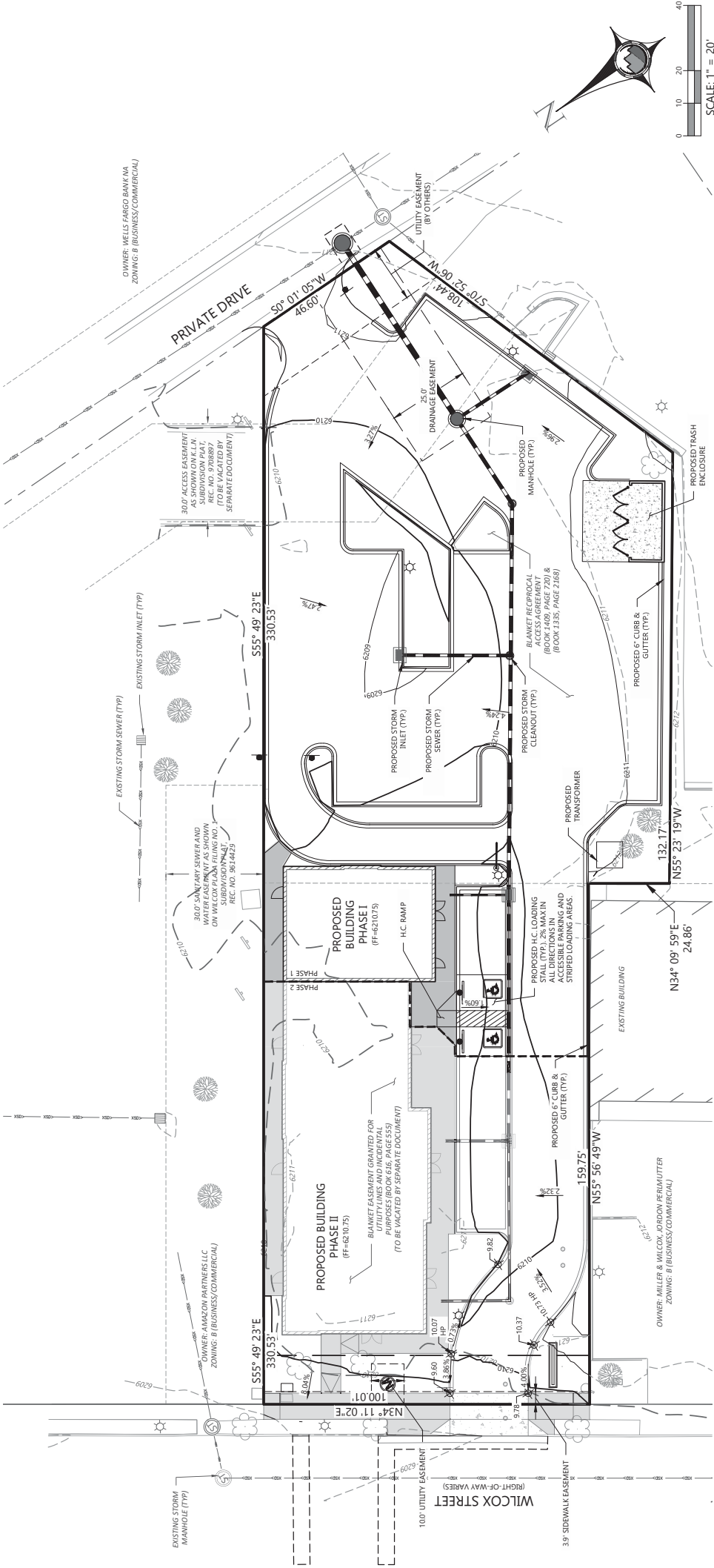
600 Grant Street | Suite 210 | Denver, CO

LEGEND:

- PROPERTY LINE
- LIMITS OF PLANNING AREA
- PROPOSED BUILDING
- EXISTING BUILDING
- PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPERTY SETBACK
- PROPOSED 5' CONTOUR
- PROPOSED 1' CONTOUR
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- PROPOSED STORM LINE
- EXISTING STORM LINE
- PROPOSED SAWCUT
- PROPOSED STORM INLET
- EXISTING STORM INLET
- FLOW DIRECTION
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- SLOPE AND DIRECTION
- HIGH POINT
- LOW POINT
- GRADE BREAK

NOTES:

- ALL ELEVATION SPOTS ALONG CURB INDICATE FINISHED ELEVATION UNLESS OTHERWISE INDICATED.
- PROPOSED ACCESSIBLE PARKING SPOTS SHALL HAVE 2.0% MAX SLOPE IN ANY DIRECTION.



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CHECKED BY:		JGD
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TOWN COMMENTS		01/18/2021
DESCRIPTION		
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FOR AND ON BEHALF OF PROOF CIVIL CO.

SEAL

GRANDMERE PLAZA
340 S. WILCOX STREET
CASTLE ROCK
COLORADO

DRAWING NO.

4

4 OF 11

TOWN OF CASTLE ROCK PROJECT #SDP20-0054

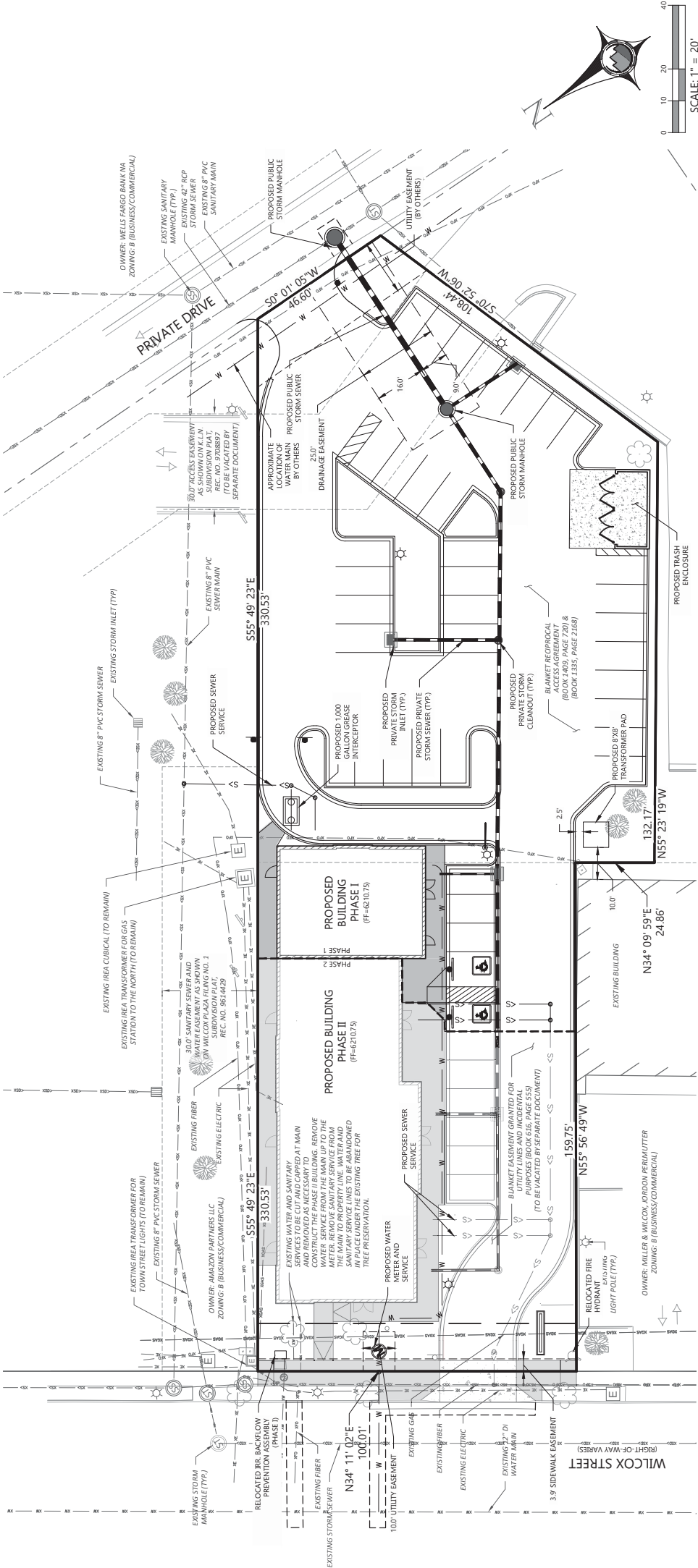
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LOT 1, K.L.N. SUBDIVISION FILING NO. 3
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND:

- PROPERTY LINE
- PROPOSED BUILDING
- EXISTING BUILDING
- PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPERTY SETBACK
- PROPOSED STORM LINE
- EXISTING STORM LINE
- PROPOSED INLET
- EXISTING INLET
- PROPOSED WATER LINE
- EXISTING WATER LINE
- PROPOSED HYDRANT & VALVE
- EXISTING HYDRANT & VALVE
- PROPOSED SAN SEWER LINE
- EXISTING SAN SEWER LINE
- EXISTING ELECTRICAL LINE
- EXIST. OVERHEAD ELEC. LINE
- EXISTING TELECOMM LINE
- EXISTING GAS LINE
- EXISTING IRRIGATION LINE
- EXISTING FIBER OPTIC LINE
- PROPOSED LIGHT POLE
- EXISTING LIGHT POLE

NOTES:

- ALL PROPOSED EASEMENTS MUST BE RECORDED WITH THE DISTRICT CLERK OF CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN WATER LINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK TELLOW WATER PRESSURE ZONE.



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GRANDMERE PLAZA
340 S. WILCOX STREET
COLORADO

CASTLE ROCK

DRAWING NO.

5

5 OF 11

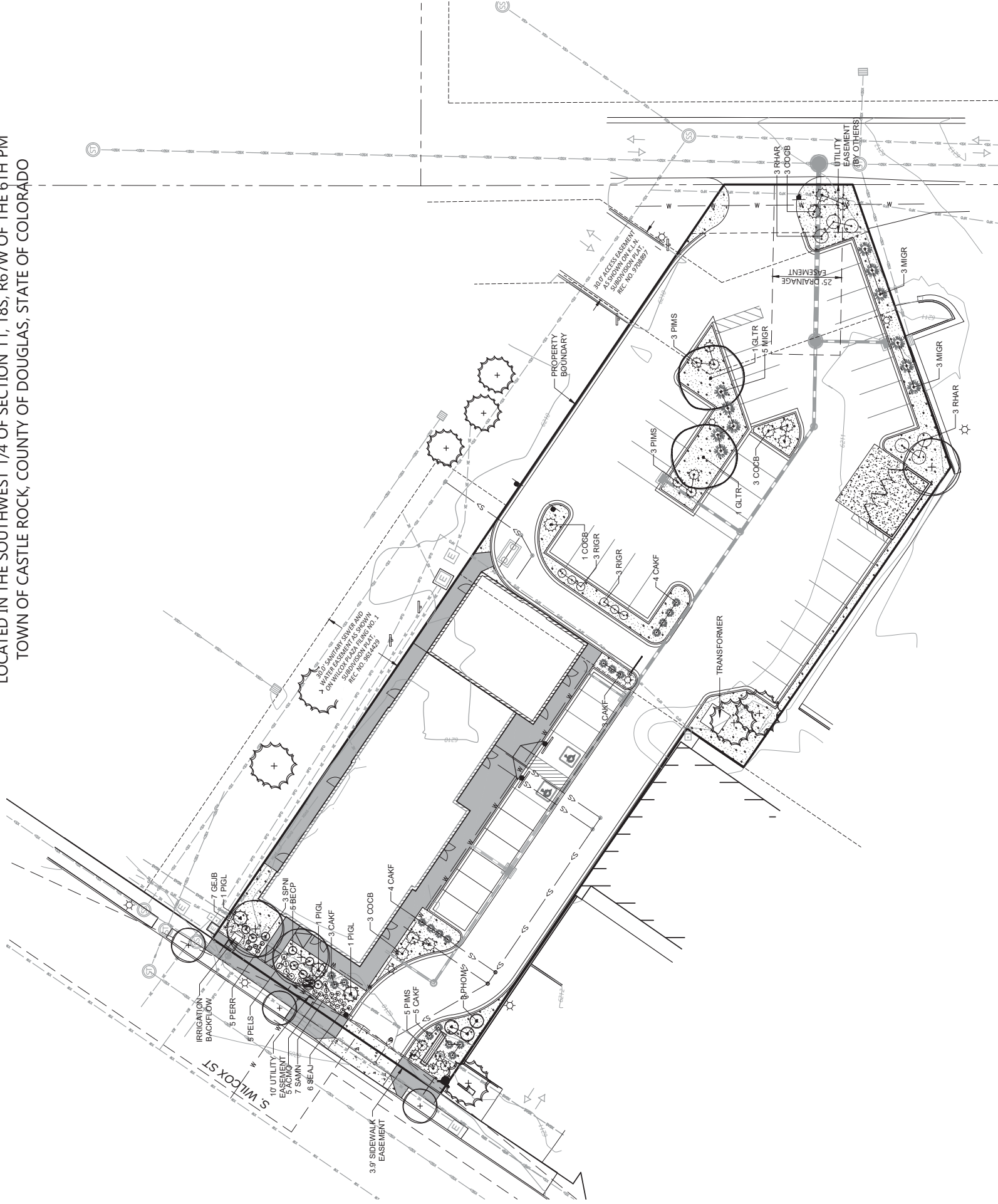
TOWN OF CASTLE ROCK PROJECT #SDP20-0054

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

GRANDMERE PLAZA

LOT 1, K.L.N. SUBDIVISION FILING NO. 3

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 11, T8S, R67W OF THE 6TH PM
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LANDSCAPE PLAN



Town of Castle Rock Registered Professional Chris March
State of Colorado License Landscape Architect # 133
Town of Castle Rock Registration # NA
Company Name TCK Design and Planning Address PO BOX 202560, Denver, CO 80220
Phone 303-883-3278 Email cmarch@tckdesignandplanning.com Date 2021-01-15
PROJECT NAME Pizza Hut #2018

LANDSCAPE PLAN

GRANDMERE PLAZA
340 S. WILCOX STREET

CASTLE ROCK
DRAWING NO.

COLORADO

CHECKED BY:

CM

CM

DATE: 11/13/2020

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REVISIONS

NO. 1

DATE: 12/18/2020

DESCRIPTION

TOWN COMMENTS

TOWN COMMENTS

REVISIONS

NO. 2

DATE: 01/18/2021

<

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

GRANDMERE PLAZA

LOT 1, K.L.N. SUBDIVISION FILING NO. 3

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 11, T8S, R67W OF THE 6TH PM

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

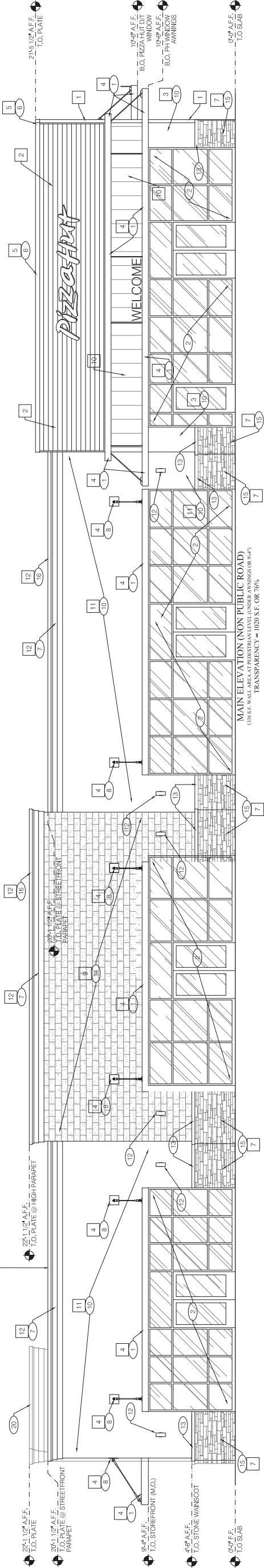
LEE B. MANSKE, A.L.A., N.C.A.R.B.

2422 N. HUTGERS COURT

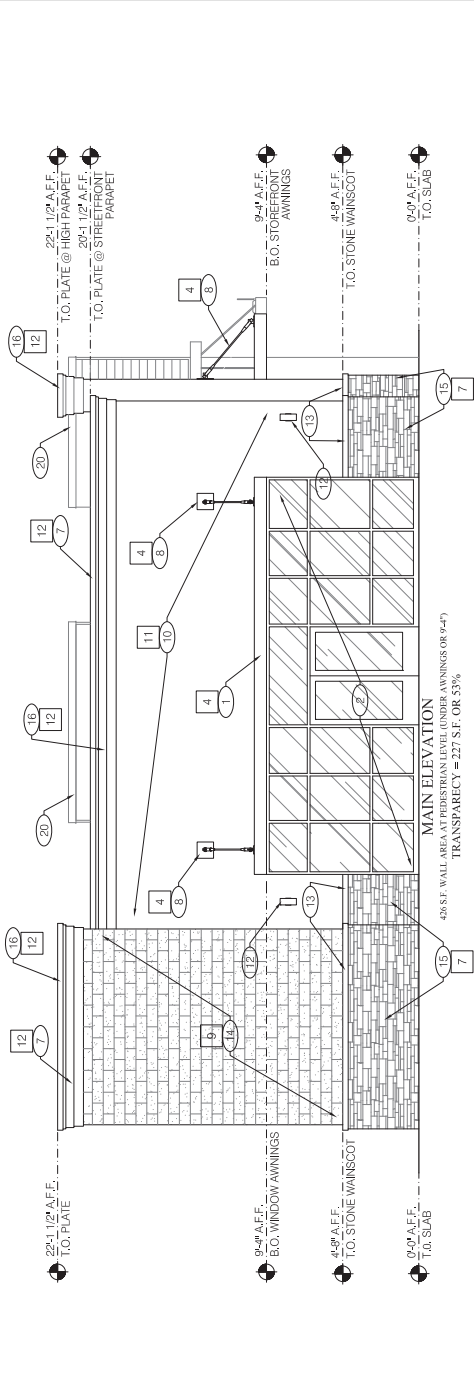
WICHITA, KS 67205

316-749-5873

NOTE:
ALL ROOF TOP MECHANICAL EQUIPMENT SHALL BE
LOCATED WITHIN THE PARAPET FROM ALL
PROPERTY LINES.



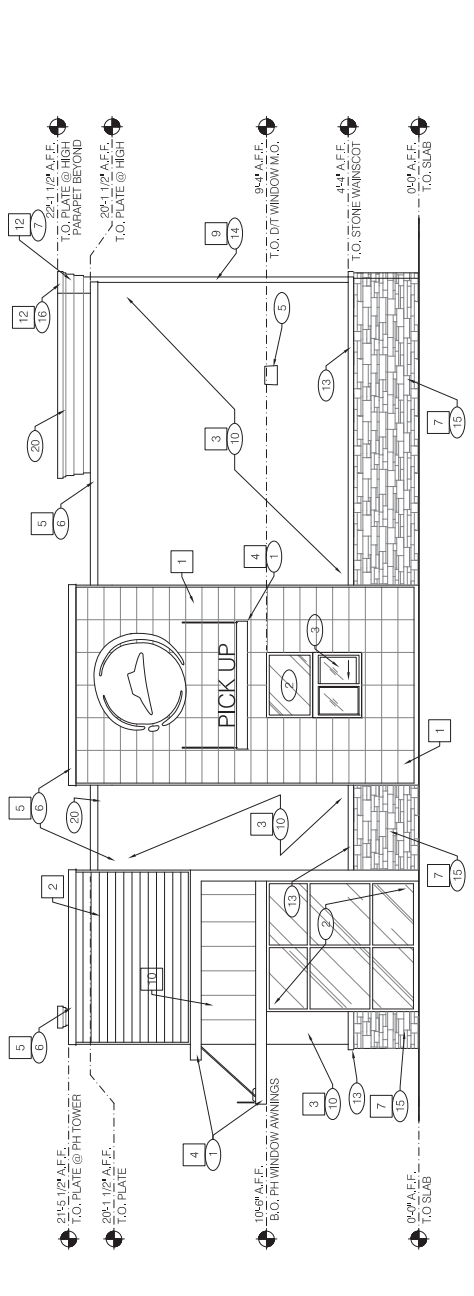
SOUTH ELEVATION 3/16\"/>



WEST ELEVATION 3/16\"/>

SYMBOL	PRODUCT	MANUFACTURER	COLOR	SIZE
1	PORCELAIN STONE	CROSSVILLE	BASALT #AV225	12\"X 24\"
2	EXTERIOR SIDING	IDENTITY WOOD PRODUCTS	EXTRA MUSHROOM	
3	LOXON XP PAINT	SHERWIN WILLIAMS	MATCH IMP *FRESH CRUST™	
4	AWNING COLOR	SIGN VENDOR	MATTE BLACK	
5	PH COFFING	EXCEPTIONAL METALS, INC	CLEAR ANODIZED	
6	NOT USED			
7	CULTURED STONE WAINSCOT	ELDORADO STONE	BLUFFSTONE *PRESCOTT™	
8	LOXON XP PAINT	SHERWIN WILLIAMS	MATCH SW 67035 *STATUS BRONZE™	
9	SPUT-FACED CMU	RCP BLOCK & BRICK	SAND	
10	STANDING SEAM METAL	DIMENSIONAL METALS, INC	RED	
11	LOXON XP PAINT	SHERWIN WILLIAMS	SW7022 *ALPAC*®	
12	LOXON XP PAINT	SHERWIN WILLIAMS	SW7027 *WELL BRED BROWN*	
13	LOXON XP PAINT	SHERWIN WILLIAMS	SW6517 *REGATTA*	
14	LOXON XP PAINT	SHERWIN WILLIAMS	SW6354 *ARMAGNAC*	

EXTERIOR FINISH SCHEDULE N.T.S.



EAST ELEVATION 3/16\"/>

- 1 AWNING BY VENDOR SUBMITTED UNDER SEPARATE COVER.
- 2 STOREFRONT WINDOWS AND DOORS: SEE SHEET A1.0 AND A1.1.
- 3 DRIVE THRU WINDOW.
- 4 SECURITY DOOR. SEE SHEET A1.1.
- 5 WALL PACK LIGHTING.
- 6 CAP FLASHING. PREFINISHED BY MFR.
- 7 BUILT-UP FOAM CORNICE.
- 8 SIGNAGE TURNBUCKLE.
- 10 STO POWERWALL STUCCO.
- 11 METER CENTER (NOT VISUALLY DEPICTED.) WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR. INSTALL STONE WAINSCOT TO WITHIN 8\" EACH SIDE. COORDINATE WITH ACTUAL METER CENTER SIZING.
- 12 WALL SCIENCE (TYP).
- 13 PROVIDE SPURT-EDGE WAINSCOT SILL BY ELDORADO STONE IN COLOR *COASTAL SAND*.
- 14 8\" X 16\" SPURT-FACED CMU BLOCK.
- 15 CULTURED STONE WAINSCOT.
- 16 GALVANIZED CAP FLASHING. PAINT IN FIELD.
- 17 8\" DIA. SCHEDULE 80 PIPE HINGE OVER 3\" SCHEDULE 80 PIPE COLUMN EMBEDDED 12\" INTO CONCRETE.
- 18 18 GA. BOX SIDING METAL GATE WITH STEEL FRAME EDGES. WELDED. PRIMED AND PAINTED IN FIELD.
- 19 PROVIDE SPURT-EDGE WALL CAP BY ELDORADO STONE IN COLOR *COASTAL SAND*.
- 20 PARAPET BEYOND.
- 21 PIZZA HUT TENANT ELECTRIC PANEL.
- 22 MULTI-TENANT ELECTRIC PANEL.

KEYNOTES N.T.S.

BUILDING ELEVATIONS

GRANDMERE PLAZA

340 S. WILCOX STREET

COLORADO

CASTLE ROCK

NO.	DATE	DESCRIPTION
1	11/13/2020	
2	12/28/2020	TOWN COMMENTS
3	01/18/2021	TOWN COMMENTS

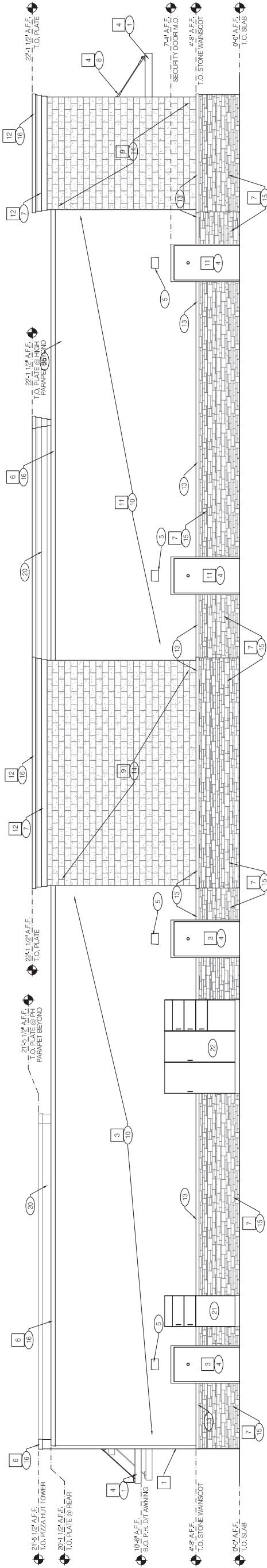
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11/13/2020	DATE:
11/13/2020	DRAWN BY:
LBM	CHECKED BY:
LBM	

SEAL

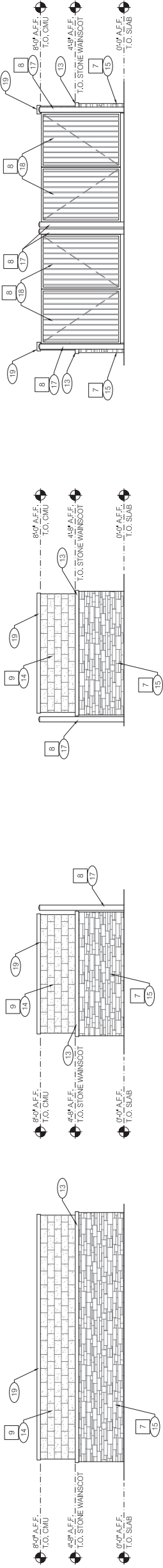
SITE DEVELOPMENT PLAN, AMENDMENT NO. 1
GRANDMERE PLAZA
LOT 1, K.L.N. SUBDIVISION FILING NO. 3
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 11, T8S, R67W OF THE 6TH PM
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LEE B. MANSKE, A.T.A., N.C.A.R.B.
2422 N. PUTTERS COURT
WICHITA, KS 67205
316-749-5873

NOTE:
ALL ROOF TOP MECHANICAL EQUIPMENT SHALL BE
SCREENED FROM VIEW BY THE PARAPETS FROM ALL
PROPERTY LINES.



NORTH ELEVATION 3/16"=1'-0"



DUMPSTER ELEVATIONS 3/16"=1'-0"

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 - 4 SECURITY DOOR. SEE SHEET A1.1.
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 - 13 18" X 18" SPLIT-FACED CMU BLOCK.
 - 14 CULTURED STONE WANSKOT.
 - 15 GALVANIZED CAP FLASHING. PAINT IN FIELD.
- 17 8" DIA. SCHEDULE 80 PIPE HINGE OVER 3" SCHEDULE 80 PIPE COLUMN EMBEDDED 12" INTO CONCRETE.
 - 18 18 GA. BOX RIB METAL GATE WITH STEEL FRAME EDGES. WELDED. PRIMED AND PAINTED IN FIELD.
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EXTERIOR FINISH SCHEDULE N.T.S.

KEYNOTES N.T.S.

TOWN OF CASTLE ROCK PROJECT #SDP20-0054

BUILDING ELEVATIONS

GRANDMERE PLAZA
340 S. WILCOX STREET
COLORADO

CASTLE ROCK

DRAWING NO.

REVISIONS

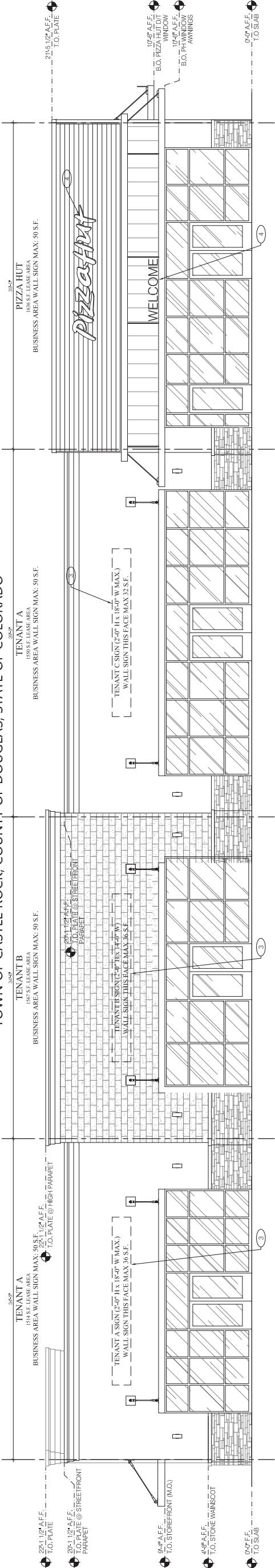
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PROJ. NO.:	20040
DATE:	11/13/2020
DRAWN BY:	LBM
CHECKED BY:	LBM

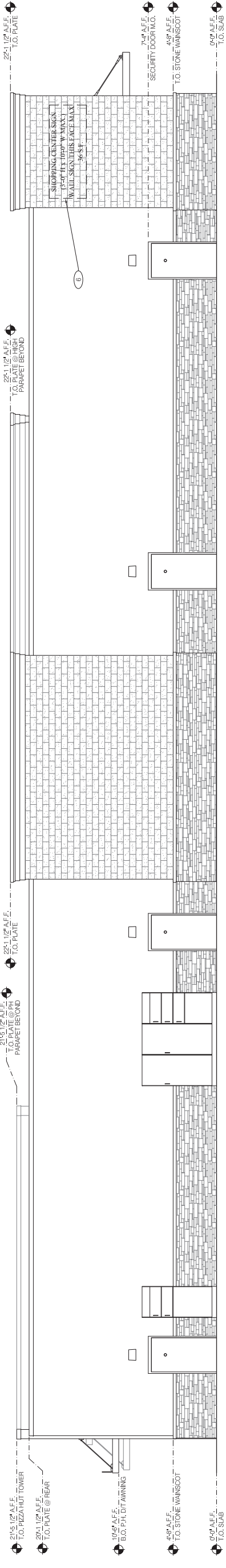
SITE DEVELOPMENT PLAN, AMENDMENT NO. 1
GRANDMERE PLAZA

LOT 1, K.L.N. SUBDIVISION FILING NO. 3

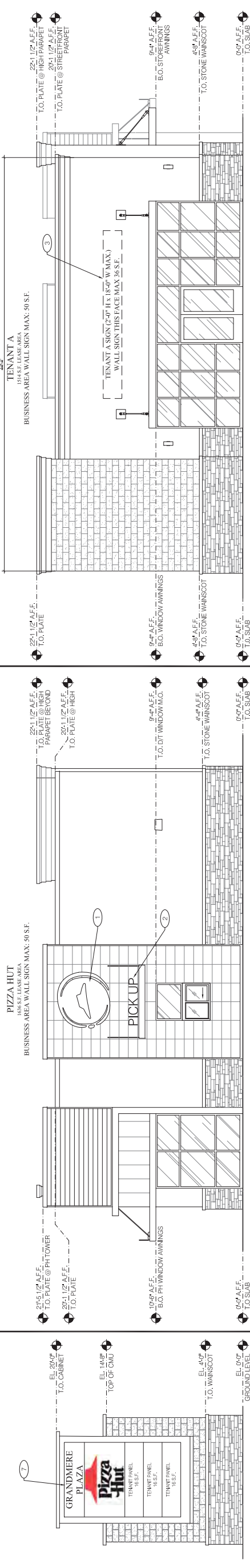
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



SOUTH ELEVATION SIGNAGE 31'6"=1'-0"



NORTH ELEVATION SIGNAGE 31'6"=1'-0"



MONUMENT SIGN 31'6"=1'-0"

EAST ELEVATION SIGNAGE 31'6"=1'-0"

WEST ELEVATION SIGNAGE 31'6"=1'-0"

TOTAL PROPOSED BUILDING WALL SIGNAGE: 247.75 S.F.
TOTAL PROPOSED FREESTANDING MONUMENT SIGNAGE: 100 S.F.
TOTAL SIGNAGE ON-SITE: 347.75 S.F.

SIGNAGE TOTALS 31'6"=1'-0"

1 34 S.F. BUILDING WALL SIGN, INTERNALLY ILLUMINATED.
2 5.25 S.F. CUT LETTERS ON FACE OF AWNING.
3 32 S.F. BUILDING WALL SIGN, INTERNALLY ILLUMINATED.

4 7.5 S.F. CUT LETTERS ON FACE OF AWNING.
5 37 S.F. BUILDING WALL SIGN, INTERNALLY ILLUMINATED.
6 36 S.F. BUILDING WALL SIGN, INTERNALLY ILLUMINATED.

MONUMENT SIGN, 20'-0" OAH, INTERNALLY ILLUMINATED, WITH 100 S.F. PER FACE.

KEY NOTES 31'6"=1'-0"

TOWN OF CASTLE ROCK PROJECT #SDP20-0054

DEVELOPMENT MASTER SIGN PLAN

GRANDMERE PLAZA

340 S. WILCOX STREET

CASTLE ROCK

10

10 OF 11

REVISIONS

NO.	DATE	DESCRIPTION
1	11/13/2020	TOWN COMMENTS
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20040	DATE:	11/13/2020
	DRAWN BY:	LBM
	CHECKED BY:	LBM

COLORADO

LEE B. MANSKE, A.L.A., N.C.A.R.B.
2422 N. BUTGERS COURT
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316-749-5873

SEAL

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

GRANDMERE PLAZA

LOT 1, K.L.N. SUBDIVISION FILING NO. 3

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 11, T8S, R67W OF THE 6TH PM

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional	Crisis March
Town of Castle Rock Registration #	NA
Company Name	TCK Design and Planning
Phone	303-883-3278
Email	cmarsh@tckdesignandplanning.com
Address	PO BOX 202560, Denver, CO 80220
State of Colorado License Landscape Architect #	133
PROJECT NAME	Pizza Hut #2018
Date	2021-01-15

Gross Site Area	Landscape Area in Sq. Ft. (10% Req.)	Turfgrass - List Species (Area in Sq. Ft.)	Nonliving Ornamental (Area in Sq. Ft.)	No. of Trees Required (271,000 SF)	No. of Trees Provided	No. of Shrubs Required (471,000 SF)	No. of Shrubs Provided	Soil Prep Amounts (4 cu. yds. per 1000 sq. ft.)	Separate Irrigation Service Connections
37,283 SF (0.86 AC)	REQUIRED 3,728 SF PROVIDED 5,346 SF (14%) NON-IRRIGATED 4,488 SF 860 SF	NA (0 SF)	527 SF	8	9 ⁽¹⁾	15	34	21.4 CY	☒ Yes ☐ No
									USE EXISTING
Parking Lot Landscape Area (Area in Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq. Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscape Islands	No. of Trees Required (271,000 SF)	No. of Trees Provided	No. of Shrubs Required (471,000 SF)	No. of Shrubs Provided	
20,214 TOTAL	44	280 SF	2	8'	4	4 ⁽¹⁾	8	31	

NOTES: (1) EXISTING TREES ARE BEING USED TO MEET THIS REQUIREMENT

Streetscape Requirements

Street	Length	Units	No. of Trees Required (1 per 22 LF)	No. of Trees Provided	Existing Trees to Remain	No. of Shrubs Provided (5 Per Tree)	No. of Shrubs Provided (7 Per Tree)	No. of Perennials Provided
Wilcox	100	Feet	5	4 ⁽²⁾	4	25	25	35

NOTES: (2) A VARIANCE IS BEING REQUESTED FROM THE DESIGN REVIEW BOARD TO MEET THE REQUIREMENT WITH THE FOUR EXISTING TREES. THERE IS NOT ADEQUATE SPACE FOR AN ADDITIONAL TREE DUE TO SETBACK REQUIREMENTS FROM THE SIDEWALK AND PROPOSED WATER LINE LOCATION. THE SPATIAL LIMITATIONS AND PRUNING REQUIREMENTS WOULD NOT ALLOW FOR AN ADDITIONAL TREE TO THRIVE.

LANDSCAPE NOTES

1. FINAL LANDSCAPE AREA, COVERAGE, AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
2. LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
3. ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
4. PLANTS TO BE USED TO FILL IN LINES SHOULD BE A MINIMUM OF 1" IN DIAMETER.
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
6. DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
7. IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
8. IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO MEET THE TOWN OF CASTLE ROCK WATERING SCHEDULE.
9. IF ANY TRANSFORMERS, GROUND MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE INSPECTION PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
10. NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR INTERFERE WITH THE VISION OF DRIVERS.
11. LANDSCAPE SLOPES, SHROUDS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
12. AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENT'S IRRIGATION PLAN REVIEW COMMENTS.
13. LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACTOR PROFESSIONAL.
14. DESIGN AND IRRIGATION SHALL BE REMOVED OR REDESIGNED UPON THE REMOVAL OF A COMPANIBLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED DESIGN AND DESIGN WITHIN FORTY-FIVE (45) DAYS OF THE REMOVAL OF THE PLANT. IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE SPECIES, SPECIES THINER THAN 3" ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.
15. SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

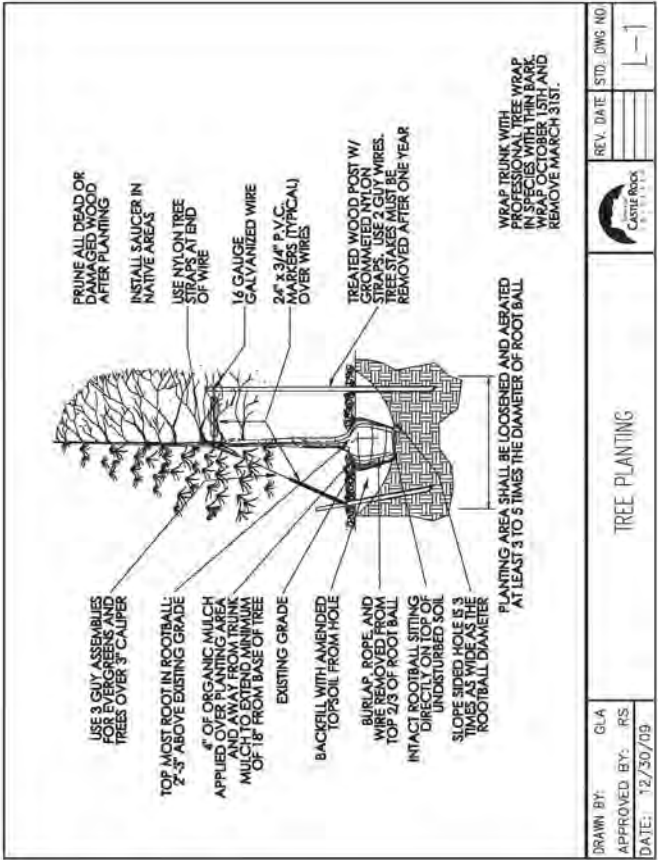
PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME		COMMON NAME	CONT	GAL	IRRIGATION	WATER USE
	GLT	SHADEMASTER					
QUERCUS RUBRA	GLT	SHADEMASTER	COMMON NAME	5 GAL	2 GAL	Drip	L-M
BROADLEAF EVERGREENS	BOTANICAL NAME		COMMON NAME	CONT	IRRIGATION	WATER USE	
	COTONEASTER DAMMERI	'CORAL BEAUTY'	CORAL BEAUTY	5 GAL	Drip	L-M	
	BOTANICAL NAME		COMMON NAME	CONT	IRRIGATION	WATER USE	
	BERBERIS THUNBERGII	'ATROPURPUREA NANA'	CRIMSON PYGMY BARBERY	5 GAL	Drip	L	
COCOB	PHYSCARPUS OPULIFOLIUS	'MONJO'	DWARF MONJO SUMAC	5 GAL	Drip	M	
	RIBES ALPIMUM	'GREEN NANO'	GREEN MOUNTAIN ALPINE CURRANT	5 GAL	Drip	M	
	SPIRAEA NIPPONICA	'SNOWMOUND'	SNOWMOUND ALPINE CURRANT	5 GAL	Drip	L-M	
	BOTANICAL NAME		COMMON NAME	CONT	IRRIGATION	WATER USE	
EVERGREEN SHRUBS	PICEA PUNGENS	'GLOBOSA'	GLOBE SPRUCE	5 GAL	Drip	M	
	PINUS MUGO	'SLOWMOUND'	SLOWMOUND MUGO PINE	5 GAL	Drip	L	
PIGL	BOTANICAL NAME		COMMON NAME	CONT	IRRIGATION	WATER USE	
	CHAMAECISTIS CAULIFLORA	'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	Drip	L-M	
ORNAMENTAL GRASS	MISCANTHUS SINENSIS	'GRACILLIMUS'	MAIDEN GRASS	5 GAL	Drip	M	
	BOTANICAL NAME		COMMON NAME	CONT	IRRIGATION	WATER USE	
PERENNIALS	ACHILLEA X 'MOONSHINE'	MOONSHINE	COMMON NAME	1 GAL	Drip	L-M	
	GERANIUM CANTABRIGENSE	'BIOKOVO'	BIOKOVO GERANIUM	1 GAL	Drip	L	
GEJIB	PENSTEMON X MEXICALI	'RED ROCKS'	RED ROCKS PENSTEMON	1 GAL	Drip	L	
PERR	PEROVSKIA ATRIPLIFOLIA	'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	1 GAL	Drip	V-L	
PELS	SAUVIA X SYLVESTRIS	'WAY NIGHT'	WAY NIGHT SALVIA	1 GAL	Drip	V-L	
SAMIN	SEDUM SPECTABILE	'AUTUMN JOY'	AUTUMN JOY SEDUM	1 GAL	Drip	V	
SEAJ	WATER USE CATEGORIES: VERY LOW (V), LOW (L), MODERATE (M), HIGH (H)						

WATER USE CATEGORIES: VERY LOW (V), LOW (L), MODERATE (M), HIGH (H)

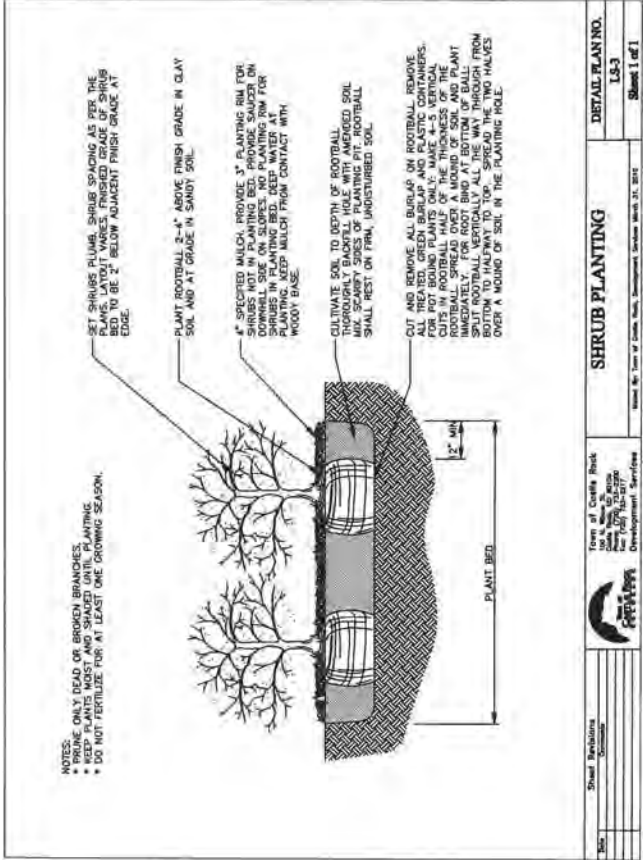
1 TREE PLANTING

NTS



2 SHRUB PLANTING

NTS



LANDSCAPE NOTES AND DETAILS

GRANDMERE PLAZA

340 S. WILCOX STREET

CASTLE ROCK

DRAWING NO.

7

7 OF 11

TOWN OF CASTLE ROCK PROJECT #SDP20-0054

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 11, T8S, R67W OF THE 6TH PM
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



FOR AND ON BEHALF OF PROOF CIVIL CO.

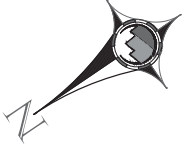
NO.	DATE	1	12/28/2020	2	01/18/2021

ED

CASTLE ROCK

11 OF 11

TOWN OF CASTLE ROCK PROJECT #SDP20-0054



SCALE: 1" = 20'

LIGHT LEVELS ARE MAINTAINED FOOT-CANDELES. INITIAL LEVELS ARE SLIGHTLY HIGHER

THE HOURS OF OPERATION FOR LIGHTING WILL BE SET BY TIMER AND WILL SWITCH TO APPROXIMATELY 25% OF ACTIVE FIXTURES AFTER THE LATEST STORE OPERATING HOUR. CURRENTLY THE LATEST HOURS OF OPERATION ARE TO 00:00 PM, SUNDAY THROUGH THURSDAY AND 11:00 PM FRIDAY AND SATURDAY.

THE MONUMENT SIGN SHALL BE INTERNALLY ILLUMINATED AND HAS NO EXPOSED LIGHTING

THE MONUMENT SIGN SHALL BE DIMMED TO 50% AFTER HOURS