CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO

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PURPOSE STATEMENT

SDP16-0005: THIS SITE DEVELOPMENT PLAN APPLICATION IS PROPOSING 903 SINGLE-FAMILY DETACHED HOMES IN CRYSTAL VALLEY RANCH FOR THE AREA KNOWN AS THE HOMESTEAD. LOTS VARY IN SIZE STARTING WITH 40' X 100' LOTS IN THE SOUTHWEST CORNER OF THE SITE, TRANSITIONING TO 70' X 120' LOTS IN THE NORTHEAST PORTION OF THE SITE. THIS ALLOWS FOR A GRADUAL DENSITY CHANGE, KEEPS SIMILAR SIZED LOTS LOCATED NEARER TO EACH OTHER, AND CREATES A COMPATIBLE TRANSITION TO EXISTING, ADJACENT NEIGHBORHOODS. THE LANDSCAPE IS DESIGNED TO BE CONSISTENT WITH PREVIOUSLY DESIGNED AREAS THROUGHOUT CRYSTAL VALLEY AND INCLUDES A VARIETY OF LANDSCAPE TREATMENTS AND AMENITIES, INCLUDING THE EXTENSION AND AUGMENTATION OF EXISTING TRAIL NETWORKS.

SDP17-0045: MINOR CHANGES WERE MADE TO THE LOTS IN THE SOUTH HALF OF CVR FILING 15. SOME OF THE END LOTS WERE TURNED 90 DEGREES AND SOME MINOR ADJUSTMENTS WERE MADE TO THE LOT SIZE MIX TO BETTER ADDRESS MARKET / BUYER DEMAND. THE APPROVED SDP WAS FOR 900 TOTAL LOTS. THE AMENDED SDP HAS 907 TOTAL LOTS. THIS RESULTS LESS THAN A 1% INCREASE IN THE TOTAL NUMBER OF LOTS AND A NEGLIGIBLE INCREASE IN GROSS DENSITY FROM 3.57 DU/AC TO 3.60 DU/AC. STREET NAMES WERE CHANGES TO MATCH THE NAMES APPROVED BY DOUGLAS COUNTY. SETBACK NOTES WERE ADDED TO PROVIDE FOR SPECIFIC ENCROACHMENTS.

SDP19-0001: LANDSCAPE HAS REDUCED OVERALL PLANT COUNTS AND HAS CREATED A MORE NATURAL 'COLORADOSCAPE' CHARACTER TO MATCH OTHER CRYSTAL VALLEY FILINGS, AS WELL AS REDUCE OVERALL WATER USE. CHANGES INCLUDE THE FOLLOWING: LANDSCAPE BED AREAS AND ASSOCIATED SHRUBS HAVE BEEN REDUCED TO CONSERVE WATER, BED AREAS HAVE TYPICALLY BEEN CONVERTED TO NATIVE SEED WITH TREES. TREES HAVE BEEN RELOCATED CLOSER TO THE STREET AND NOT NEAR THE BACKS OF LOTS TO IMPROVE IMPACT TO THE PUBLIC STREETSCAPE. LOCATIONS AND GROUPINGS OF PLANTS HAVE BEEN OPTIMIZED TO WORK WITH A MORE EFFICIENT IRRIGATION DESIGN. SMALL TREE COUNTS HAVE BEEN REDUCED AND HAVE BEEN REPLACED BY LARGER TREES. THE FESCUE SEED MIX WAS USED IN LIEU OF SOD TO REDUCE WATER USE. AN APPROXIMATE 50/50 MIX OF CANOPY TO EVERGREEN TREES ARE TO BE USED FOR REQUIRED STREET TREES.

CONTACTS

OWNER
CRYSTAL VALLEY RECOVERY ACQUISITION, LLC
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SHEET INDEX

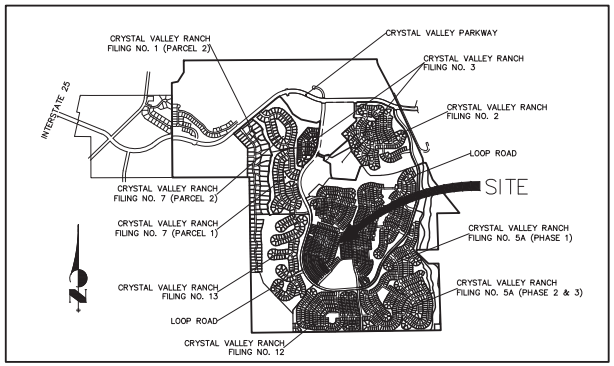
1	COVER SHEET
2	LANDSCAPE NOTES
3	OVERALL PLAN
4 to 35	LANDSCAPE PLAN
36	LANDSCAPE DETAILS
37 to 43	RETAINING WALL PLAN

APPROVED VARIANCES

ALLOW THE PLANTING OF TREES IN TREE LAWNS SMALLER THAN 10' FOR A COLLECTOR AND ARTERIAL STREETS PER VARIANCE TCV16-0044 APPROVED 08/16/2016.

SIGHT LINE ENCROACHMENT GREATER THAN .5' INTO RESIDENTIAL LOTS PER VARIANCE TCV16-0024 APPROVED 08-26-2016.

LIMITED SOD PERMITTED AT ENTRANCES PER APPROVED VARIANCE TCV19-0026.



VICINITY MAP

LEGAL DESCRIPTION

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE WEST LINE OF THE NORTHWEST ¼ OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. BEING MONUMENTED BY A 3-1/4" ALUMINUM CAP STAMPED LS 6935' AT THE NORTHWEST CORNER AND A 3-1/4" ALUMINUM CAP STAMPED LS 12405' AT THE WEST ¼ CORNER, BEING ASSUMED TO BEAR N00°54'16"W.

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 25;

THENCE S69°40'22"E, 2,047.06 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF LOOP ROAD AS RECORDED UNDER RECEPTION NO. 2002097027 AND 2008062016 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER, SAID POINT BEING THE POINT OF BEGINNING;

THENCE THE FOLLOWING EIGHT (8) COURSES:

1. S67°40'58"E A DISTANCE OF 7.68 FEET;
2. N63°14'54"E A DISTANCE OF 152.05 FEET;
3. N31°38'57"W A DISTANCE OF 75.52 FEET;
4. N45°36'32"E A DISTANCE OF 496.36 FEET;
5. S59°27'11"E A DISTANCE OF 150.84 FEET;
6. N35°05'20"E A DISTANCE OF 155.66 FEET;
7. N39°42'19"E A DISTANCE OF 200.25 FEET;
8. S85°21'25"E A DISTANCE OF 81.65 FEET, TO THE SOUTHWESTERLY CORNER OF CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1 RECORDED UNDER RECEPTION NO. 2012013141;

THENCE ON THE SOUTHERLY LINE OF SAID CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1, THE FOLLOWING THREE (3) COURSES:

1. S85°21'31"E A DISTANCE OF 819.37 FEET;
2. N19°25'33"E A DISTANCE OF 481.14 FEET;
3. N52°59'35"E A DISTANCE OF 79.94 FEET, TO A POINT ON THE SOUTHERLY LINE OF CRYSTAL VALLEY RANCH - FILING NO. 2, 1ST ADMINISTRATIVE REPLAT AS RECORDED UNDER RECEPTION NO. 2004128637;

THENCE ON SAID SOUTHERLY LINE, THE FOLLOWING EIGHT (8) COURSES:

1. S36°23'19"E A DISTANCE OF 133.51 FEET;
2. S30°08'33"E A DISTANCE OF 66.62 FEET;
3. S36°59'45"E A DISTANCE OF 105.45 FEET;
4. S47°07'00"E A DISTANCE OF 101.69 FEET;
5. S56°19'45"E A DISTANCE OF 44.01 FEET;
6. N89°22'10"E A DISTANCE OF 355.49 FEET, TO A POINT OF NON-TANGENT CURVE;
7. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N02°14'45"W, HAVING A RADIUS OF 2045.65 FEET, A CENTRAL ANGLE OF 19°01'48" AND AN ARC LENGTH OF 679.43 FEET, TO A POINT OF NON-TANGENT;
8. N70°33'17"E A DISTANCE OF 565.32 FEET, TO A POINT OF NON-TANGENT CURVE ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID LOOP ROAD;

THENCE ON SAID RIGHT-OF-WAY LINE THE FOLLOWING TEN (10) COURSES:

1. ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S67°20'34"W, HAVING A RADIUS OF 665.00 FEET, A CENTRAL ANGLE OF 24°24'25" AND AN ARC LENGTH OF 283.28 FEET, TO A POINT OF TANGENT;
2. S01°44'59"W A DISTANCE OF 773.61 FEET, TO A POINT OF CURVE;
3. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 835.00 FEET, A CENTRAL ANGLE OF 16°17'47" AND AN ARC LENGTH OF 237.50 FEET, TO A POINT OF TANGENT;
4. S18°02'46"W A DISTANCE OF 884.40 FEET, TO A POINT OF CURVE;
5. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 965.00 FEET, A CENTRAL ANGLE OF 26°43'38" AND AN ARC LENGTH OF 450.15 FEET, TO A POINT OF TANGENT;
6. S44°46'24"W A DISTANCE OF 527.38 FEET, TO A POINT OF CURVE;
7. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 1685.00 FEET, A CENTRAL ANGLE OF 25°59'11" AND AN ARC LENGTH OF 764.23 FEET, TO A POINT OF TANGENT.
8. S18°47'13"W A DISTANCE OF 178.42 FEET, TO A POINT OF CURVE;
9. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 665.00 FEET, A CENTRAL ANGLE OF 66°51'37" AND AN ARC LENGTH OF 776.01 FEET, TO A POINT OF TANGENT;
10. S85°38'50"W A DISTANCE OF 109.37 FEET;

THENCE DEPARTING SAID RIGHT-OF-WAY LINE, THE FOLLOWING THREE COURSES (3) COURSES:

1. N40°38'50"E A DISTANCE OF 42.43 FEET;
2. N04°21'10"W DISTANCE OF 228.08 FEET, TO A POINT OF CURVE;
3. THENCE ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 964.00 FEET, A CENTRAL ANGLE OF 9°49'07" AND AN ARC LENGTH OF 165.20 FEET, TO A POINT OF NON-TANGENT ON THE EASTERLY LINE OF THAT TOWN OF CASTLE ROCK PROPERTY DESCRIBED IN THE DOCUMENT RECORDED UNDER RECEPTION NO. 2007030285;

THENCE ON SAID EASTERLY LINE, N18°03'46"W A DISTANCE OF 167.48 FEET;

THENCE DEPARTING SAID EASTERLY LINE, THE FOLLOWING TWO (2) COURSES:

1. N19°28'28"W A DISTANCE OF 63.13 FEET;
2. N70°31'32"E A DISTANCE OF 1.56 FEET, TO A POINT ON THE EASTERLY LINE OF SAID TOWN OF CASTLE ROCK PROPERTY;

THENCE ON THE EASTERLY AND NORTHERLY LINES OF SAID TOWN OF CASTLE ROCK PROPERTY, THE FOLLOWING TWO (2) COURSES:

1. N18°03'46"W A DISTANCE OF 251.77 FEET;
2. N89°47'26"W A DISTANCE OF 414.66 FEET, TO A POINT OF NON-TANGENT CURVE;

THENCE DEPARTING SAID TOWN OF CASTLE ROCK PROPERTY, THE FOLLOWING SEVEN (7) COURSES:

1. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS S45°17'08"E, HAVING A RADIUS OF 277.50 FEET, A CENTRAL ANGLE OF 4°56'58" AND AN ARC LENGTH OF 23.97 FEET, TO A POINT OF TANGENT;
2. S39°45'54"W A DISTANCE OF 353.71 FEET, TO A POINT OF TANGENT;
3. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 422.50 FEET, A CENTRAL ANGLE OF 04°29'54" AND AN ARC LENGTH OF 33.17 FEET, TO A POINT OF NON-TANGENT;
4. S45°44'12"E A DISTANCE OF 13.53 FEET;
5. S44°54'52"W A DISTANCE OF 556.11 FEET, TO A POINT OF CURVE;
6. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 364.00 FEET, A CENTRAL ANGLE OF 12°37'12" AND AN ARC LENGTH OF 80.17 FEET, TO A POINT OF NON-TANGENT;
7. S15°23'14"E A DISTANCE OF 41.32 FEET, TO A POINT OF NON-TANGENT CURVE ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID LOOP ROAD;

THENCE ON SAID RIGHT-OF-WAY LINE, THE FOLLOWING FIVE (5) COURSES:

1. ON ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS N27°19'39"E, HAVING A RADIUS OF 1065.00 FEET, A CENTRAL ANGLE OF 80°05'24" AND AN ARC LENGTH OF 1488.69 FEET, TO A POINT OF TANGENT;
2. THENCE N17°25'03"E A DISTANCE OF 748.07 FEET, TO A POINT OF CURVE;
3. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 1035.00 FEET, A CENTRAL ANGLE OF 14°32'04" AND AN ARC LENGTH OF 262.55 FEET, TO A POINT OF NON-TANGENT COMPOUND CURVE;
4. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N84°55'06"W, HAVING A RADIUS OF 1037.00 FEET, A CENTRAL ANGLE OF 29°53'19" AND AN ARC LENGTH OF 540.96 FEET, TO A POINT OF NON-TANGENT;
5. N26°45'06"W A DISTANCE OF 252.21 FEET, TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 10,987,871 SQUARE FEET OR 252.2468 ACRES.

Zoning Comparison				
	Crystal Valley Ranch Major Amendment No. 4 - Reception No. 2012013155	Filing No. 15 SDP - Approved SDP16-0005 - Rec. No. 2017005515	Filing No. 15 SDP Amd No. 1 - Approved SDP17-0045	Filing No. 15 SDP Amd No. 2 - Proposed SDP19-0001*
	Overall PD Amd 4 Summary	Overall SDP Summary	Overall SDP Summary	Overall SDP Summary
Zoning/Use Area	PD	Various Residential	Various Residential	Various Residential
Acreage	1087.7 ac.	252.2	252.2	252.2
Gross DU/Ac.		3.57	3.60	3.60
Maximum Units/Lots	2889	900	907	907
Min. Front Setback	At SDP	20'	20' [1], [2]	20' [1], [2]
Min. Rear Setback	At SDP	20'	20' [1]	20' [1]
Min. Side Setback	At SDP	5'	5' [1]	5' [1]
Min. Side to Street Setback	At SDP	15'	15' [1]	15' [1]
Max. Building Height	35'	35'	35'	35'
Min. Building Separation	At SDP	10'	10'	10'
Min. Lot Area	At SDP	4,000 SF	4,000 SF	4,000 SF
Max. Lot Area	At SDP	16,156 SF	16,156 SF	16,156 SF
Avg. Lot Area	At SDP	6,662 SF	6,662 SF	6,662 SF
		Site Utilization		
Lot Coverage	At SDP	5,996,061 SF	5,996,061 SF	5,996,061 SF
Street Coverage	3,066,624 SF	1,957,560 SF	1,957,560 SF	1,957,560 SF
Open Space/Landscaped Area	At SDP	3,034,250 SF	3,034,250 SF	3,034,250 SF
Total Land Area	**47,380,212 SF**	**10,987,871 SF**	**10,987,871 SF**	**10,987,871 SF**

[1] Overhangs and cantilevers may encroach into the building setback a maximum of two (2') feet. Items including, but not limited to, patios (covered and uncovered) and decks (covered and uncovered), swimming pools, gazebos and garden equipment storage sheds less than 48" above ground level are permitted in the side and rear setbacks. Patios (covered and uncovered) and decks (covered and uncovered) and similar features in excess of 48" in height above ground level may encroach into the rear setback a maximum of ten (10') feet. Window wells may encroach up to three (3') feet in any building setback.

[2] Minimum 20' front setback to front-facing garage door; side turned garages may encroach into the front setback up to 12'. Minimum setback to the any living area shall be 15'.

*Filing No. 15 SDP Amd No. 2 is to landscape only.

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

_____ AS AUTHORIZED SIGNATORY OF CRYSTAL VALLEY RECOVERY ACQUISITION, LLC, A DELAWARE LIMITED LIABILITY COMPANY

SIGNED THIS _____ DAY OF _____, 20_____.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____,

20_____ BY _____ AS _____ OF CRYSTAL VALLEY RECOVERY ACQUISITION, LLC

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

OWNERSHIP CERTIFICATION

TOWN OF CASTLE ROCK, A MUNICIPAL CORPORATION

BY _____
MAYOR

ATTEST:

TOWN CLERK

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS ___ DAY OF _____,

20_____ BY _____ AS MAYOR AND BY

_____, AS TOWN CLERK.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

TITLE CERTIFICATION

I, _____, AN AUTHORIZED REPRESENTATIVE OF _____, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE

TITLE COMPANY

SIGNED THIS _____ DAY OF _____, 20___.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____,

20___ BY _____ AS AUTHORIZED REPRESENTATIVE

OF _____.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

PLANNING COMMISSION RECOMMENDATION

THIS SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE _____ DAY OF _____, 20_____.

_____ _____.
CHAIR DATE

ATTEST:

_____ _____.
DIRECTOR OF DEVELOPMENT SERVICES DATE

TOWN COUNCIL APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO ON THE _____ DAY OF _____, 20_____.

_____ _____.
MAYOR DATE

ATTEST:

_____ _____.
TOWN CLERK DATE

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT __ ON THE _____ DAY OF _____, 20_____ AT RECEPTION NO. _ _____.

DOUGLAS COUNTY CLERK AND RECORDER

BY: _____
DEPUTY

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I, JOHN M. DERBY, RLA, AM AN CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP 04/12/2019
3RD WC SDP 05/17/2019

NOT FOR CONSTRUCTION

SHEET T
COVI
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SHEET 1

EXHIBIT 1

CHECKED BY: JB
DRAWN BY: DD, EN

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO

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COMPOSITE LANDSCAPE WATER USE RATING CHART

LANDSCAPE ZONE	LWU RATING RANGE
VERY LOW WATER USE	0.0 to 1.5
LOW WATER USE	+1.5 to 3.0
MODERATE WATER USE	+3.0 to 4.5
HIGH WATER USE	+4.5

NOTES:THE LWUR RATING RANGE IS BASED ON POST ESTABLISHMENT WATERING SCHEDULES.

IRRIGATION ZONE	PLANT NAME *(COMMON)*	APPLICATION RATE *(INCHES/MONTH)*		LANDSCAPE ZONE	% OF TOTAL AREA	IA *(IRRIGATED AREA IN SQ FT FOR EACH ZONE)*	LWUR *(LANDSCAPE WATER USE RATING)*	TOTAL AREA *(TA)*	CLWUR *(LWUR X IA)/TA*
SPRAY	IRRIGATED TURF (THERMAL BLUE TEXAS HYBRID)	4.5	in./mo.	HIGH	3.60%	17,770	4.5	493,389	0.16
SPRAY	IRRIGATED TURF (NATURE'S PRAIRIE)	3.0	in./mo.	MODERATE	10.26%	50,636	3.0	493,389	0.31
SPRAY	IRRIGATED TURF (FESCUE TURF SEED MIX)	2.5	in./mo.	LOW	1.70%	8,377	2.5	493,389	0.04
DRIP	SHRUB BED	2.0	in./mo.	LOW	19.28%	95,121	2.0	493,389	0.39
SPRAY ROTORS	IRRIGATED GRASS SEED MIX	1.5	in./mo.	VERY LOW	65.16%	321,485	1.5	493,389	0.98
TOTALS					100	493,389		493,389	1.88
							TOTAL OF THE CLWUR		1.88

LANDSCAPE SUMMARY TABLE

LANDSCAPE TYPE	SQUARE FOOTAGE	PERCENTAGE
IRRIGATED TURF	76,705	3.5%
IRRIGATED GRASS SEED MIX	321,670	14.8%
NON-IRRIGATED GRASS SEED MIX	1,607,802	74.1%
RIPARIAN SEED MIX	66,597	3.1%
IRRIGATED BED	96,307	4.4%
TOTAL AREA LANDSCAPE	2,169,081	100%

STREETSCAPE REQUIREMENT TABLE

PROPOSED SDP19-0001

STREET	LINEAR FEET	TREES REQUIRED (1 TREE / 40 LF)	DECIDUOUS TREES PROVIDED	EVERGREEN TREES PROVIDED	ORNAMENTAL TREES PROVIDED
LOOP ROAD	7,582 LF	190	112	108	3
ENTRY ROADS	2,281 LF	57	45	21	21
INTERNAL ROADS	6,311 LF	158	87	71	6

PLANTING SCHEDULE

LEGEND ABBREV.	PLANT NAME (SCIENTIFIC)	PLANT NAME (COMMON)	SIZE & CONDITION
DECIDUOUS CANOPY TREES			
ALM	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	2 1/2" CAL. B&B
BOA	QUERCUS MACROCARPA	BUR OAK	2 1/2" CAL. B&B
CAL	CATALPA SPECIOSA	CATALPA	2 1/2" CAL. B&B
PDO	SOPHORA JAPONICA	JAPANESE PAGODA TREE	2 1/2" CAL. B&B
ROA	QUERCUS RUBRA	NORTHERN RED OAK	2 1/2" CAL. B&B
SKY	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SKYLINE'	SKYLINE LOCUST	2 1/2" CAL. B&B
SHA	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER LOCUST	2 1/2" CAL. B&B
DECIDUOUS ORNAMENTAL TREES			
BTM	ACER GRANDIDENTATUM	BIGTOOTH MAPLE	2" CAL. B&B
CSP	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	2" CAL. B&B
RAD	MALUS X 'RADIANT'	RADIANT CRABAPPLE	2" CAL. B&B
RMM	ACER GLABRUM	ROCKY MOUNTAIN MAPLE	6' HT. CLUMP, B&B
TMT	ACER TATARICUM	TATARIAN MAPLE	2" CAL. B&B
TCH	CRATAEGUS CRUS-GALLI VAR. INERMIS	COCKSPUR THORNLESS HAWTHORN	2" CAL. B&B
WAS	CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORN	2" CAL. B&B
EVERGREEN TREES			
BSP	PICEA PUNGENS 'BAKERI'	BAKERI SPRUCE	6' HT. B&B
PON	PINUS PONDEROSA	PONDEROSA PINE	6'-12' HT. (SEE PLANS), B&B*
AUS	PINUS NIGRA	AUSTRIAN PINE	6'-12' HT. (SEE PLANS), B&B*
SWP	PINUS STROBIFORMIS	SOUTHWESTERN WHITE PINE	6'-12' HT. (SEE PLANS), B&B*
LIM	PINUS FLEXILIS	LIMBER PINE	6'-12' HT. (SEE PLANS), B&B*
SCO	PINUS SYLVESTRIS	SCOTCH PINE	6'-12' HT. (SEE PLANS), B&B*

*HEIGHT FOR EVERGREEN TREES SHALL BE 6' UNLESS OTHERWISE NOTED ON PLAN.

CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES:

1. SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
2. QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
3. ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
4. DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
6. DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
7. IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
8. IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
9. AN IRRIGATION PLAN WILL BE REQUIRED ON THE FIRST REVIEW OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.1B AND 4.2.3 IN THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS.
10. IRRIGATION SYSTEM IS TO BE REVIEWED AND APPROVED WITH CONSTRUCTION DOCUMENTS. CHANGES MAY BE NECESSARY ON THE LANDSCAPE PLAN DUE TO THE FIRST IRRIGATION REVIEW ON THE CONSTRUCTION DOCUMENTS.
11. TREES, LARGE SHRUBS AND PERMANENT STRUCTURES ARE NOT ALLOWED IN UTILITY OR DRAINAGE EASEMENTS IN THE TOWN OF CASTLE ROCK. ANY STRUCTURES PLACED ON EASEMENTS, INCLUDING PAVING, WALLS, AND FENCING SHALL BE REMOVED AND REPLACED BY THE OWNER UPON THE REQUEST OF CASTLE ROCK WATER SO THAT MAINTENANCE MAY BE PERFORMED.
12. SLOPES GREATER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.
13. ALL TREES MUST BE TRIMMED AT LEAST 8' ABOVE FINISH GRADE WITHIN THE SIGHT DISTANCE LINES.
14. NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOW LINE ELEVATION OF THE ADJACENT STREET SHALL BE PLACED WITHIN SIGHT DISTANCE LINES.
15. A TREE PLANTED WITHIN THE FRONT YARD OF A RESIDENTIAL LOT MAY BE COUNTED TOWARDS THE REQUIRED STREET TREES AS LONG AS THE TREE IS WITHIN 16 FEET OF THE BACK OF THE CURB, FOR A RESIDENTIAL STREET WITH AN ATTACHED SIDEWALK.

CONCEPTUAL IRRIGATION STANDARD NOTES:

1. ALL SOD AREAS ARE TO BE IRRIGATED WITH SPRAYS
2. TREES ARE TO BE IRRIGATED USING SUBSURFACE DRIP EMITTERS
3. NATIVE SEED GRASSES THAT ARE IRRIGATED ARE TO USE ROTORS
4. SOD AREAS LESS THAN 10' IN WIDTH WILL BE IRRIGATED WITH SUBSURFACE DRIP IRRIGATION

GRADING NOTES

1. ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE. MINIMUM SLOPE ON LANDSCAPED AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE (3:1) UNLESS OTHERWISE INDICATED ON THE PLANS.
2. MAXIMUM ALLOWED FINAL GRADES FOR LONGITUDINAL SLOPE ON WALKS AND PAVED AREAS SHALL BE 5% UNLESS OTHERWISE INDICATED ON THE PLANS.
3. RE: CIVIL FOR GRADING AND SLOPE PLANS

SHEET INDEX

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L-35 LANDSCAPE DETAILS

PREPARED FOR:

CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:

I JOHN M. SERKEY, RLA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

IRRIGATION DESIGNER:

HydroSystems–KDI, Inc. Irrigation Consulting
300 Union Blvd. Suite 405
Lakewood, Colorado 80228
303-980-5327
(fax) 303-980-5384

SHEET TITLE:
LANDSCAPE NOTES

L-1

SHEET 2 OF 43

CHECKED BY: JB
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CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

0 150 300 600
SCALE 1"=300'

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SHEET TITLE:
OVERALL PLAN

L-2

CHECKED BY: JB
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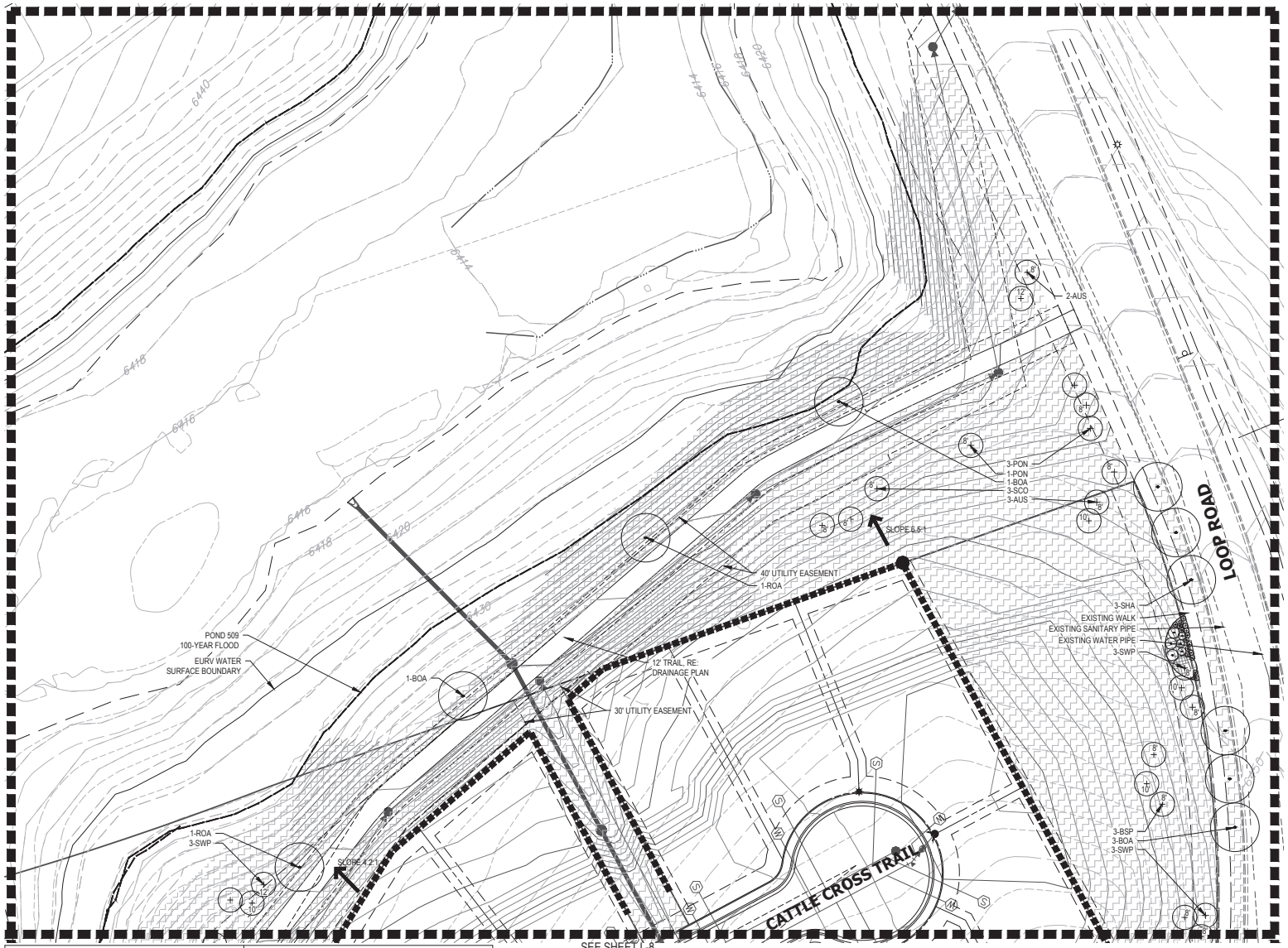
A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

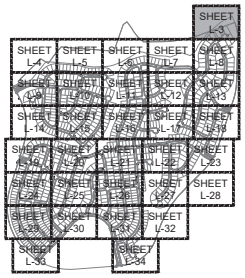
COUNTY OF DOUGLAS, STATE OF COLORADO



SEE SHEET L-8

APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
9	58	0	10	24	0

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
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- RIPARIAN MIX
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- FIRE HYDRANT
- SAMPLING STATION, RE: CIVIL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

0 15 30 60

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I JOHN R. SERKEY, RLA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. COLORADO LICENSE NUMBER IS 655.

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SHEET TITLE:
LANDSCAPE PLAN

L-3

CHECKED BY: JB
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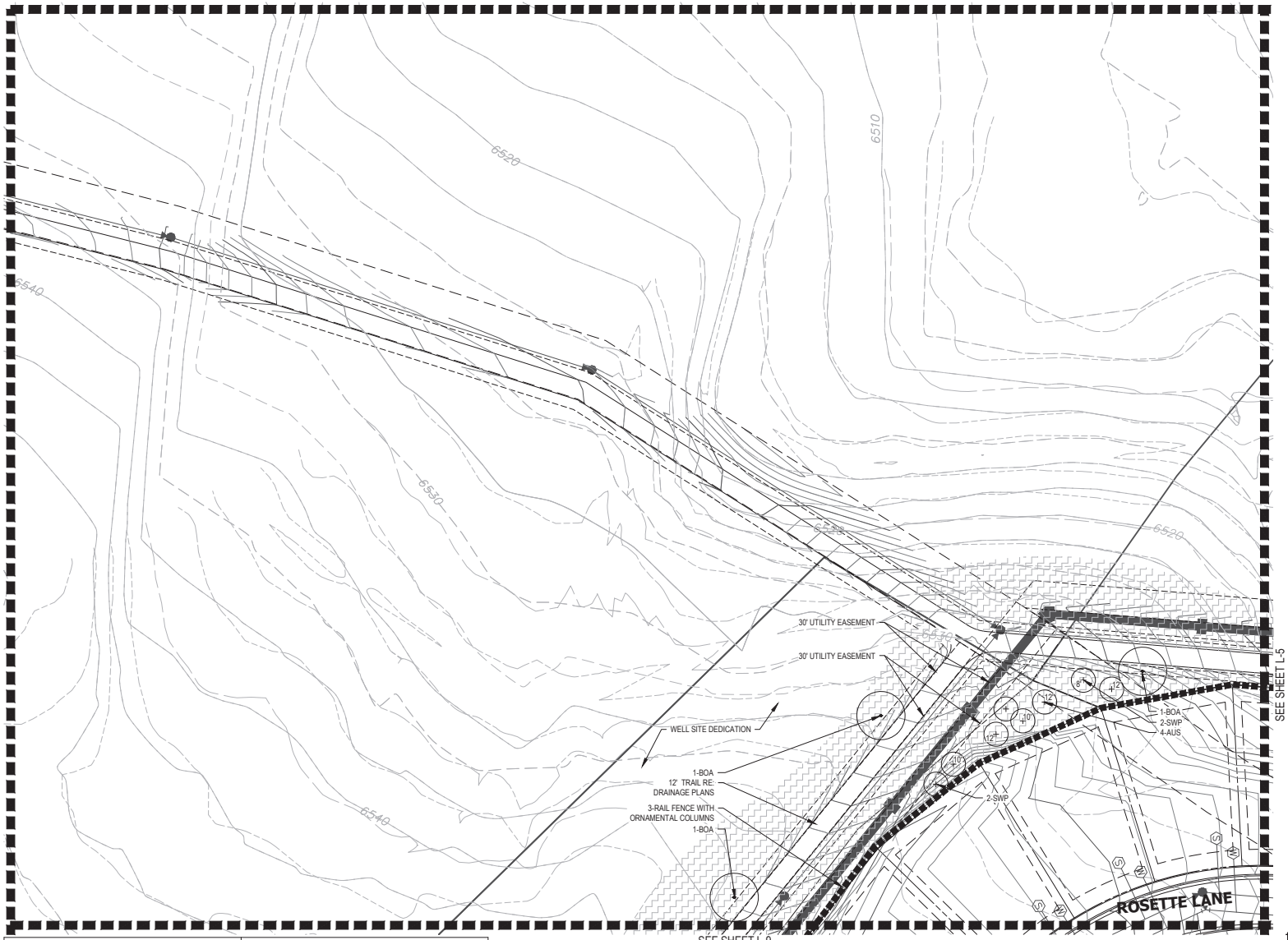
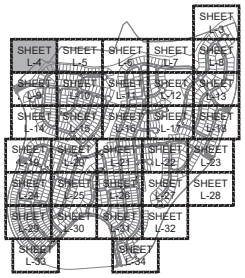
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
0	13	0	3	8	0

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
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- EVERGREEN SHRUBS
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- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

0 15 30 60
SCALE 1"=30'

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SHEET TITLE:
LANDSCAPE PLAN

L-4

CHECKED BY: JB
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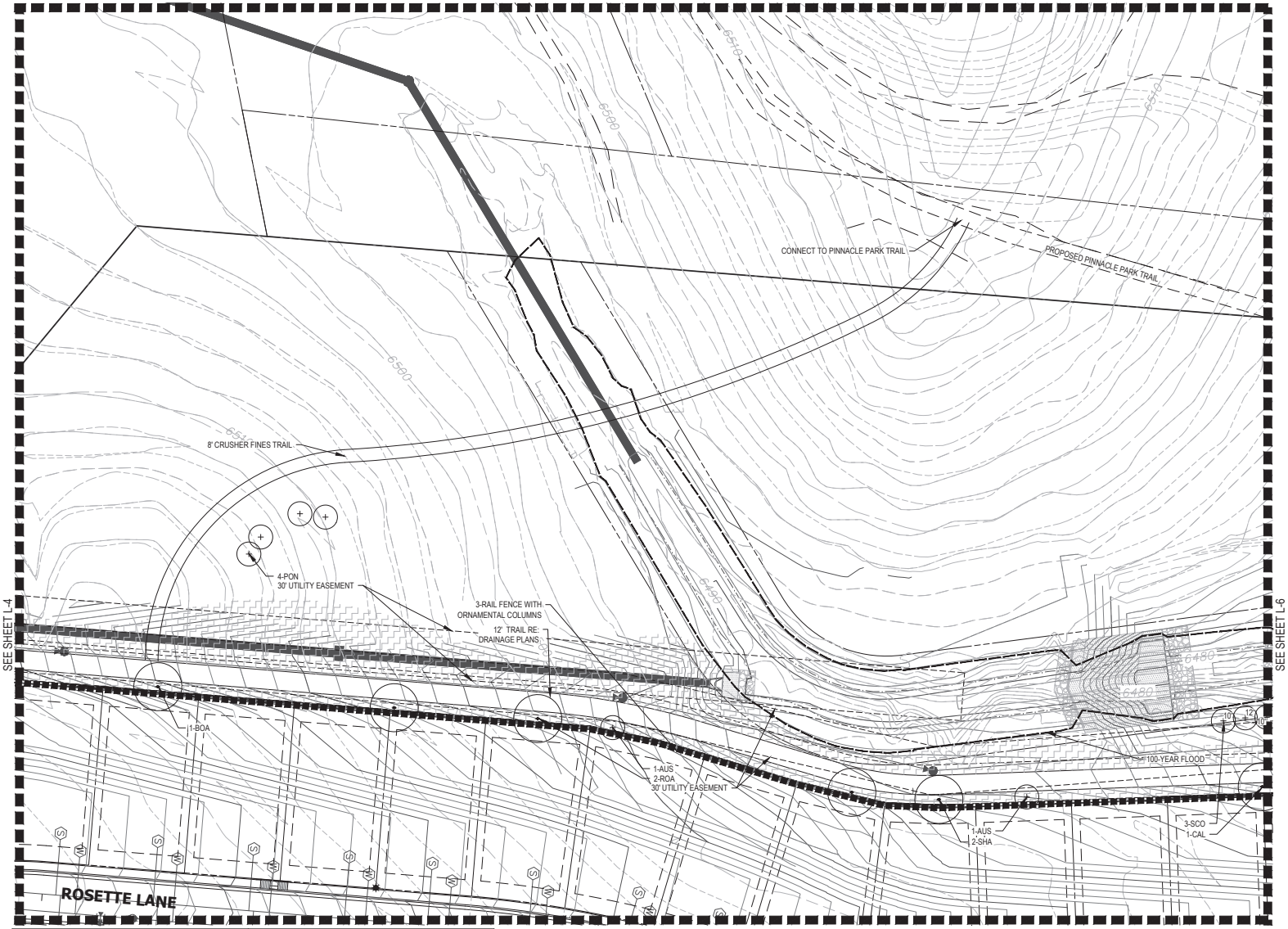
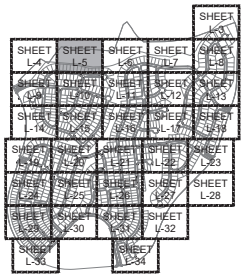
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
16	20	2	6	9	0

KEY MAP



LEGEND

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- SAMPLING STATION, RE: CIVIL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

0 15 30 60
SCALE 1"=30'

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SHEET TITLE:
LANDSCAPE PLAN

L-5

CHECKED BY: JB
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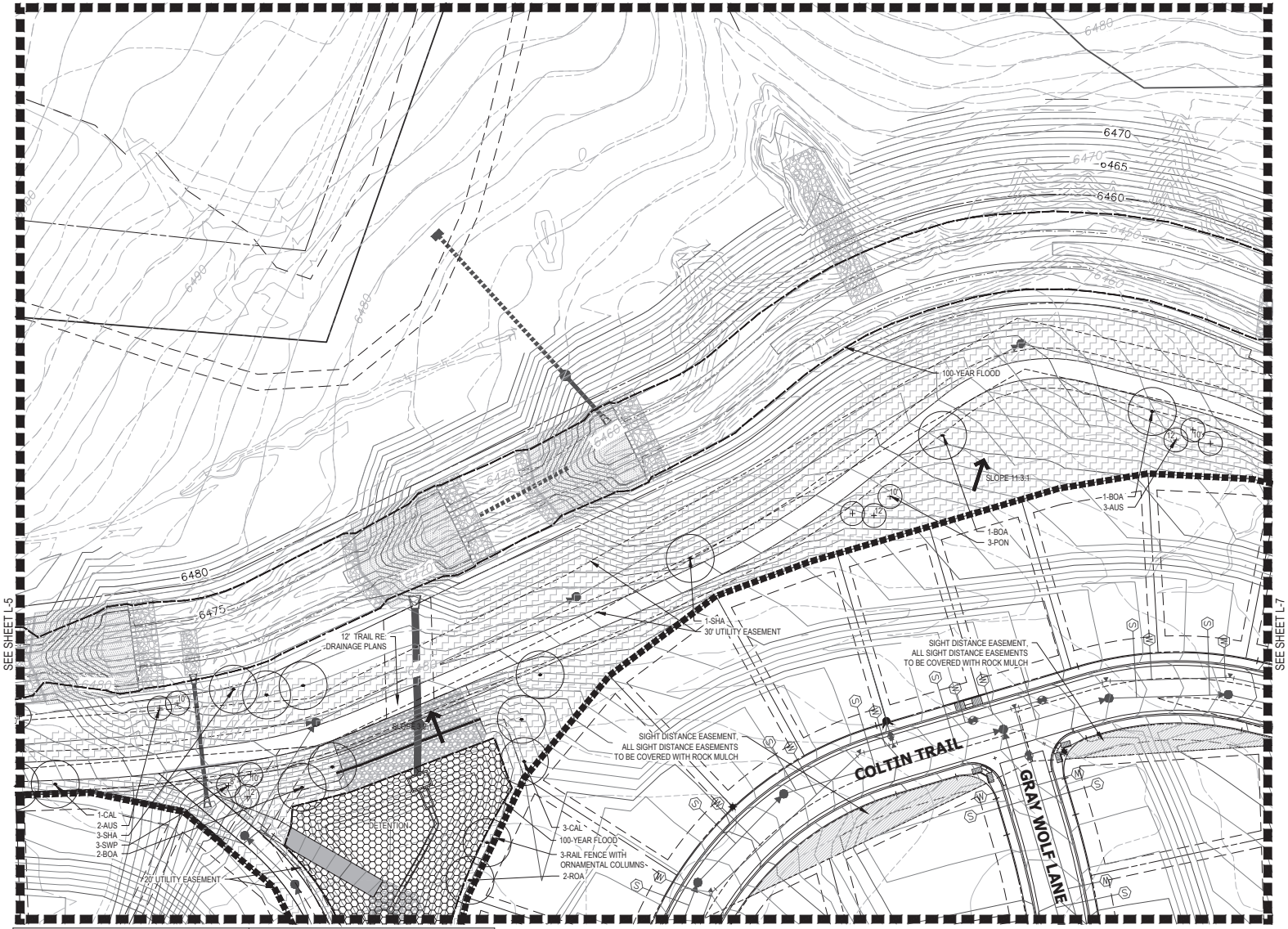
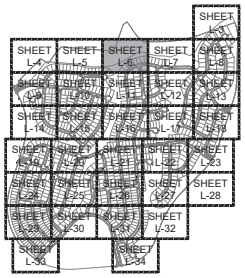
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
19	19	0	14	11	0

KEY MAP



LEGEND

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- DECIDUOUS ORNAMENTAL TREE
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- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

0 15 30 60
SCALE 1"=30'

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SHEET TITLE:
LANDSCAPE PLAN

L-6

CHECKED BY: JB
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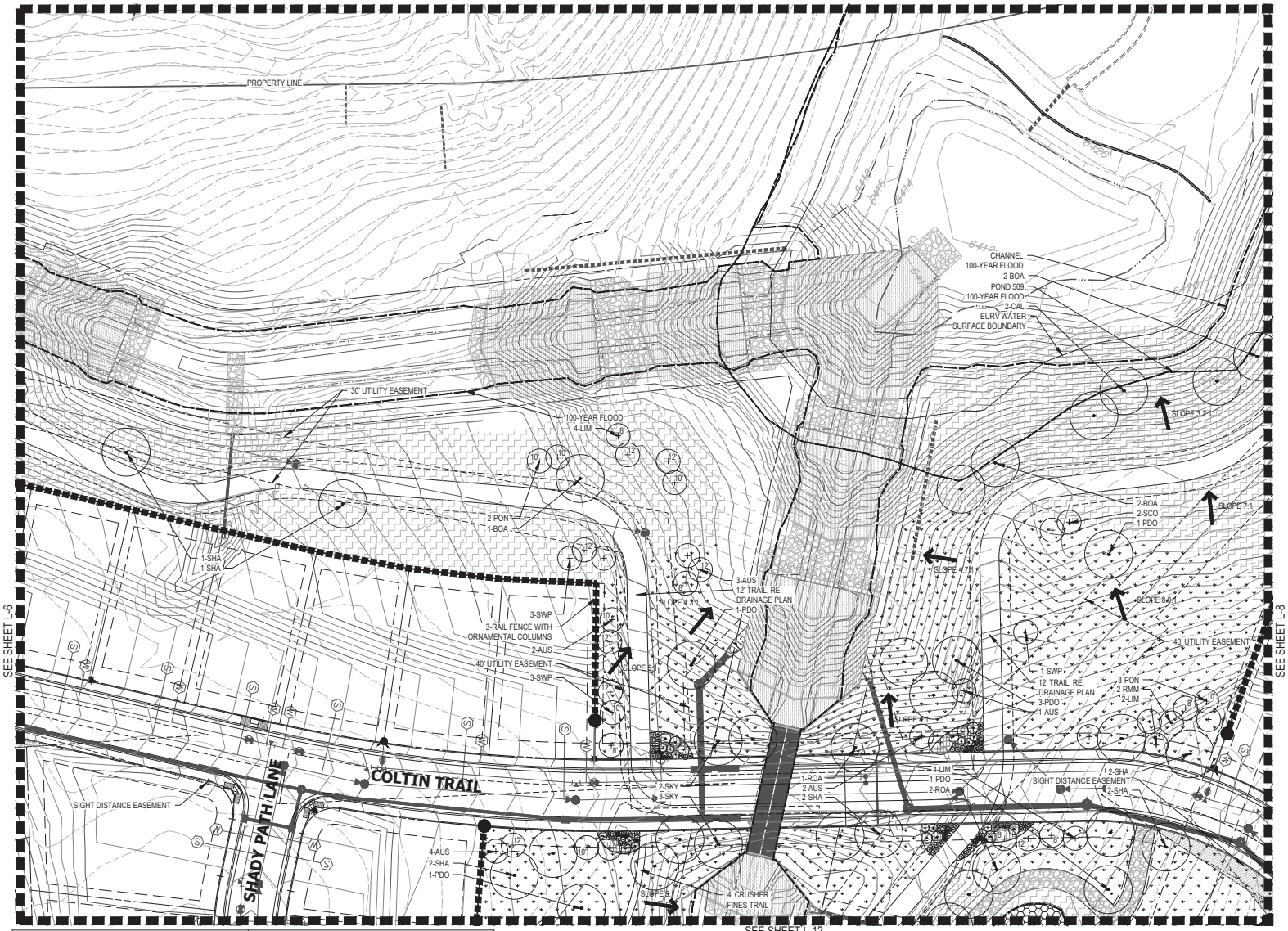
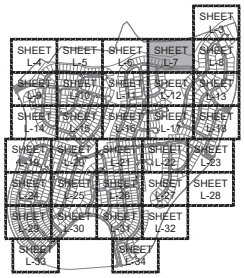
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
41	46	5	32	36	2

KEY MAP



LEGEND

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- DECIDUOUS SHRUBS
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- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

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3RD WC SDP - 05/17/2019

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SHEET TITLE:
LANDSCAPE PLAN

L-7

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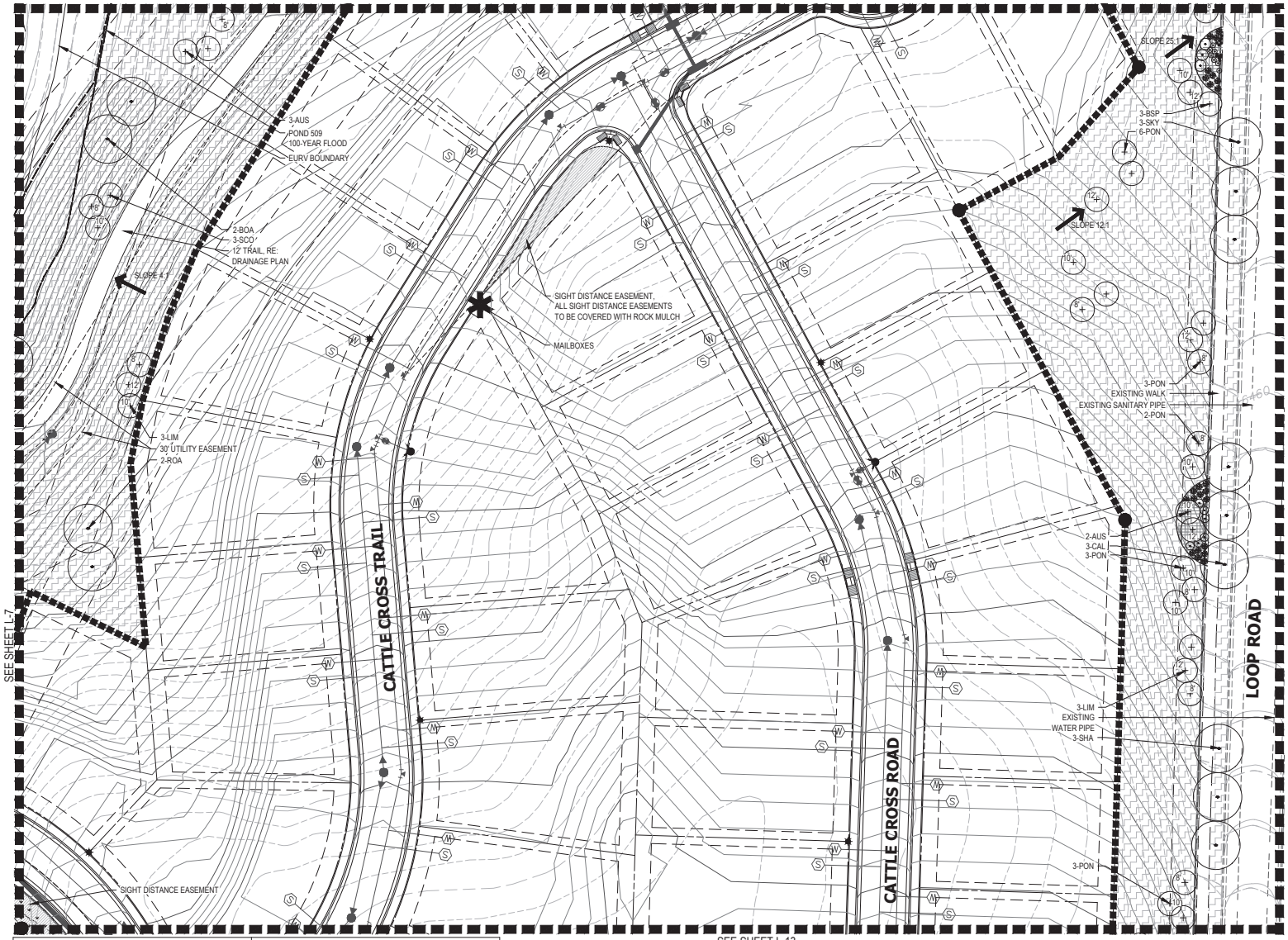
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

COUNTY OF DOUGLAS, STATE OF COLORADO

SEE SHEET L-3

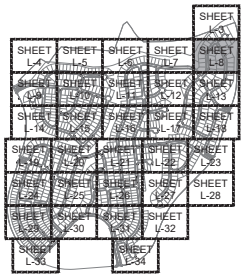


SEE SHEET L-7

SEE SHEET L-13

APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
15	60	0	13	34	0

KEY MAP



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- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

0 15 30 60
SCALE 1"=30'

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F 303.892.1186

PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I, LEON R. SHINEY, ECA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

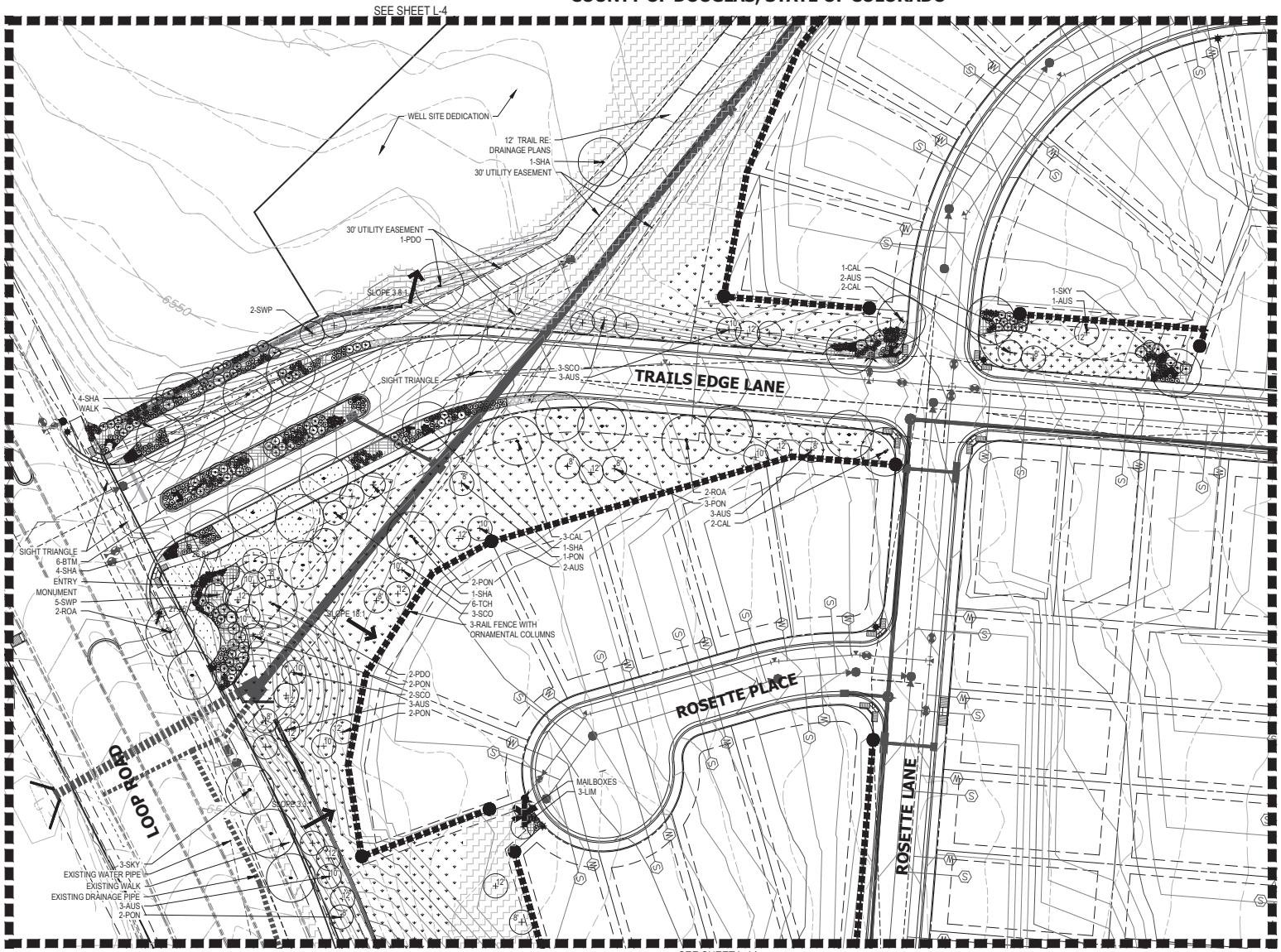
SHEET TITLE:
LANDSCAPE PLAN

L-8

CHECKED BY: JB
DRAWN BY: DD, EN

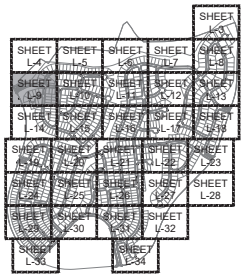
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
32	63	12	30	47	12

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- HIGH HYDROZONE IRRIGATED THERMAL BLUE TEXAS HYBRID SOD
- MODERATE HYDROZONE IRRIGATED NATURE'S PRAIRIE SOD
- LOW HYDROZONE IRRIGATED FESCUE TURF SEED MIX
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

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PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I, JOHN M. SERREY, RLA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

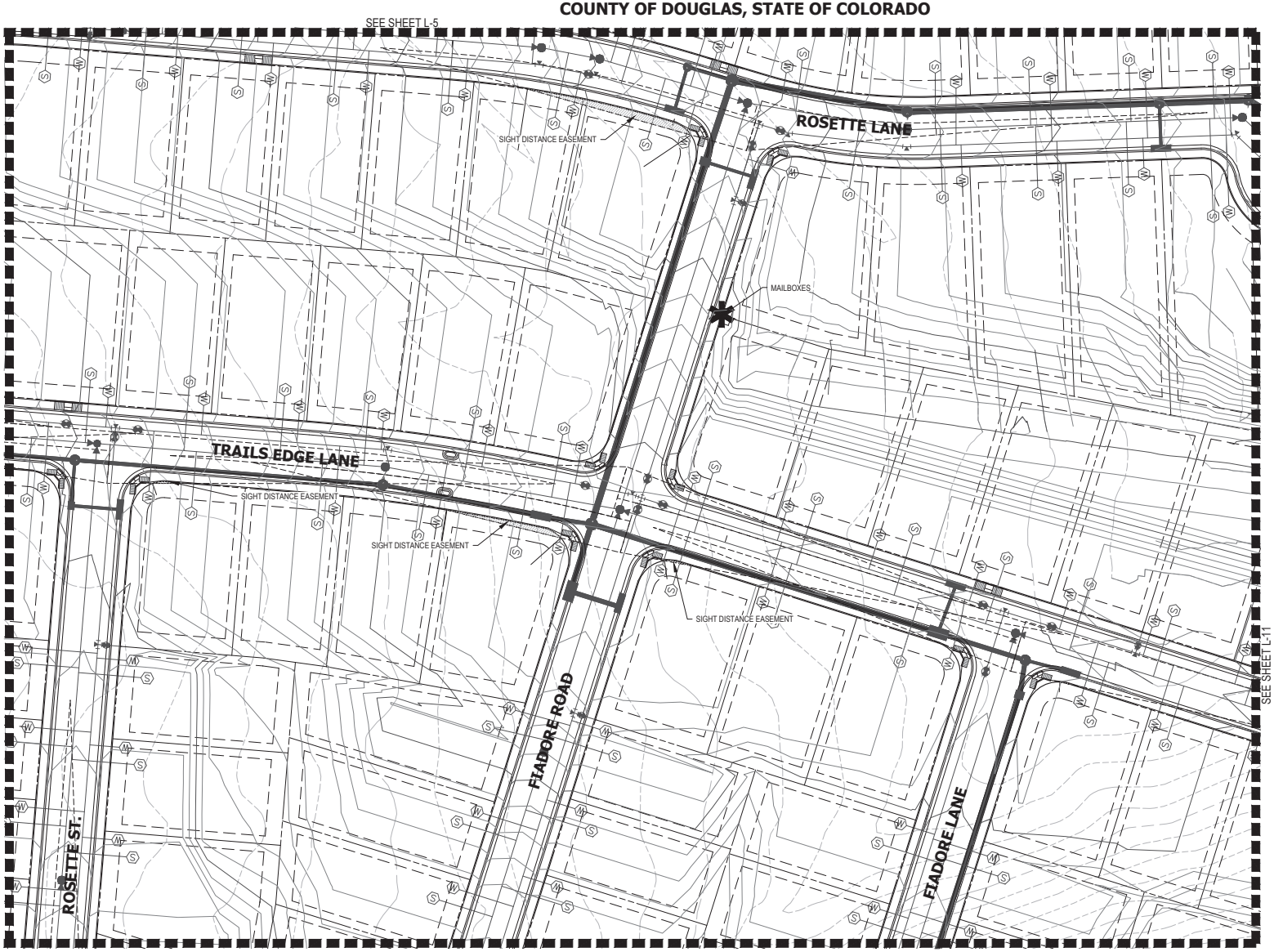
SHEET TITLE:
LANDSCAPE PLAN

L-9

CHECKED BY: JB
DRAWN BY: DD, EN

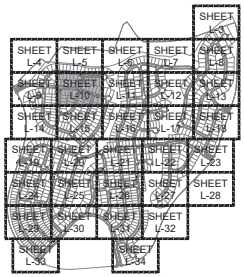
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
0	0	0	0	0	0

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- HIGH HYDROZONE IRRIGATED THERMAL BLUE TEXAS HYBRID SOD
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- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

0 15 30 60
SCALE 1"=30'

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CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I, LEVIN M. SENKEL, ULA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

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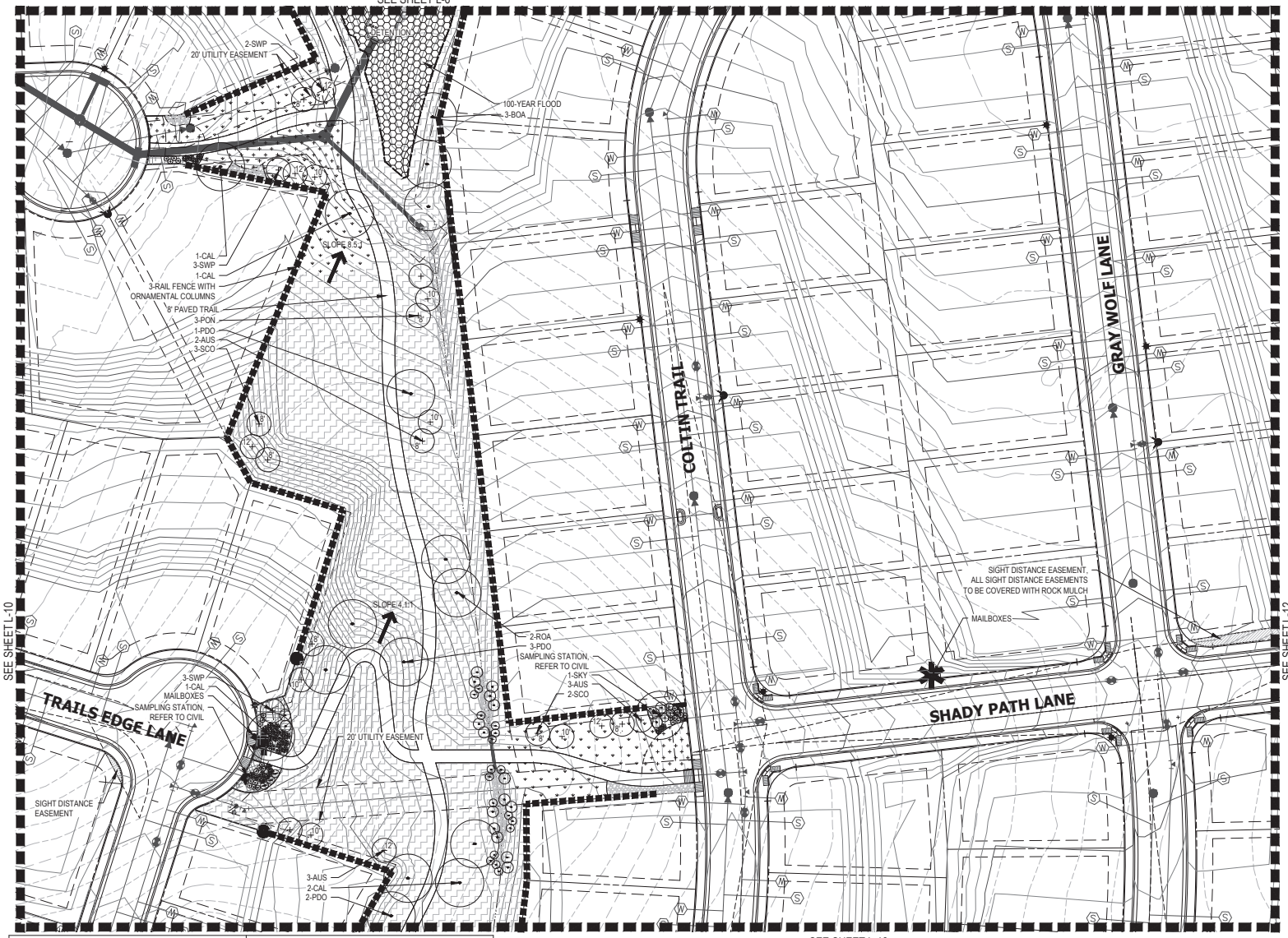
SHEET TITLE:
LANDSCAPE PLAN

L-10

CHECKED BY: JB
DRAWN BY: DD, EN

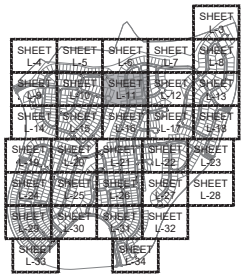
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
21	31	0	17	24	0

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
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- FIRE HYDRANT
- SAMPLING STATION, RE: CIVIL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

0 15 30 60

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LANDSCAPE CERTIFICATION:
I, JOHN R. SIDNEY, RLA, AM AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. COLORADO LICENSE NUMBER IS 655

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

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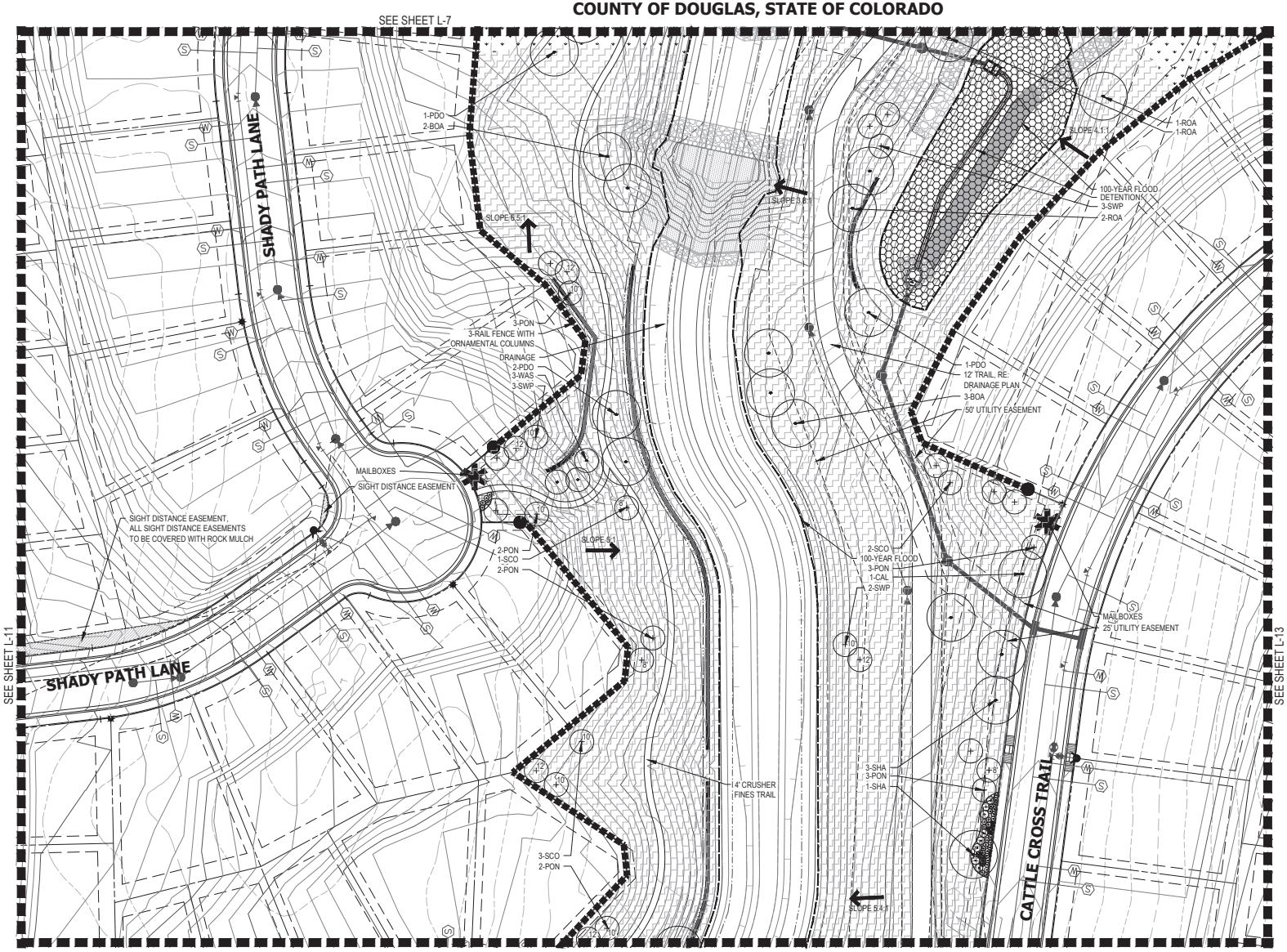
SHEET TITLE:
LANDSCAPE PLAN

L-11

CHECKED BY: JB
DRAWN BY: DD, EN

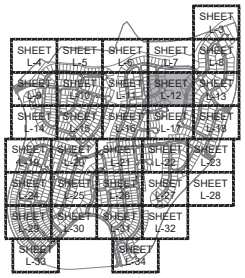
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
24	40	3	18	28	3

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
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- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVIL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

0 15 30 60
SCALE 1"=30'

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Denver, Colorado 80204
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PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I, JOHN M. SIDNEY, RLA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

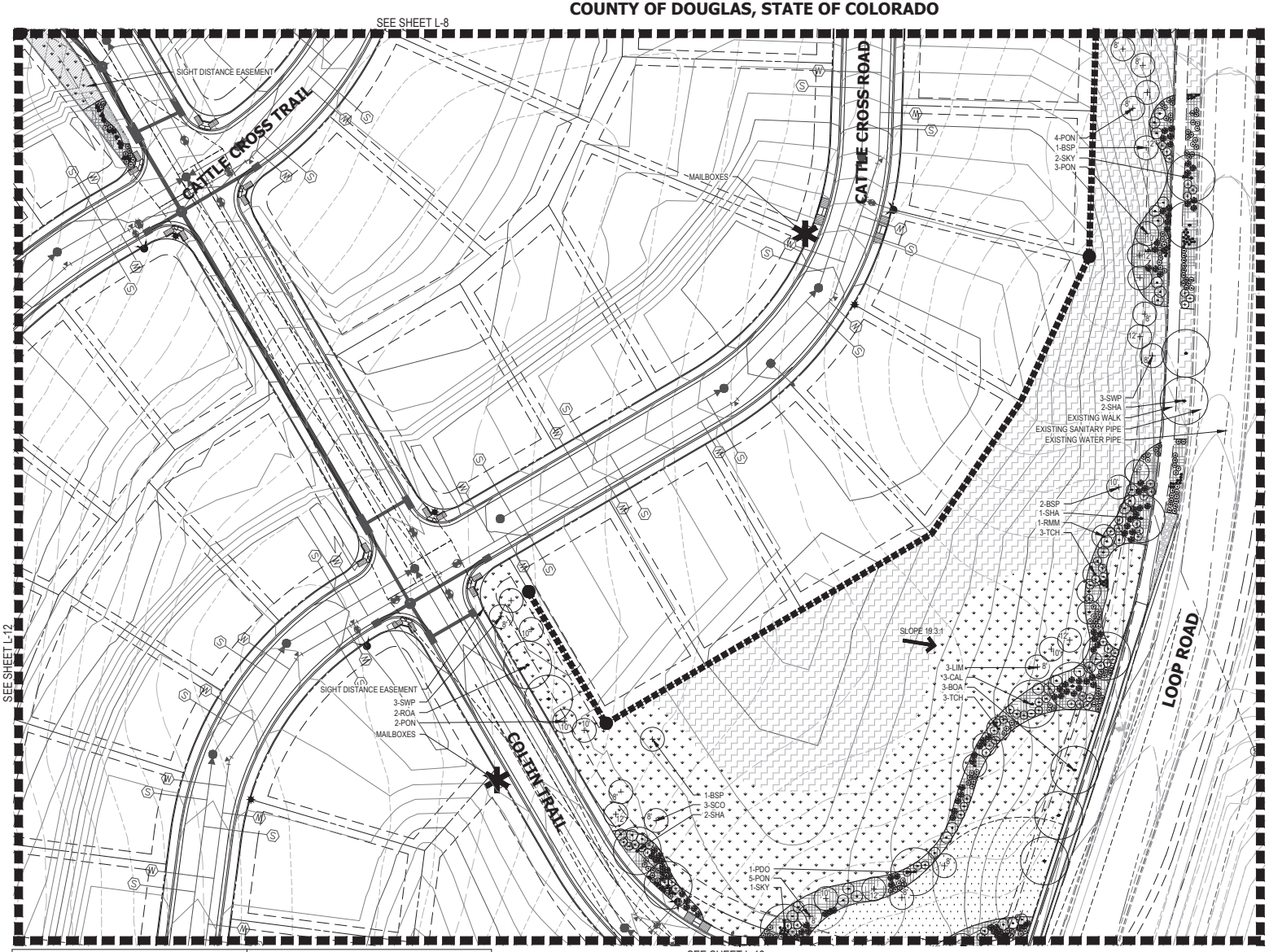
SHEET TITLE:
LANDSCAPE PLAN

L-12

CHECKED BY: JB
DRAWN BY: DD, EN

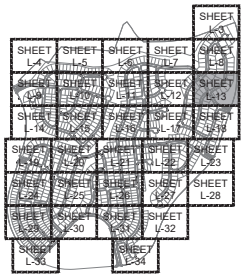
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
24	55	10	17	30	7

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
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- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

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PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I, JOHN M. SIDNEY, RLA, AM AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. COLORADO LICENSE NUMBER IS 655

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

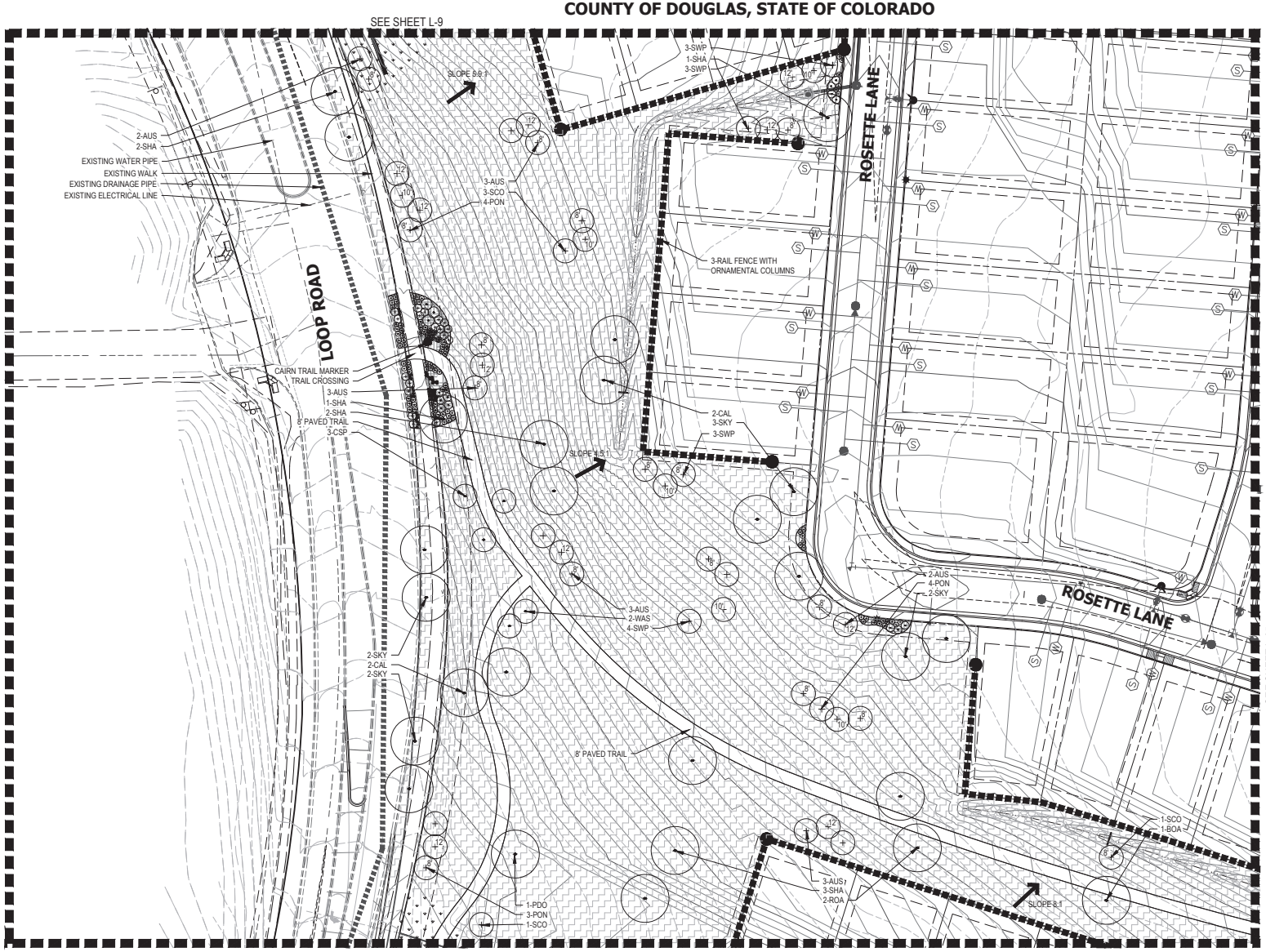
SHEET TITLE:
LANDSCAPE PLAN

L-13

CHECKED BY: JB
DRAWN BY: DD, EN

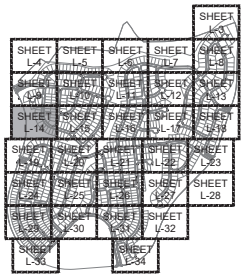
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
43	103	12	26	45	5

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
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- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

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F 303.892.1186

PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I JOHN R. SERKEY, ULA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

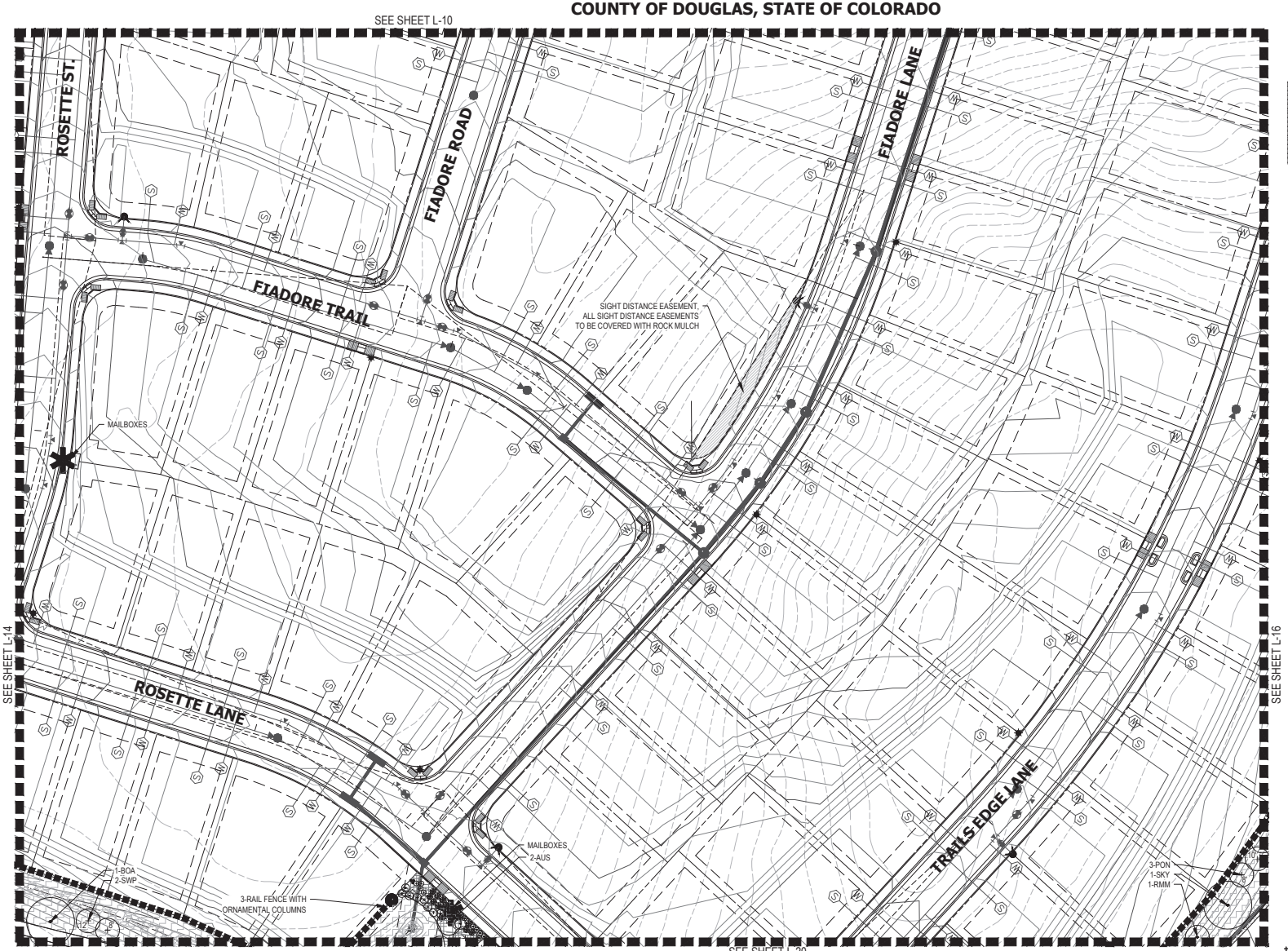
SHEET TITLE:
LANDSCAPE PLAN

L-14

CHECKED BY: JB
DRAWN BY: DD, EN

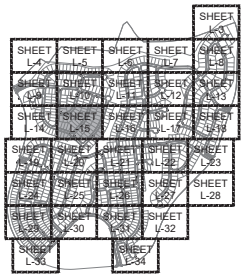
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
1	6	1	2	7	1

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
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- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

0 15 30 60
SCALE 1"=30'

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PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I, JOHN M. SIDNEY, RLA, AM AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

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SHEET TITLE:
LANDSCAPE PLAN

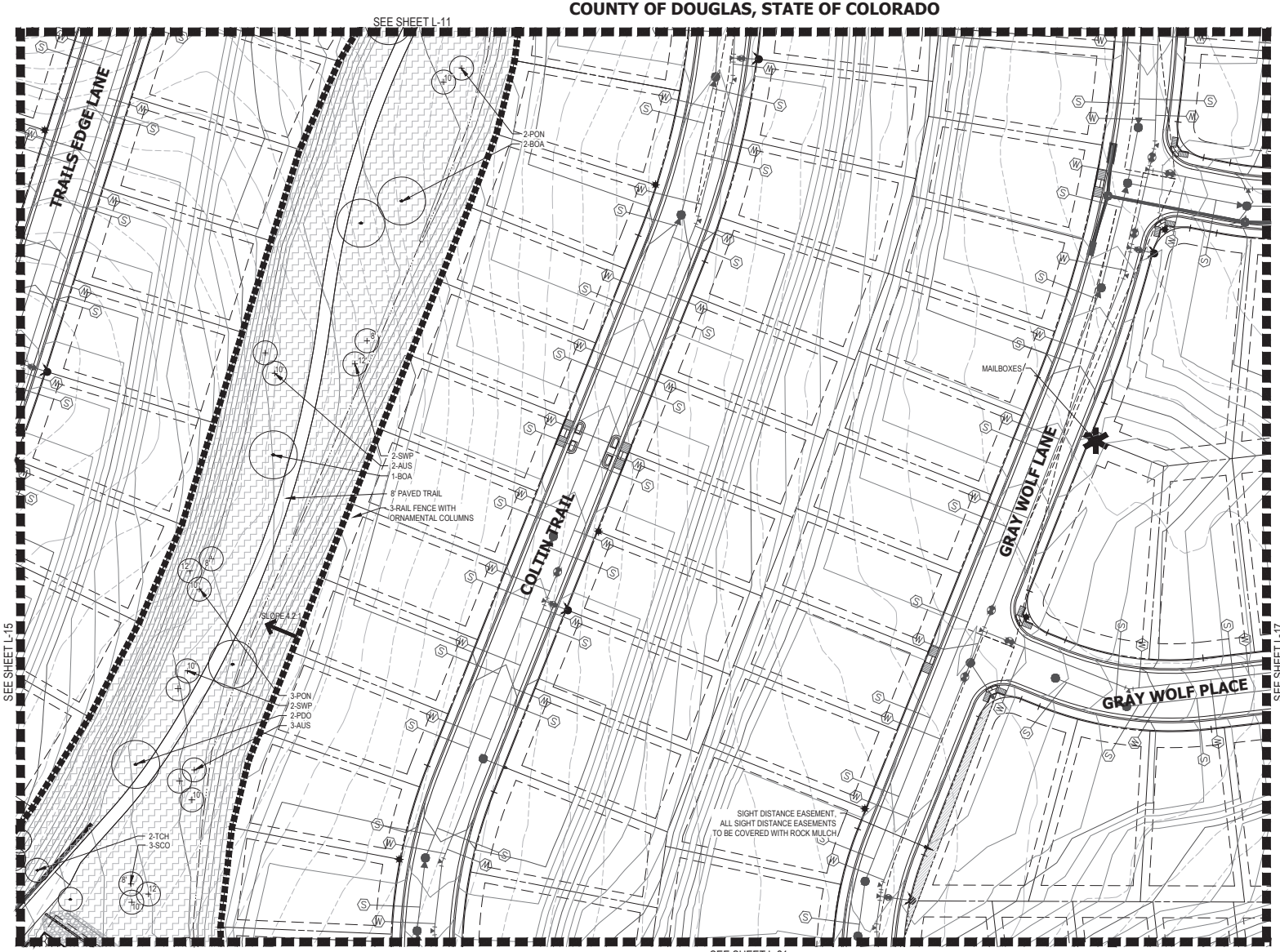
L-15

SHEET 16 OF 43

CHECKED BY: JB
DRAWN BY: DD, EN

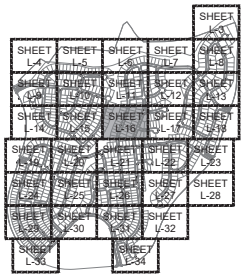
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
7	35	2	5	17	2

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- HIGH HYDROZONE IRRIGATED THERMAL BLUE TEXAS HYBRID SOD
- MODERATE HYDROZONE IRRIGATED NATURE'S PRAIRIE SOD
- LOW HYDROZONE IRRIGATED FESCUE TURF SEED MIX
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

0 15 30 60
SCALE 1"=30'

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F 303.892.1186

PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I JOHN R. SIDNEY, RLA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

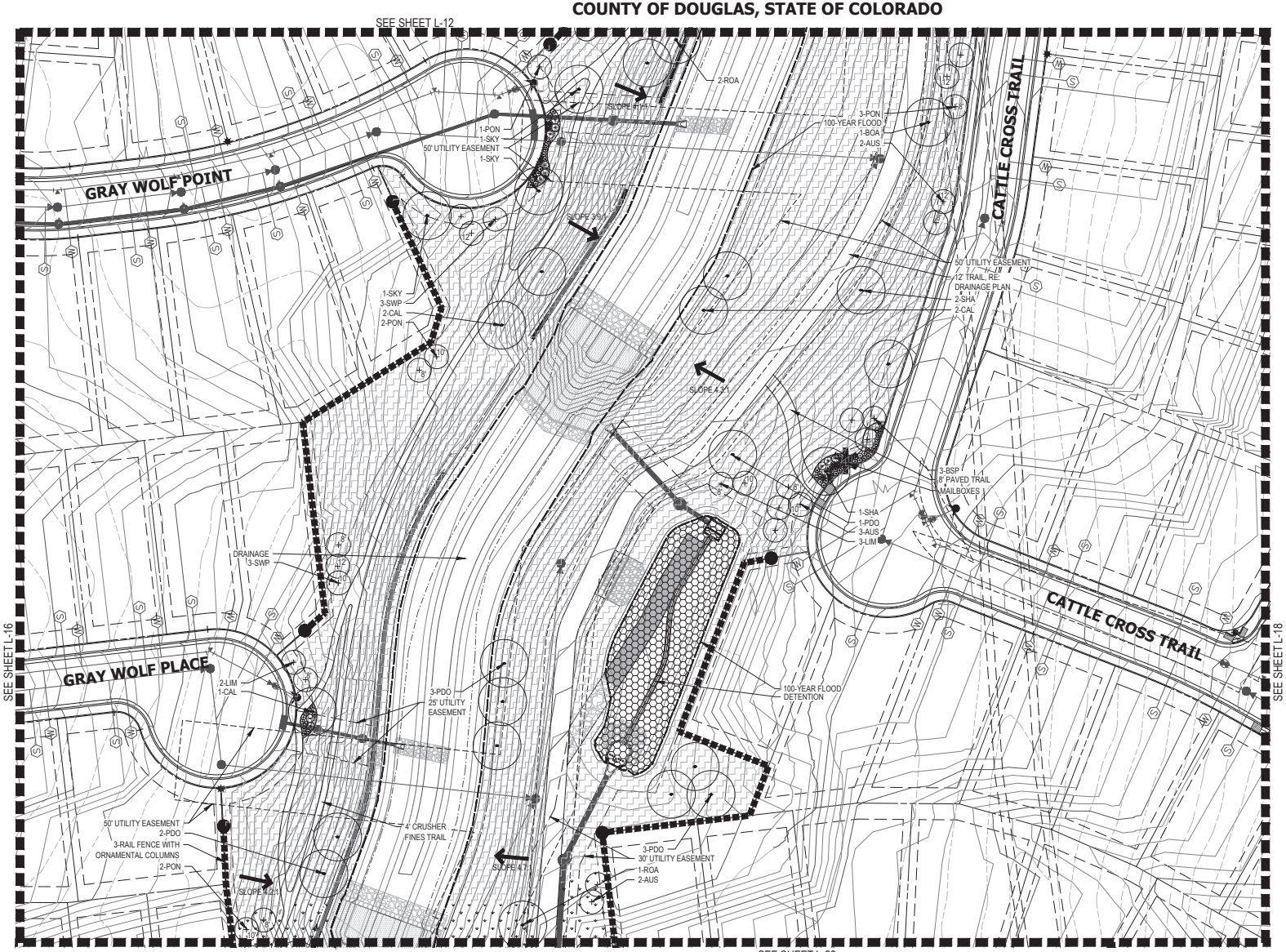
SHEET TITLE:
LANDSCAPE PLAN

L-16

CHECKED BY: JB
DRAWN BY: DD, EN

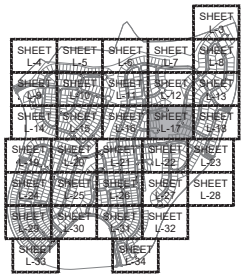
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
33	39	0	24	29	0

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- HIGH HYDROZONE IRRIGATED THERMAL BLUE TEXAS HYBRID SOD
- MODERATE HYDROZONE IRRIGATED NATURE'S PRAIRIE SOD
- LOW HYDROZONE IRRIGATED FESCUE TURF SEED MIX
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

0 15 30 60
SCALE 1"=30'

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PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I, JOHN M. SIDNEY, RLA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

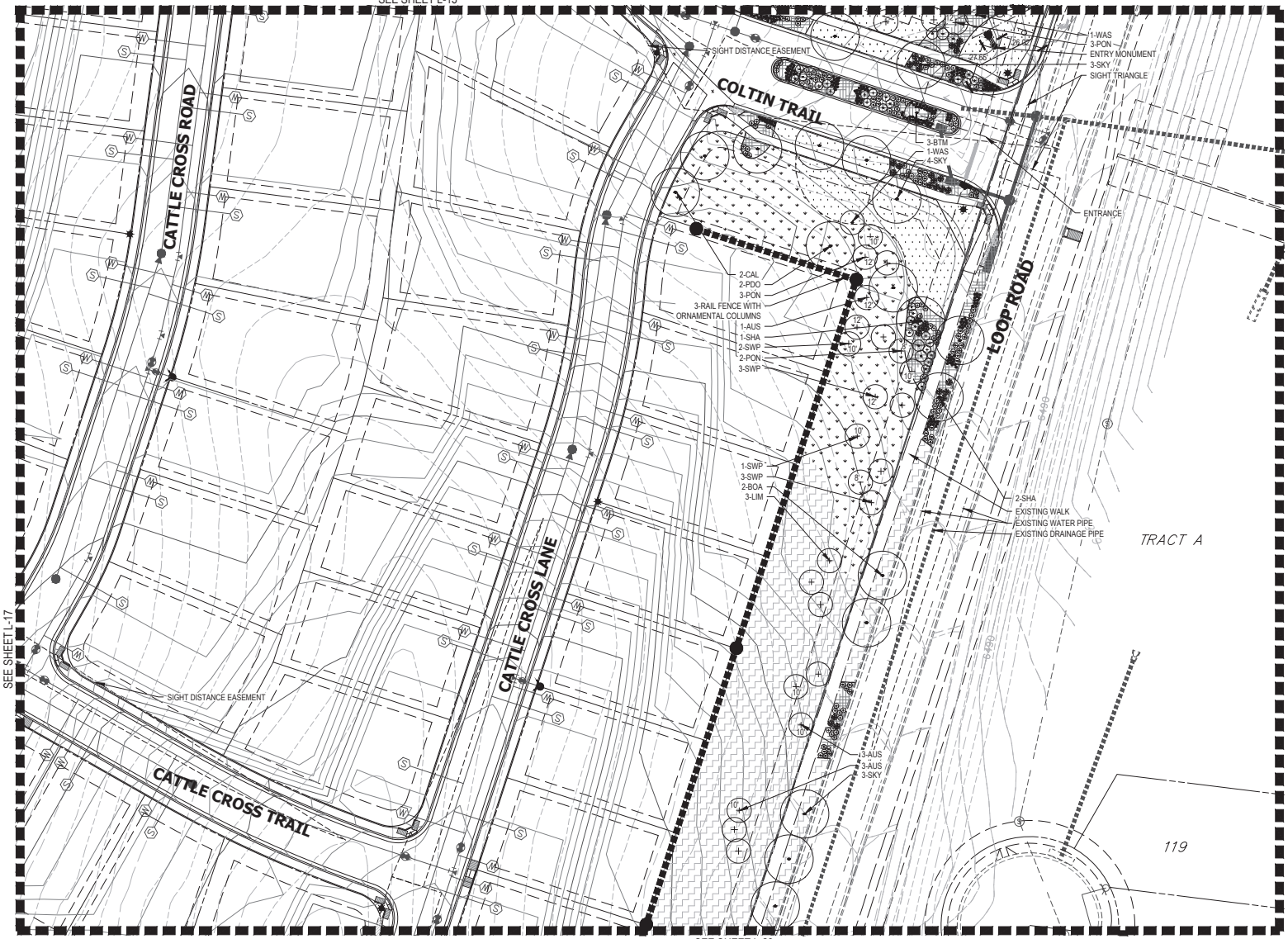
SHEET TITLE:
LANDSCAPE PLAN

L-17

CHECKED BY: JB
DRAWN BY: DD, EN

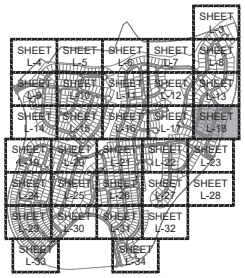
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
22	33	9	18	27	5

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- HIGH HYDROZONE IRRIGATED THERMAL BLUE TEXAS HYBRID SOD
- MODERATE HYDROZONE IRRIGATED NATURE'S PRAIRIE SOD
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- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

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PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I, JOHN M. SIDNEY, RLA, AM CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

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SHEET TITLE:
LANDSCAPE PLAN

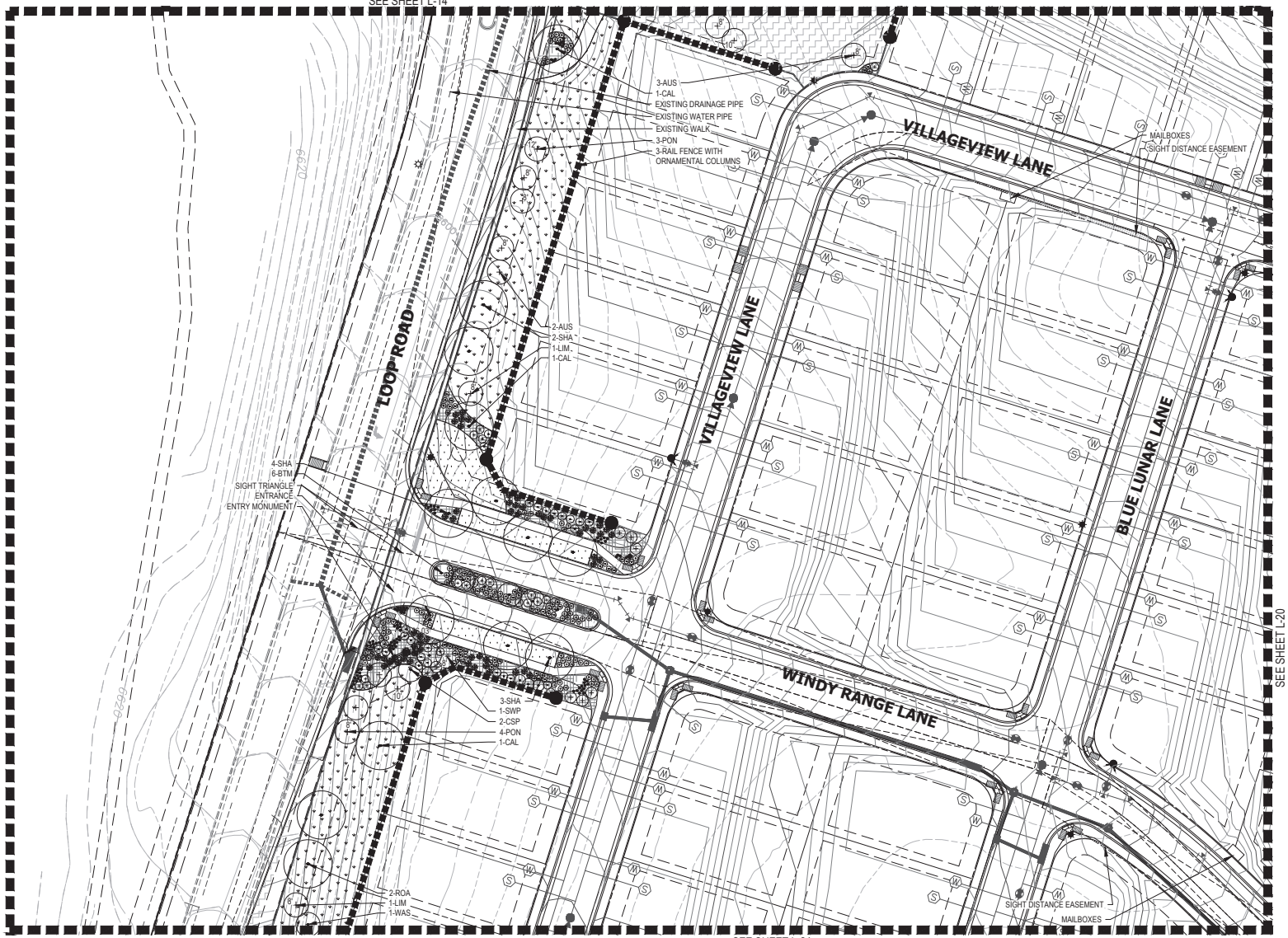
L-18

CHECKED BY: JB
DRAWN BY: DD, EN

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO

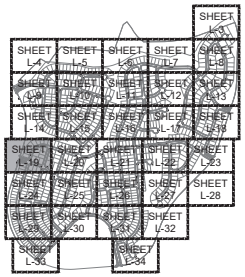
SEE SHEET L-14



SEE SHEET L-20

SEE SHEET L-24

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
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- STREET LIGHT
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- ORNAMENTAL COLUMN / POST & FENCE
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- RETAINING WALL

APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
17	26	13	14	15	9

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

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PREPARED FOR:
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LANDSCAPE CERTIFICATION:
I, JOHN R. SIDNEY, ASLA, AICP, AM CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

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SHEET TITLE:
LANDSCAPE PLAN

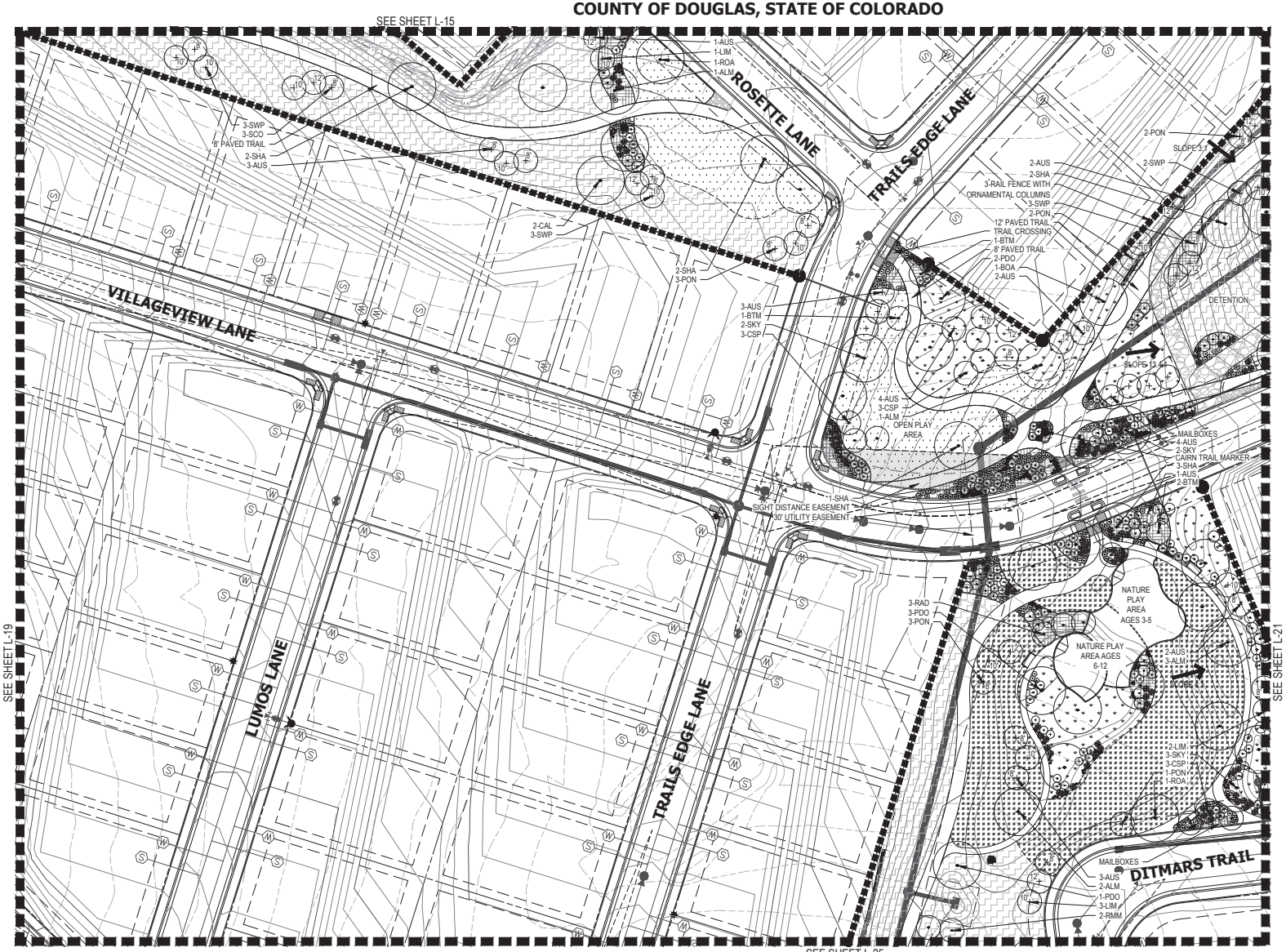
L-19

CHECKED BY: JB
DRAWN BY: DD, EN

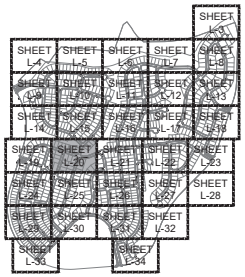
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- HIGH HYDROZONE IRRIGATED THERMAL BLUE TEXAS HYBRID SOD
- MODERATE HYDROZONE IRRIGATED NATURE'S PRAIRIE SOD
- LOW HYDROZONE IRRIGATED FESCUE TURF SEED MIX
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- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
31	56	34	35	56	17

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

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PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I, JOHN M. SHREE, RLA, AILA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE PLAN

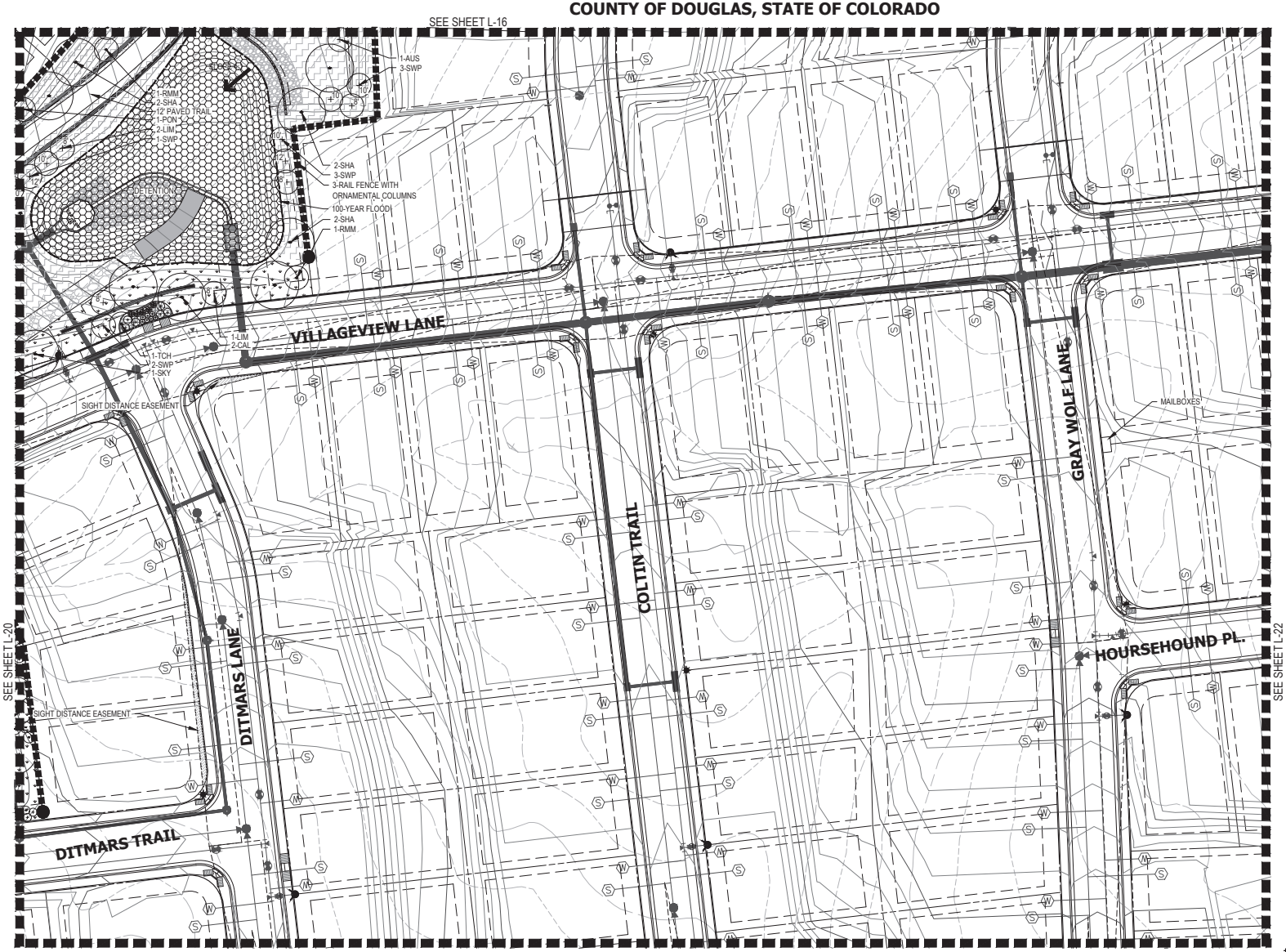
L-20

CHECKED BY: JB
DRAWN BY: DD, EN

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

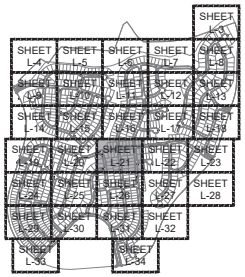
A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
11	11	8	9	14	3

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
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- HIGH HYDROZONE IRRIGATED THERMAL BLUE TEXAS HYBRID SOD
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- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

0 15 30 60

SCALE 1"=30'

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Denver, Colorado 80204
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PREPARED FOR:

CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:

I, JOHN M. SERVEY, RLA, AM CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE PLAN

L-21

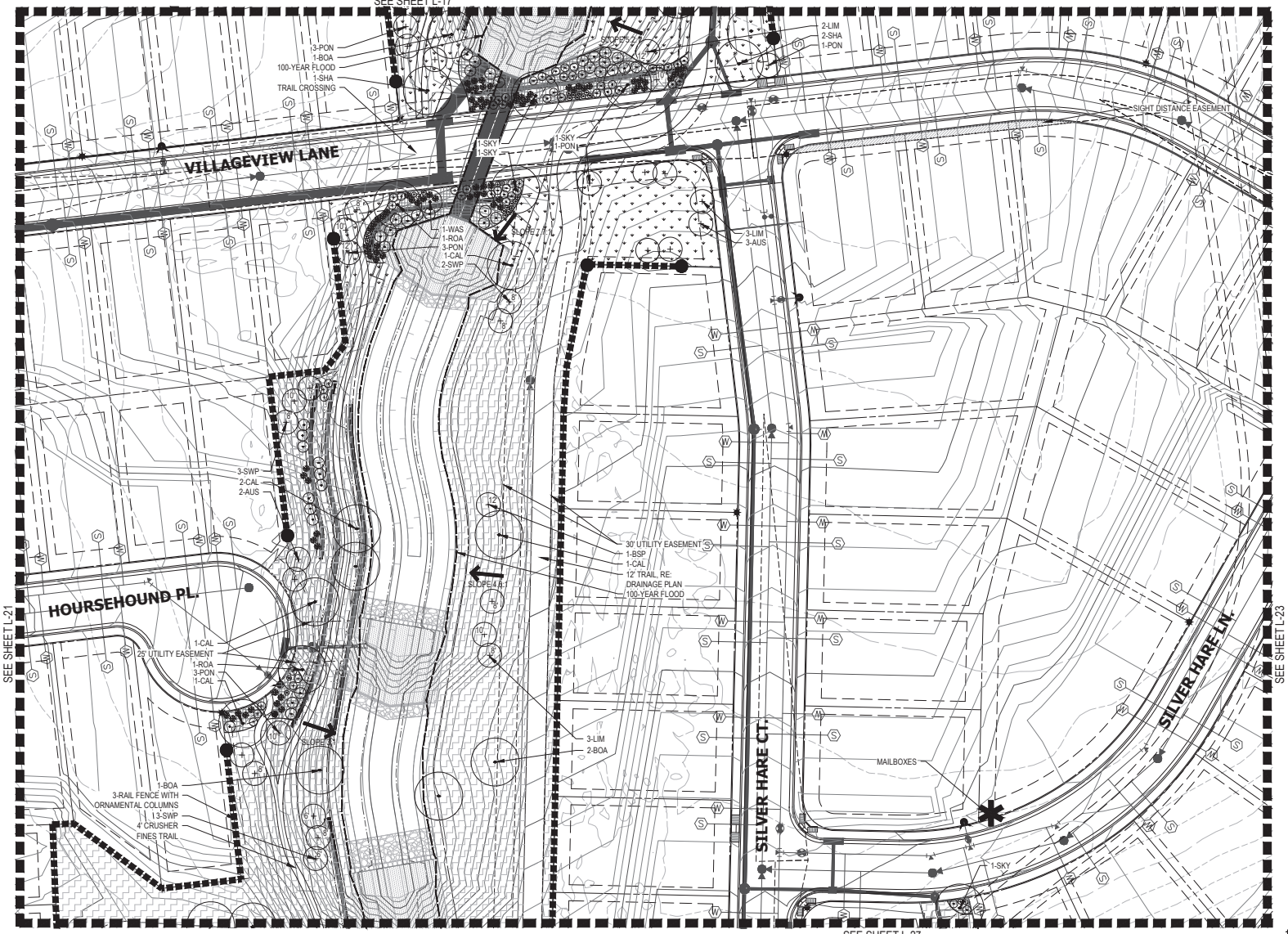
SHEET 22 OF 43

CHECKED BY: JB
DRAWN BY: DD, EN

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

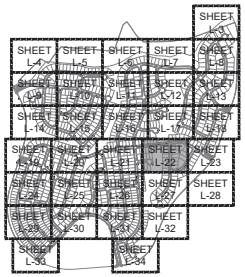
A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
16	31	2	19	33	1

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
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- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

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PREPARED FOR:

CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:

I, LEON R. SHINEY, RLA, ASLA HAS CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE PLAN

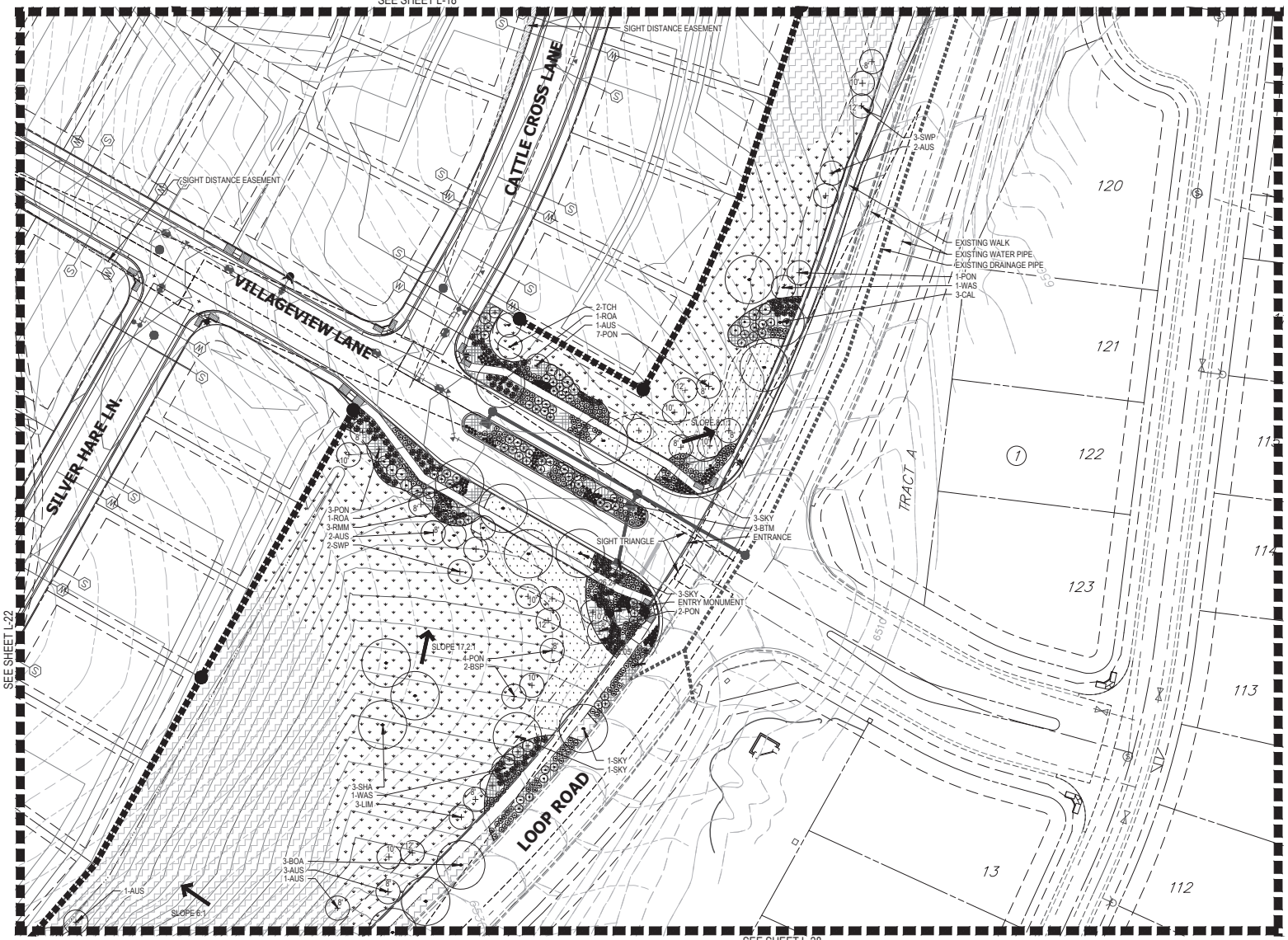
L-22

CHECKED BY: JB
DRAWN BY: DD, EN

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO

SEE SHEET L-18

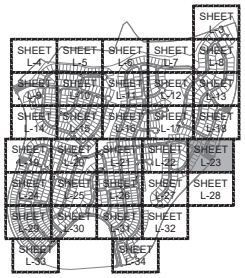


SEE SHEET L-22

SEE SHEET L-28

APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
24	52	12	17	37	10

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
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CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

Know what's below. Call before you dig.

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PREPARED FOR:
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LANDSCAPE CERTIFICATION:
I, LEON R. SENEY, OLA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655

DATE:
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3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

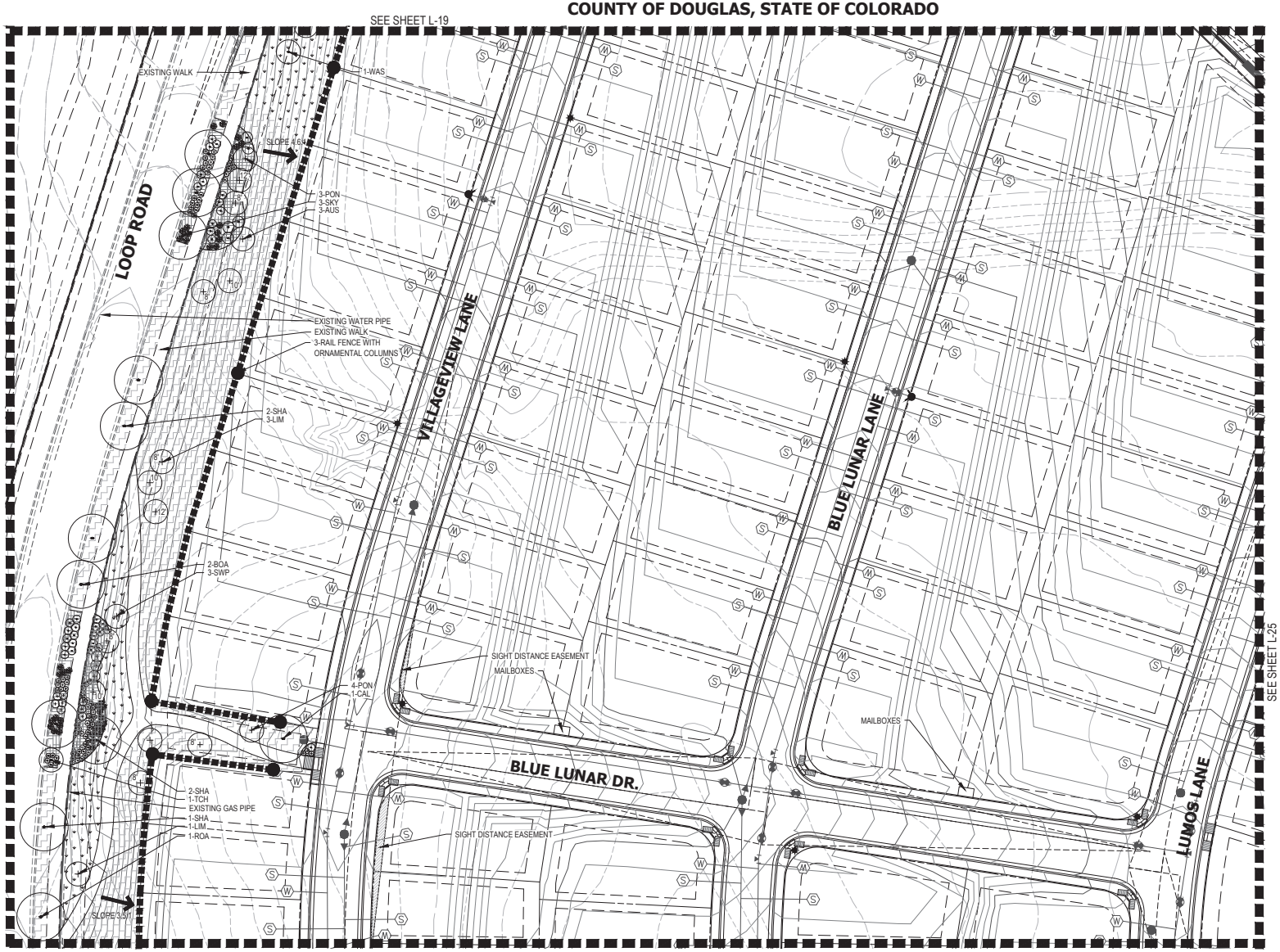
SHEET TITLE:
LANDSCAPE PLAN

L-23

CHECKED BY: JB
DRAWN BY: DD, EN

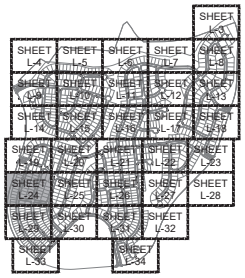
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
14	30	4	12	17	2

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- HIGH HYDROZONE IRRIGATED THERMAL BLUE TEXAS HYBRID SOD
- MODERATE HYDROZONE IRRIGATED NATURE'S PRAIRIE SOD
- LOW HYDROZONE IRRIGATED FESCUE TURF SEED MIX
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVIL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

0 15 30 60

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PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I, JOHN R. SERKEY, RLA, AM AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE PLAN

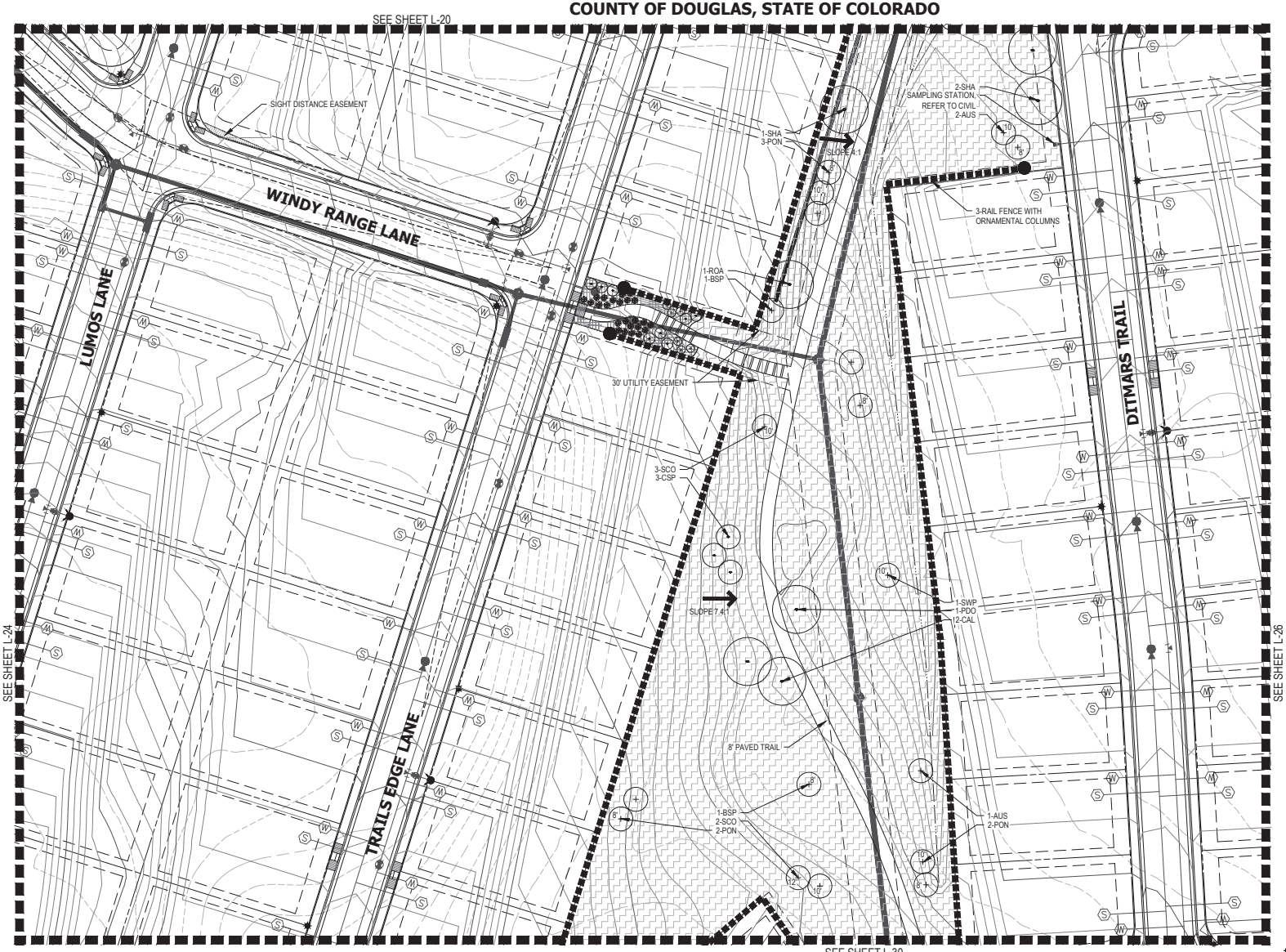
L-24

CHECKED BY: JB
DRAWN BY: DD, EN

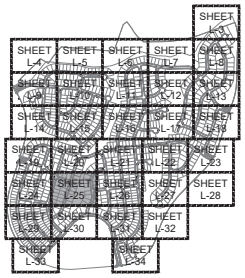
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
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- HIGH HYDROZONE IRRIGATED THERMAL BLUE TEXAS HYBRID SOD
- MODERATE HYDROZONE IRRIGATED NATURE'S PRAIRIE SOD
- LOW HYDROZONE IRRIGATED FESCUE TURF SEED MIX
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
10	36	4	7	18	3

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

0 15 30 60

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PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I JOHN M. SERVEY, RLA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

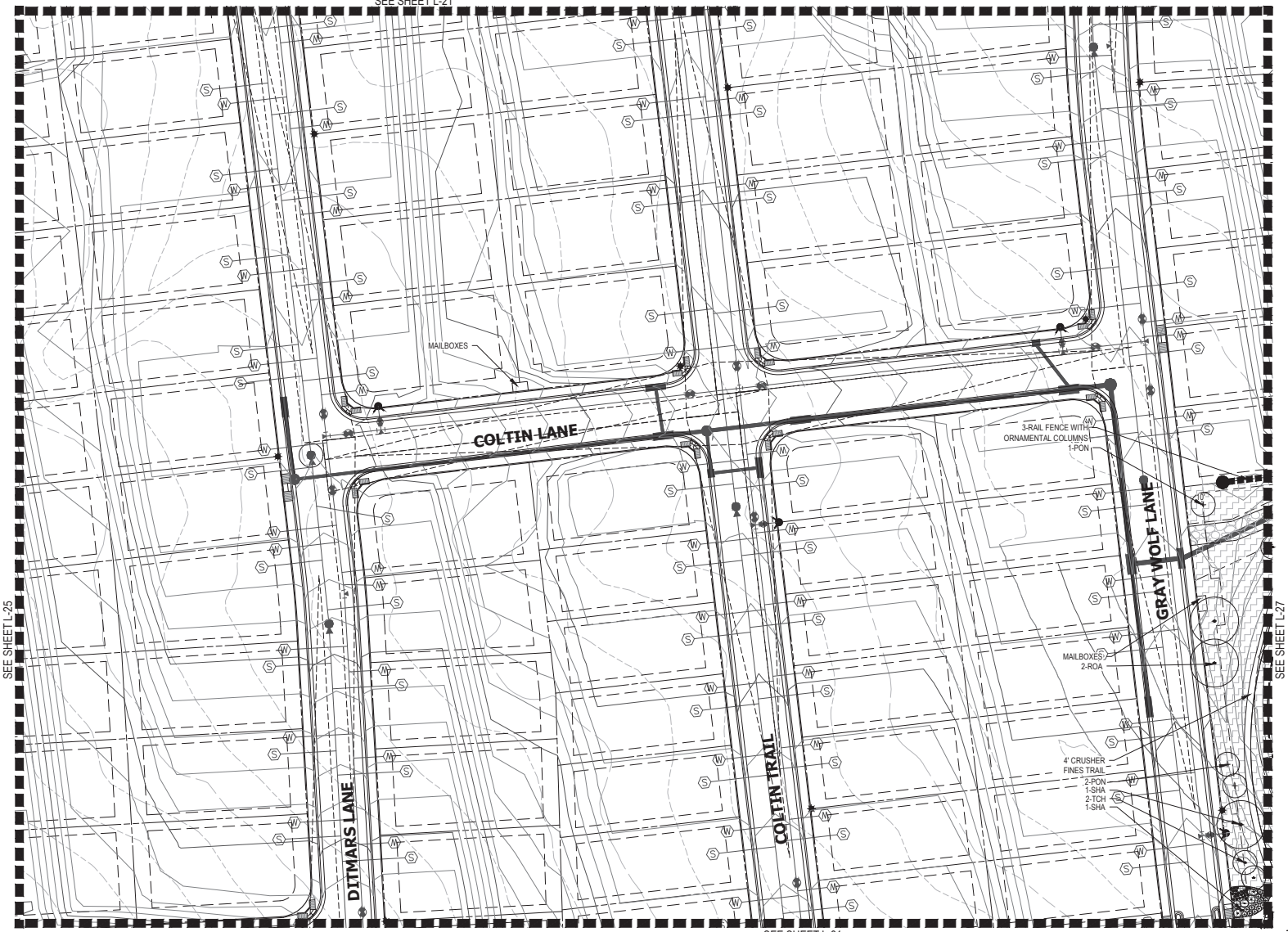
SHEET TITLE:
LANDSCAPE PLAN

L-25

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO

SEE SHEET L-21

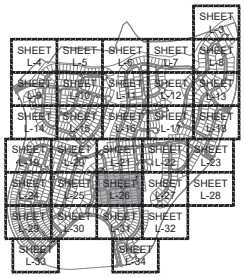


SEE SHEET L-25

SEE SHEET L-27

SEE SHEET L-31

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
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- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
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- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
6	3	5	4	3	2

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

0 15 30 60

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LANDSCAPE CERTIFICATION:
I, LEON R. SENEY, RLA, AM CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

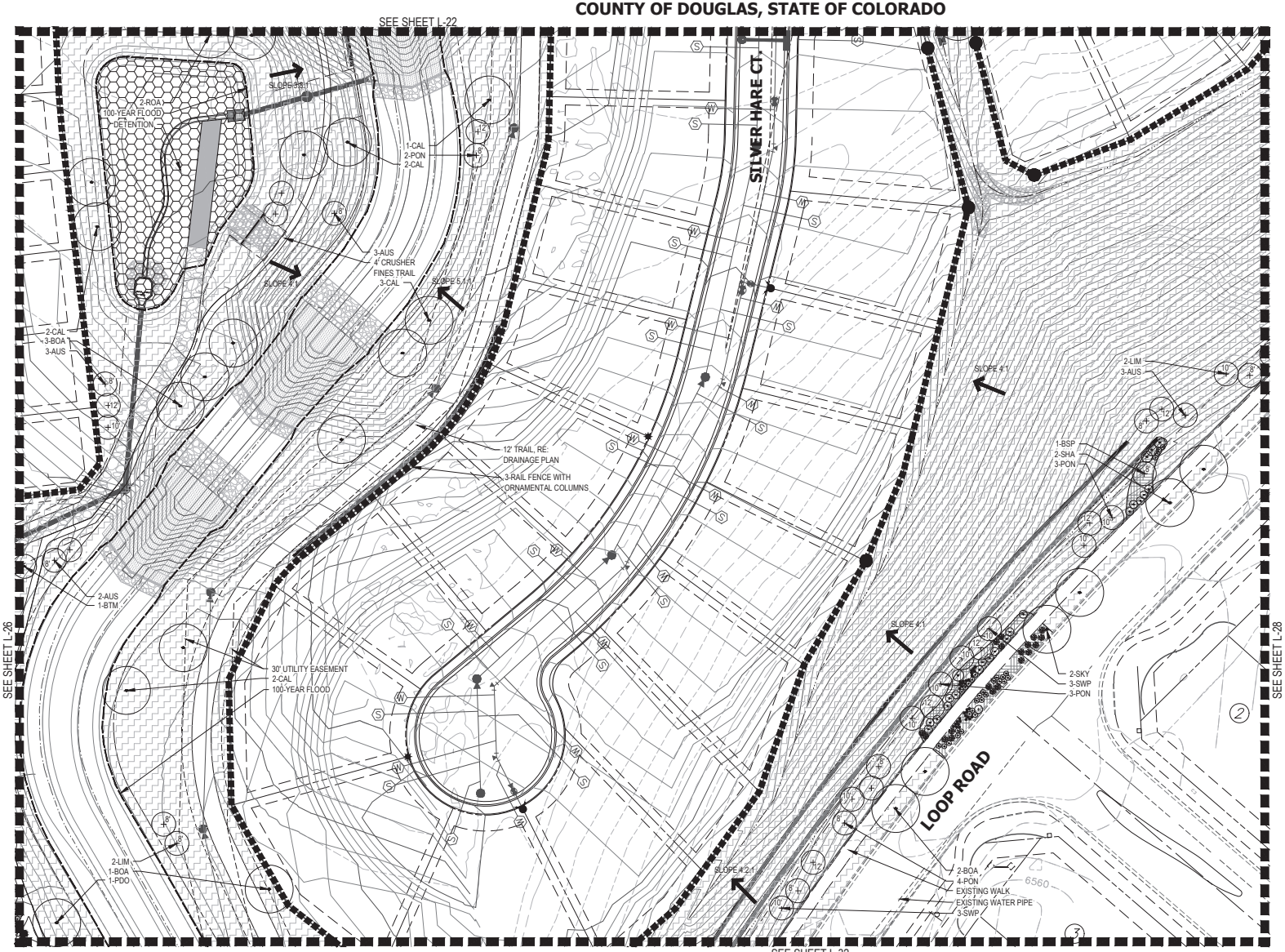
SHEET TITLE:
LANDSCAPE PLAN

L-26

CHECKED BY: JB
DRAWN BY: DD, EN

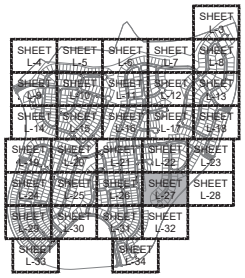
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
27	51	0	23	34	0

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
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- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

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LANDSCAPE CERTIFICATION:
I, JOHN R. SIDNEY, RLA, AM AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. COLORADO LICENSE NUMBER IS 655

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

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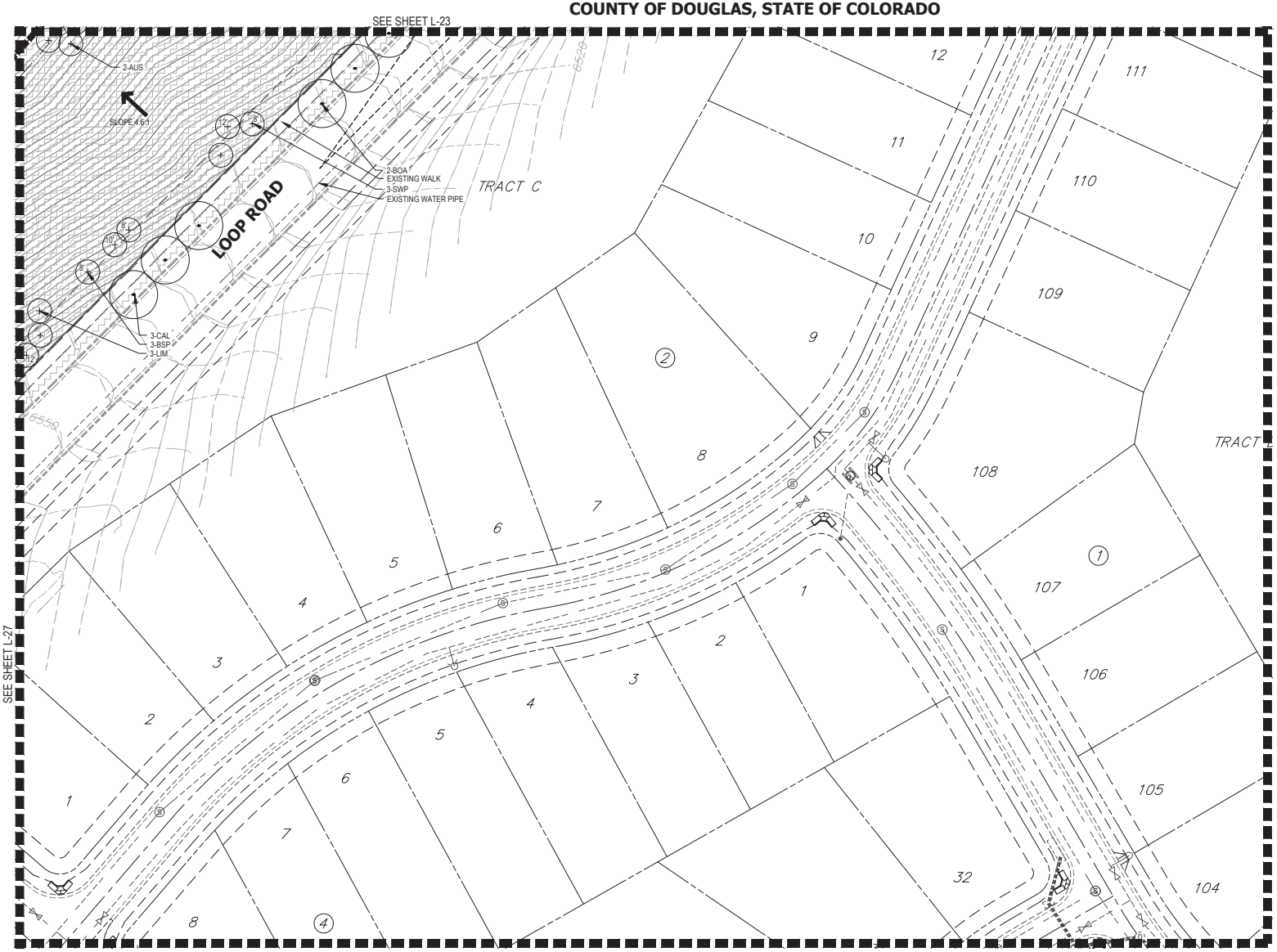
SHEET TITLE:
LANDSCAPE PLAN

L-27

CHECKED BY: JB
DRAWN BY: DD, EN

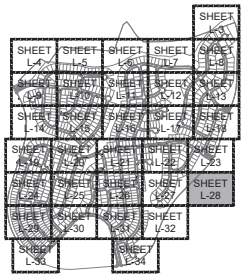
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
6	16	0	5	11	0

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
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- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

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LANDSCAPE CERTIFICATION:
I, LEVIN R. SENEY, RLA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

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SHEET TITLE:
LANDSCAPE PLAN

L-28

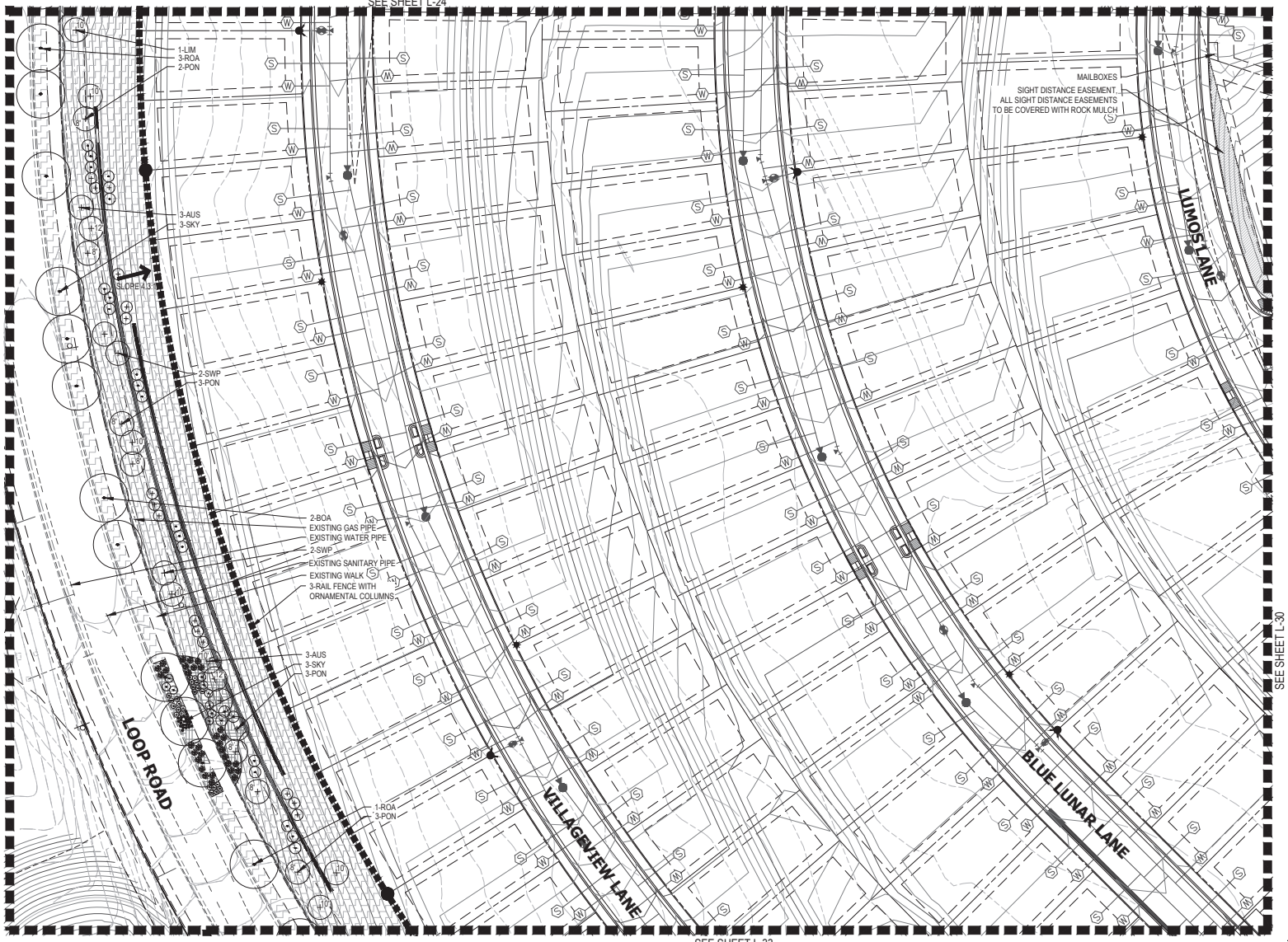
SHEET 29 OF 43

CHECKED BY: JB
DRAWN BY: DD, EN

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO

SEE SHEET L-24

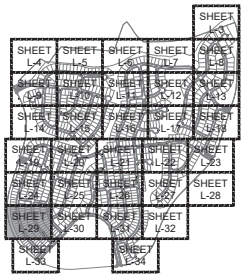


SEE SHEET L-30

SEE SHEET L-33

APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
11	33	0	12	22	0

KEY MAP



LEGEND

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- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

0 15 30 60
SCALE 1"=30'

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LANDSCAPE CERTIFICATION:
I, LEON R. SENECI, RLA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

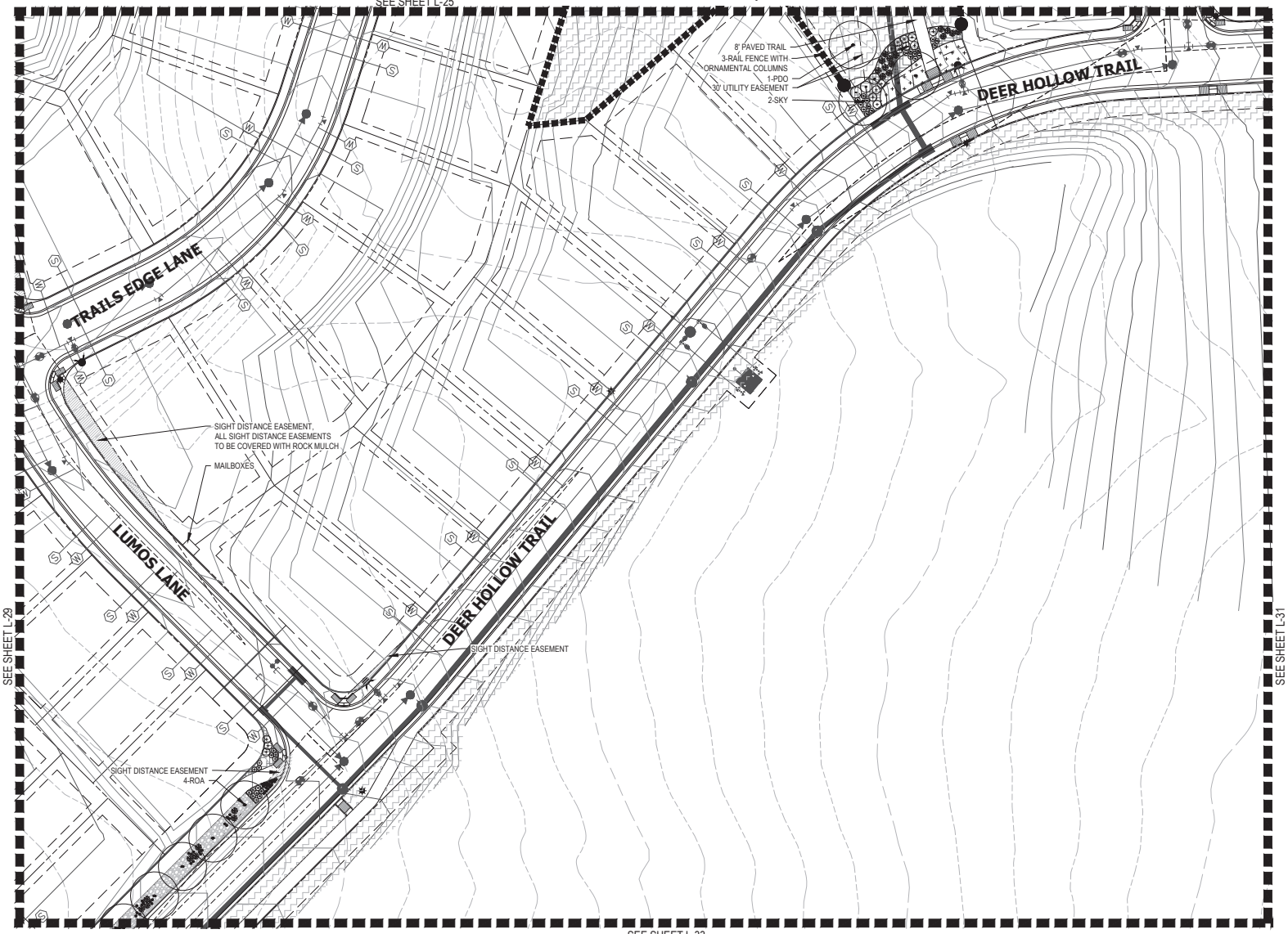
SHEET TITLE:
LANDSCAPE PLAN

L-29

CHECKED BY: JB
DRAWN BY: DD, EN

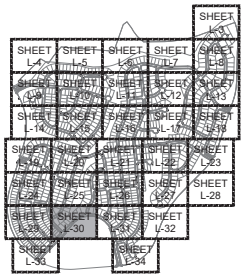
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
7	0	0	7	0	0

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
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CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

0 15 30 60

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LANDSCAPE CERTIFICATION:
I, LEVIN R. SENEY, RLA, AM AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. COLORADO LICENSE NUMBER IS 655

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

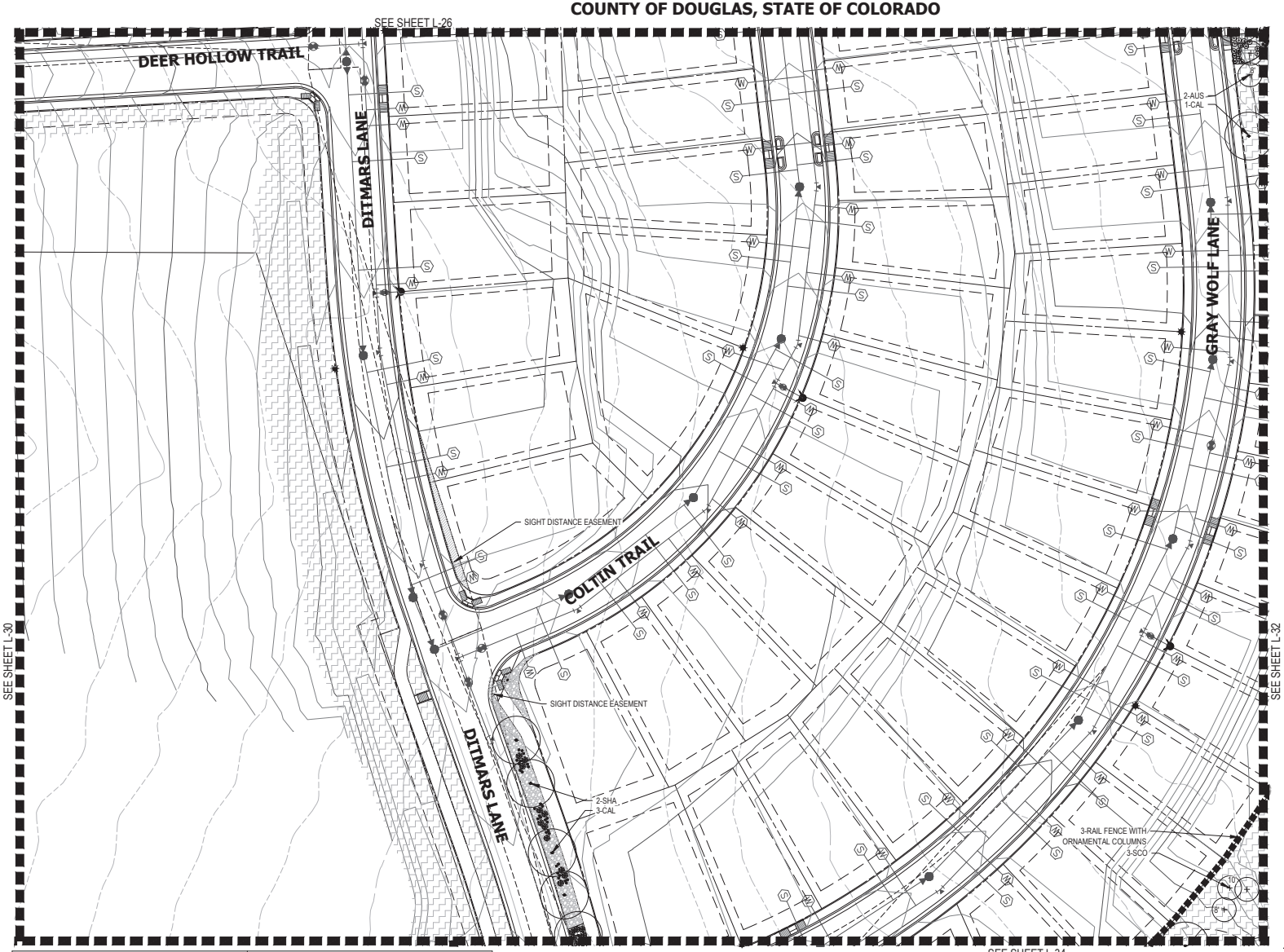
SHEET TITLE:
LANDSCAPE PLAN

L-30

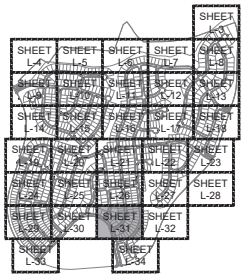
CHECKED BY: JB
DRAWN BY: DD, EN

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP



LEGEND

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- DECIDUOUS ORNAMENTAL TREE
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- RETAINING WALL

APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
6	6	0	6	5	0

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

Know what's below. Call before you dig.

CHECKED BY: JB
DRAWN BY: DD, EN

NORRIS DESIGN
www.norris-design.com
1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I, JOHN M. MOREY, RLA, AM AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

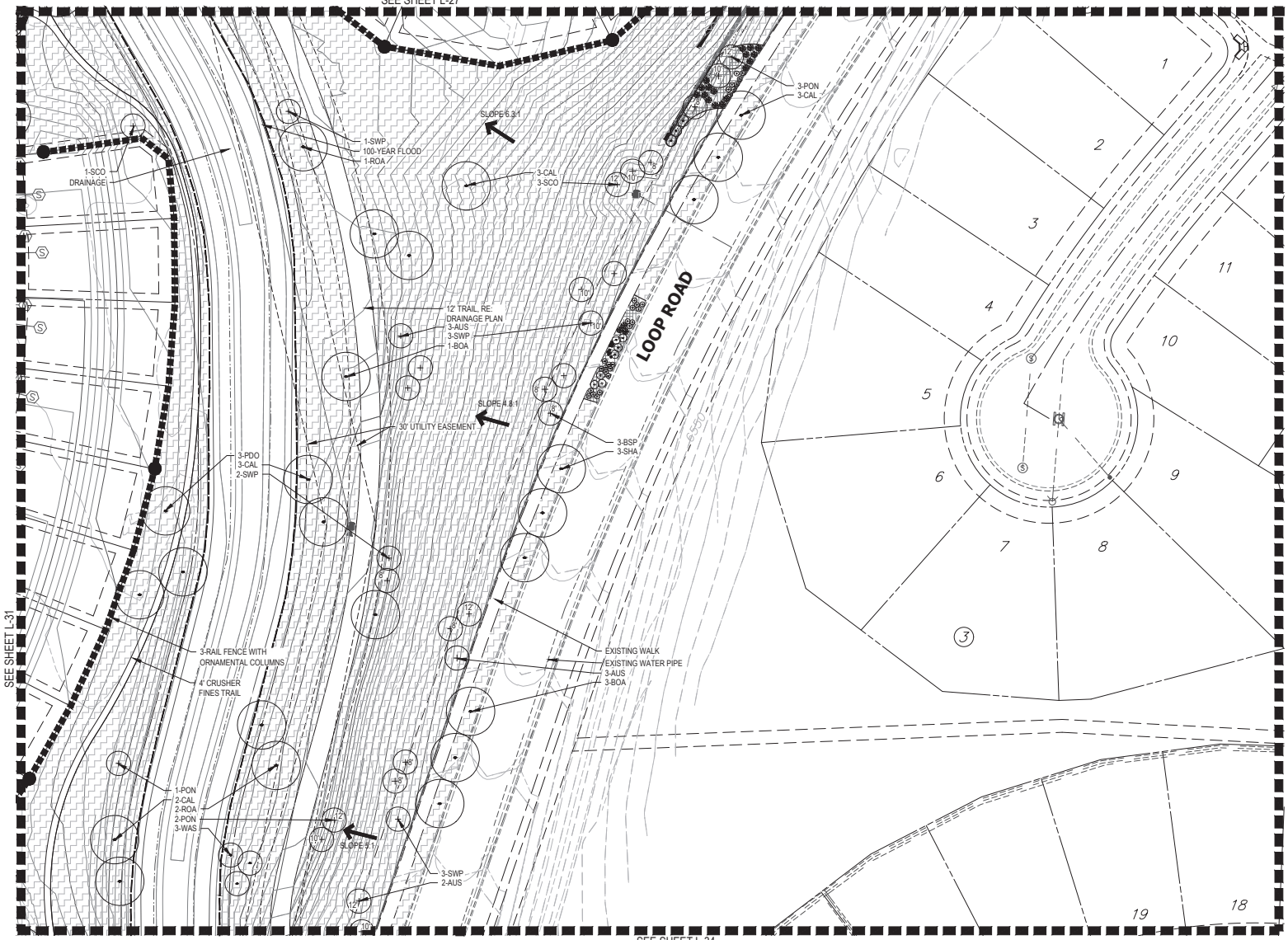
SHEET TITLE:
LANDSCAPE PLAN

L-31

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

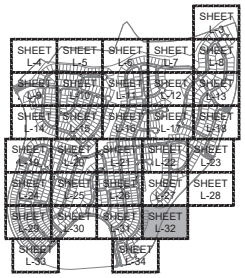
A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

COUNTY OF DOUGLAS, STATE OF COLORADO



APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
32	63	3	24	30	3

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- HIGH HYDROZONE IRRIGATED THERMAL BLUE TEXAS HYBRID SOD
- MODERATE HYDROZONE IRRIGATED NATURE'S PRAIRIE SOD
- LOW HYDROZONE IRRIGATED FESCUE TURF SEED MIX
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVIL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

0 15 30 60

SCALE 1"=30'

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1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

PREPARED FOR:

CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:

I JOHN M. SENEY, ASLA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE PLAN

L-32

CHECKED BY: JB
DRAWN BY: DD, EN

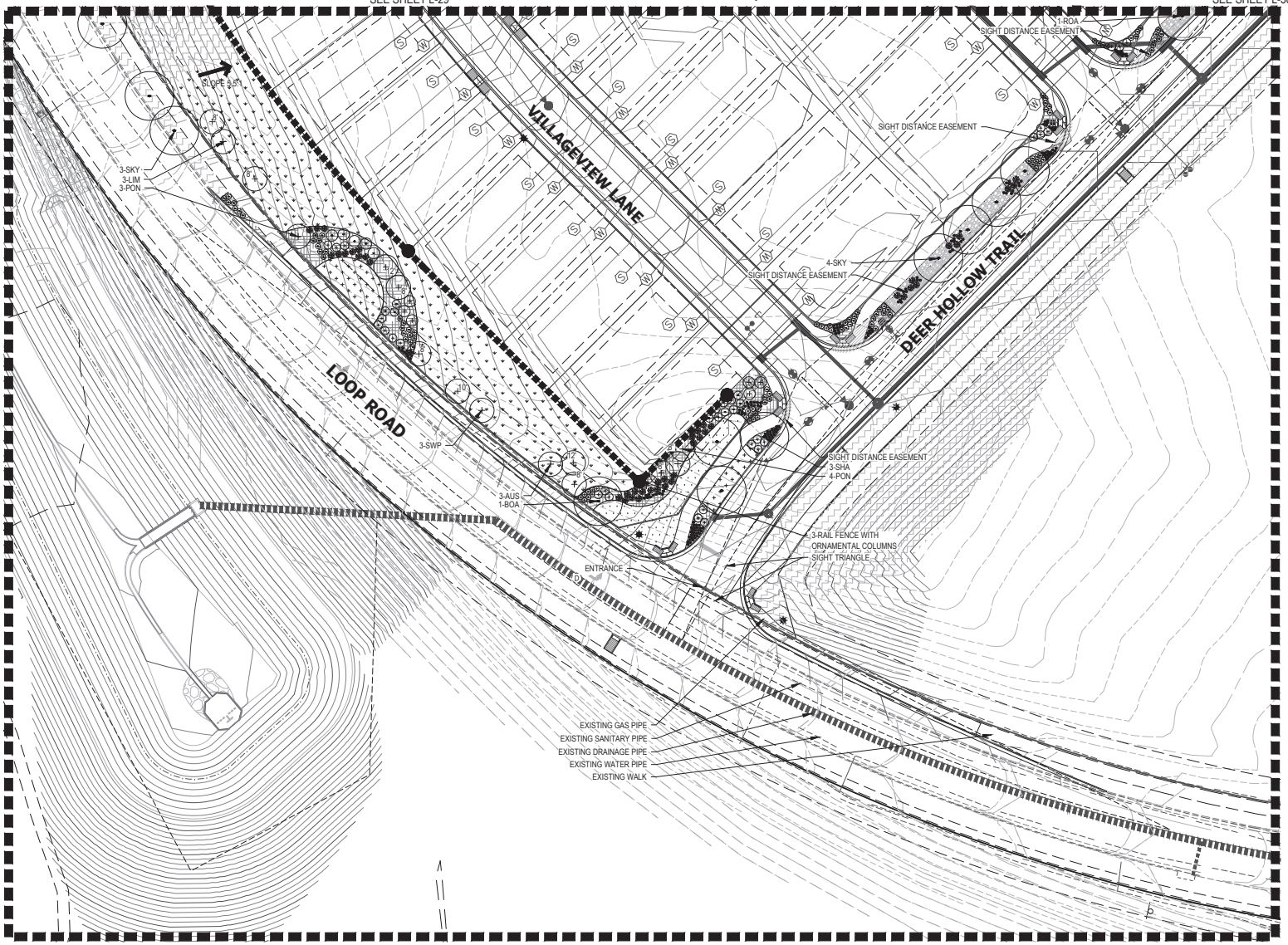
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

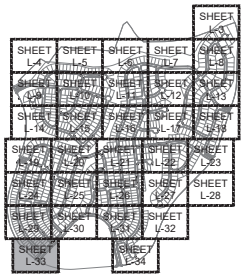
COUNTY OF DOUGLAS, STATE OF COLORADO

SEE SHEET L-29

SEE SHEET L-30



KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- HIGH HYDROZONE IRRIGATED THERMAL BLUE TEXAS HYBRID SOD
- MODERATE HYDROZONE IRRIGATED NATURE'S PRAIRIE SOD
- LOW HYDROZONE IRRIGATED FESCUE TURF SEED MIX
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- SAMPLING STATION, RE: CIVIL
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
13	23	0	12	16	0

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

0 15 30 60

Know what's below. Call before you dig.

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DRAWN BY: DD, EN

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1101 Bannock Street
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P 303.892.1166
F 303.892.1186

PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I, LEVIN N. EMNEY, RLA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE PLAN

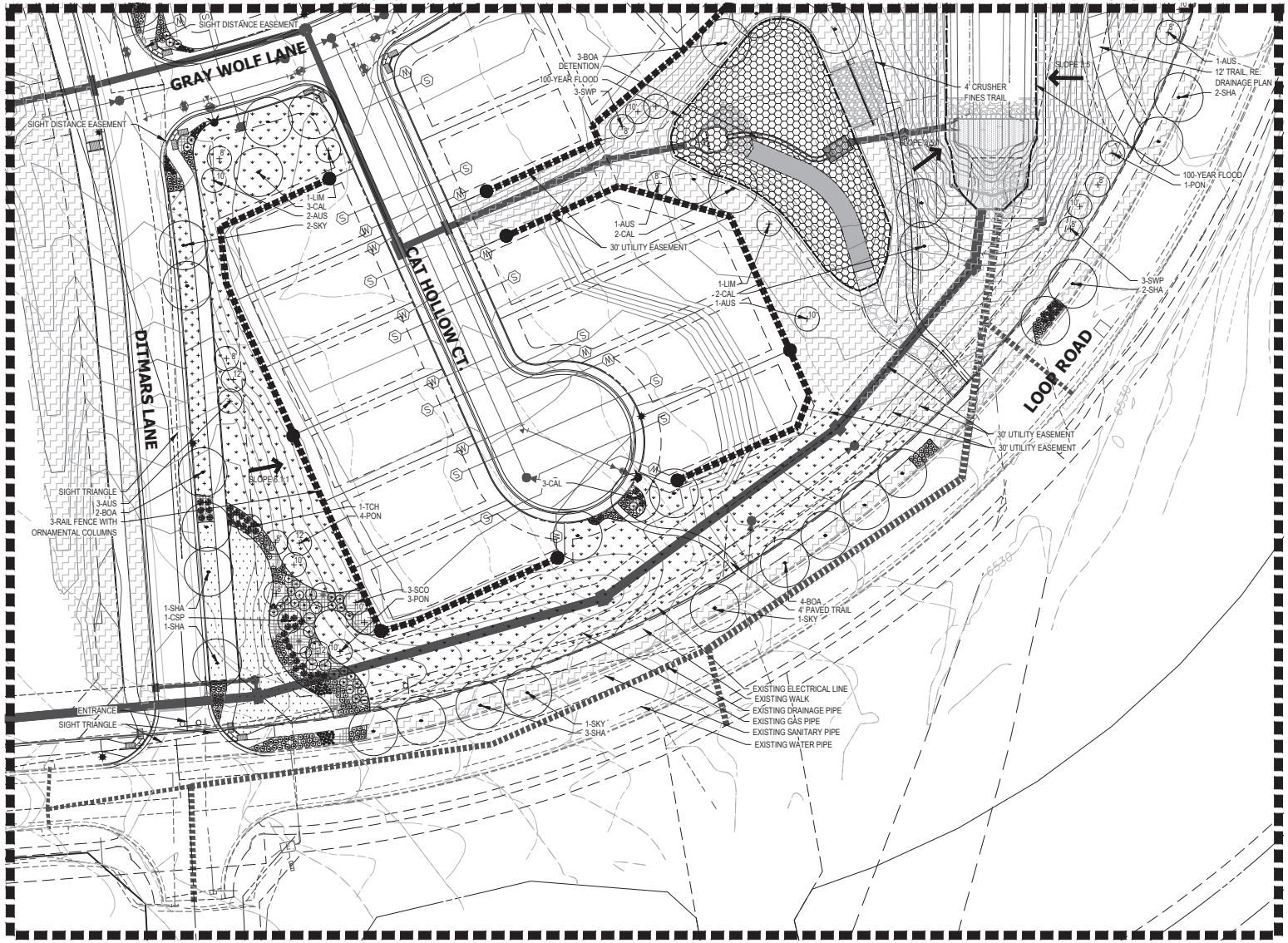
L-33

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

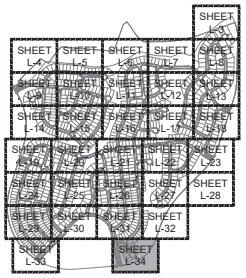
A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO

SEE SHEET L-31

SEE SHEET L-32



KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS SHRUBS
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- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

APPROVED SDP16-0005			PROPOSED SDP19-0001		
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES
41	43	6	32	27	2

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORTH

SCALE 1"=30'

Know what's below. Call before you dig.

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www.norris-design.com
1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I JOHN M. SERKEY, RLA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE PLAN

L-34

CHECKED BY: JB
DRAWN BY: DD, EN

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

Know what's below. Call before you dig.

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www.norris-design.com
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Denver, Colorado 80204
P 303.892.1166
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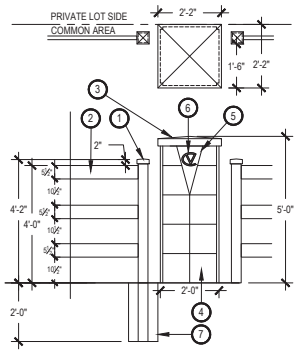
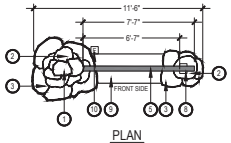


1. 5" X 5" X 84" CAPPED PVC POSTS @ 8' O.C.
2. 5-1/2" X 1-1/2" X 16' PVC RAILS
3. PRECAST CONCRETE CAP TO MATCH EXISTING ON SITE
4. SANDSTONE VENEER TO MATCH EXISTING ON SITE
5. ACCENT V SHALL BE LYONS RED SANDSTONE DARKER THAN OTHER STONE PIECES FOR CONTRAST
6. SANDBLASTED CRYSTAL VALLEY LOGO AT OWNERS DISCRETION IN KEY VISIBLE AREAS
7. CONCRETE FOOTER BY OTHERS

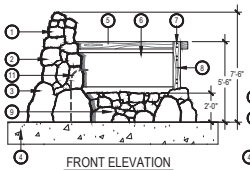
NOTES:
1. MATCH ALL EXISTING DIMENSIONS IN FIELD
2. FENCE MUST MATCH EXISTING LOCATED ON FILING NO. 1.

1 ORNAMENTAL COLUMN / POST FENCE

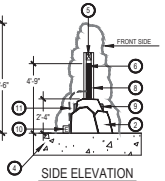
SCALE: 1/2" = 1'-0"



PLAN



FRONT ELEVATION

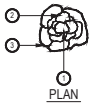


SIDE ELEVATION

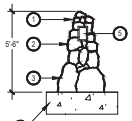
1. SMALL BOULDER; APPROX. SIZE 8" HT. X 12" WD. X 12" LG.
2. MEDIUM BOULDER; APPROX. SIZE 18" HT. X 14" WD. X 14" LG.
3. LARGE BOULDER; APPROX. SIZE 32" HT. X 24" WD. X 24" LG.
4. FOUNDATION DESIGN BY CONTRACTOR PER STRUCTURAL ENGINEER RECOMMENDATIONS; SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL
5. 4"x6" TREATED CEDAR POST ANCHORED INTO CAIRN
6. SIGN CABINET WITH PUSH THROUGH ACRYLIC LETTERING.
7. (6) 3/4" GALVANIZED ANCHOR BOLTS; COUNTERSUNK
8. (2) 2"X6" TREATED CEDAR POSTS ANCHORED INTO CONCRETE FOOTER WITHIN BOULDER CAIRN
9. 24" WD. SIGN PANEL LEDGE WALL CONSTRUCTED WITH SMALL & MEDIUM BOULDERS TO MATCH CAIRN
10. GFI QUAD BOX, WEATHER PROOFED
11. PROVIDE ELECTRIC SERVICE FOR INTERNALLY LIT CABINET

2 ENTRY MONUMENT DETAIL

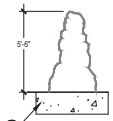
SCALE: 1/4" = 1'-0"



PLAN



FRONT ELEVATION



SIDE ELEVATION

1. SMALL BOULDER; APPROX. SIZE 8" HT. X 12" WD. X 12" LG.
2. MEDIUM BOULDER; APPROX. SIZE 18" HT. X 14" WD. X 14" LG.
3. LARGE BOULDER; APPROX. SIZE 32" HT. X 24" WD. X 24" LG.
4. FOUNDATION DESIGN BY CONTRACTOR PER STRUCTURAL ENGINEER RECOMMENDATIONS; SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL
5. SLATE, EMBEDDED SIGN/LOGO FACE

3 CAIRN TRAIL MARKER

SCALE: 1/4" = 1'-0"

PREPARED FOR:

CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:

I, JOHN R. DENEU, RLA, ASLA AND CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 655.

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3RD WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

SHEET TITLE:
LANDSCAPE DETAILS

L-35

CHECKED BY: JB
DRAWN BY: DD, EN

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

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Denver, Colorado 80204
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F 303.892.1186

PREPARED FOR:

CRYSTAL VALLEY RECOVERY ACQUISITION LLC

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3rd WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

SHEET TITLE:
RETAINING WALL PLAN

C-1

CHECKED BY:
DRAWN BY:

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

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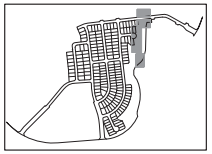
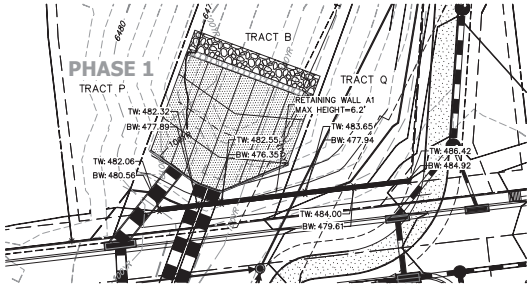
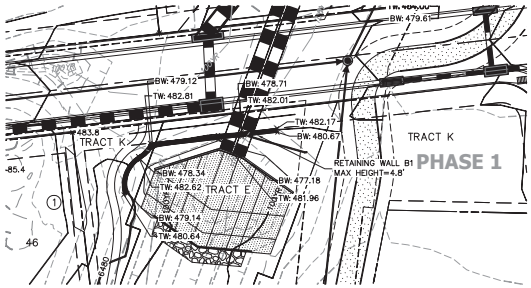


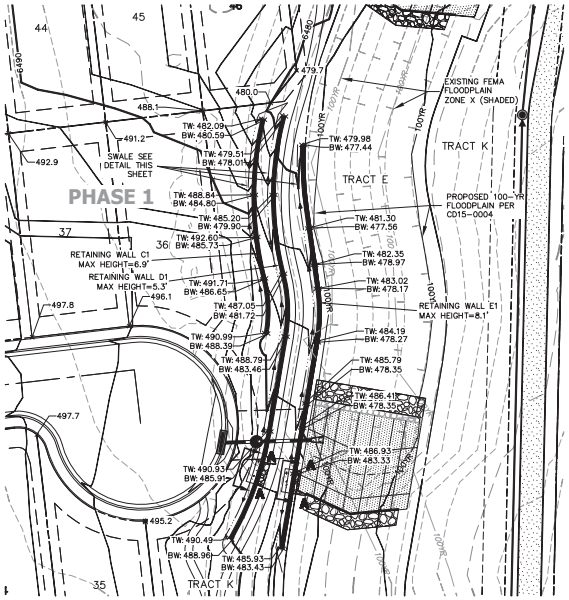
KEY MAP
SCALE 1"=1000'



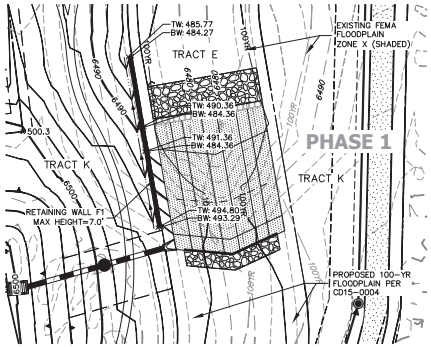
WALL A1



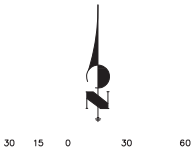
WALL B1



WALL C1 **WALL D1** **WALL E1**



WALL F1



NOTES:

1. WALLS GREATER THAN 4' FROM BOTTOM OF FOOTING TO TOP OF WALL REQUIRE A SEPARATE SUBMITTAL FOR A BUILDING PERMIT. CONTACT THE BUILDING DEPARTMENT FOR WALL PERMIT REQUIREMENTS.
2. RETAINING WALLS WILL REQUIRE 3RD PARTY INSPECTION.
3. FINISHED GRADE IS ONE FOOT (1.0') ABOVE B.W.

TIERED RETAINING WALL TO BE LOCATED ACROSS THE STORM SEWER AND WITHIN THE EASEMENT PER VARIANCE TCV17-0004 APPROVED 04/25/17

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3rd WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

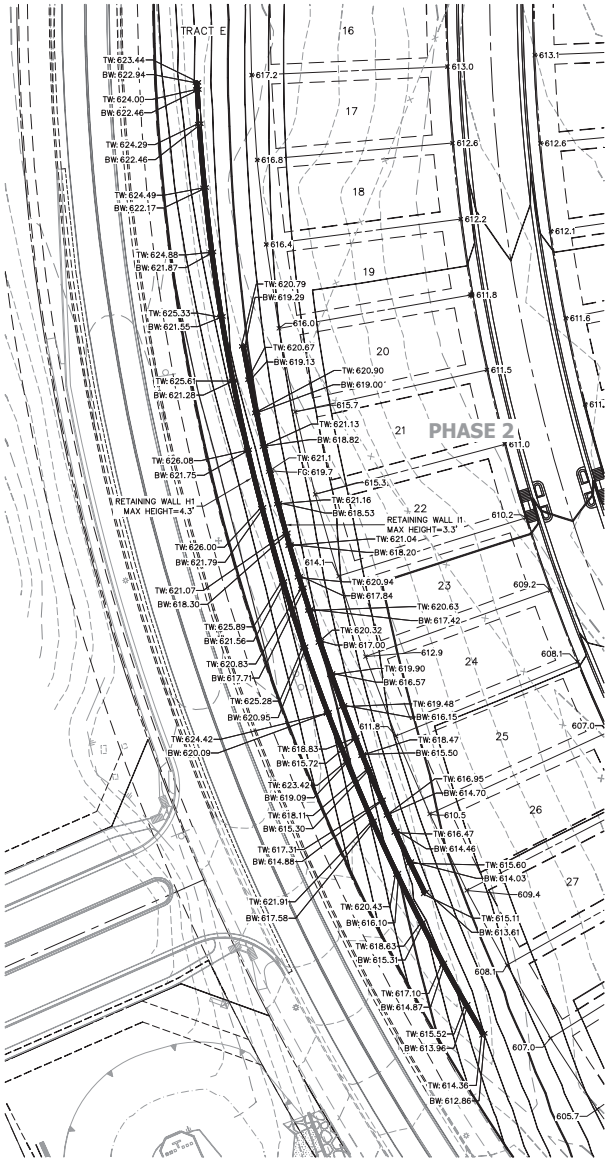
SHEET TITLE:
RETAINING WALL PLAN

C-2

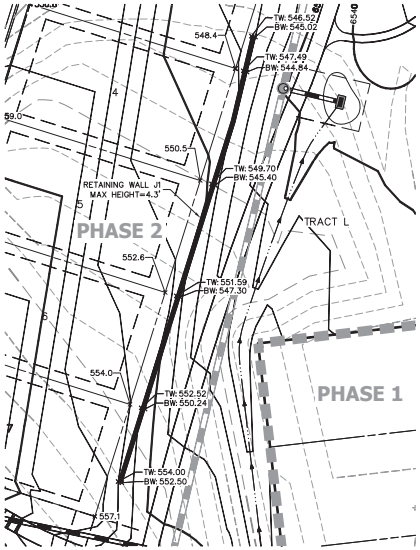
CHECKED BY:
DRAWN BY:

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

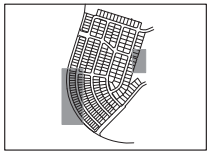
A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



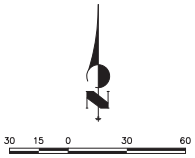
WALL H1 WALL I1



WALL J1



KEY MAP
SCALE 1"=1000'



NOTES:

1. WALLS GREATER THAN 4' FROM BOTTOM OF FOOTING TO TOP OF WALL REQUIRE A SEPARATE SUBMITTAL FOR A BUILDING PERMIT. CONTACT THE BUILDING DEPARTMENT FOR WALL PERMIT REQUIREMENTS.
2. RETAINING WALLS WILL REQUIRE 3RD PARTY INSPECTION.
3. FINISHED GRADE IS ONE FOOT (1.0') ABOVE B.W.

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

NORRIS DESIGN
www.norris-design.com

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PREPARED FOR:

CRYSTAL VALLEY RECOVERY ACQUISITION LLC

DATE:
1st WC SDP - 01/02/2019
2nd WC SDP - 04/12/2019
3rd WC SDP - 05/17/2019

NOT FOR CONSTRUCTION

SHEET TITLE:
RETAINING WALL PLAN

C-3

CHECKED BY:
DRAWN BY:

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

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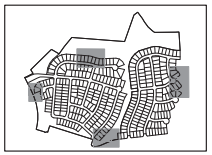
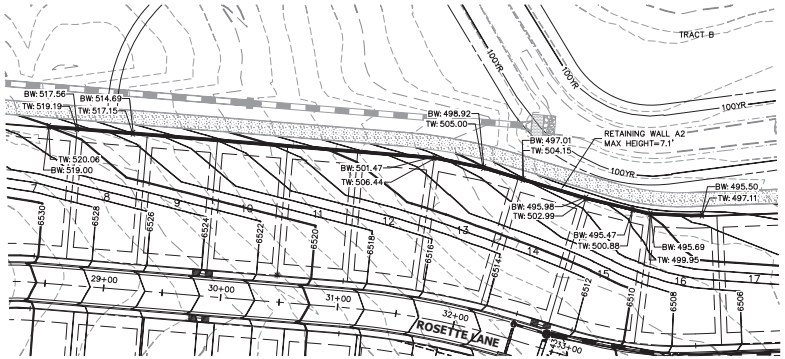
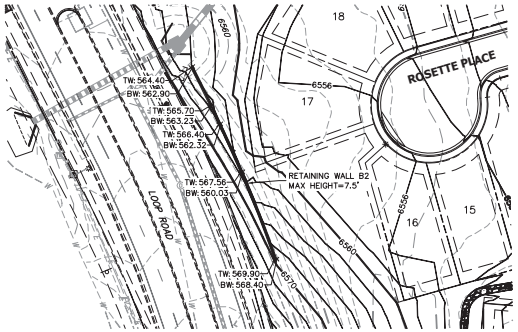


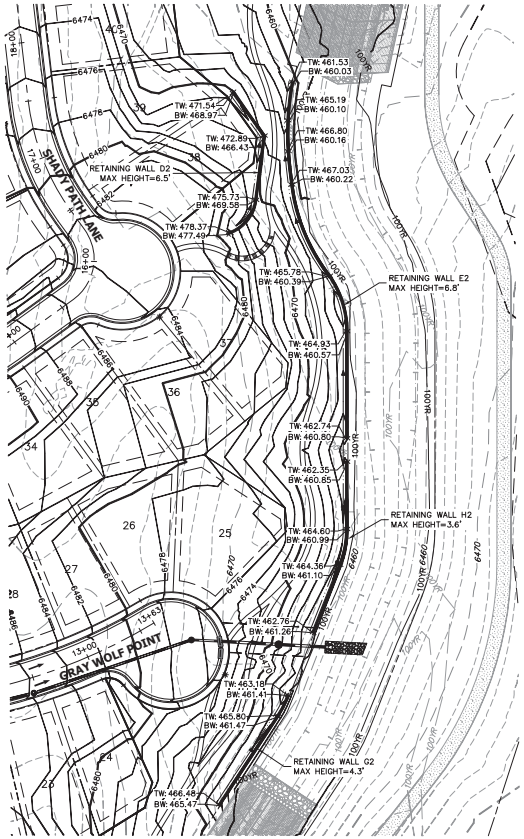
KEY MAP
SCALE 1"=1000'



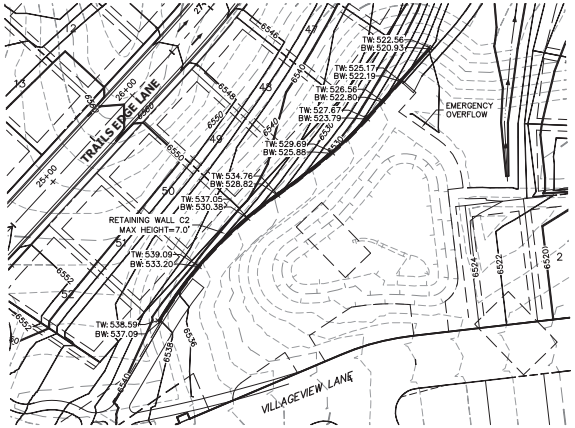
WALL A2



WALL B2



WALL D2 **WALL E2** **WALL H2** **WALL G2**



WALL C2

50 25 0 50 100
ORIGINAL SCALE: 1" = 50'

NOTES:

1. WALLS GREATER THAN 4' FROM BOTTOM OF FOOTING TO TOP OF WALL REQUIRE A SEPARATE SUBMITTAL FOR A BUILDING PERMIT. CONTACT THE BUILDING DEPARTMENT FOR WALL PERMIT REQUIREMENTS.
2. RETAINING WALLS WILL REQUIRE 3RD PARTY INSPECTION.
3. FINISHED GRADE IS ONE FOOT (1.0') ABOVE B.W.

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

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SHEET TITLE:
RETAINING WALL PLAN

C-4
SHEET 40 OF 43

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CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
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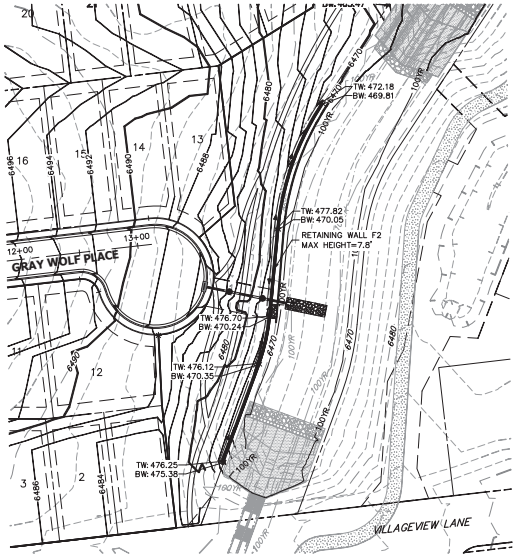
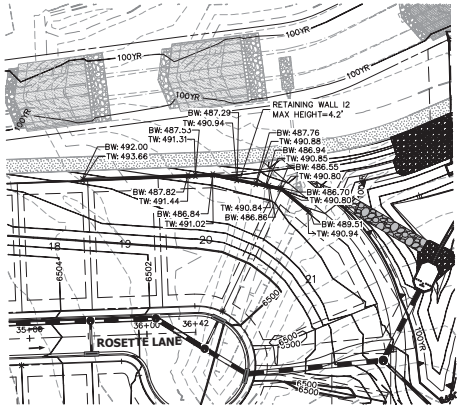
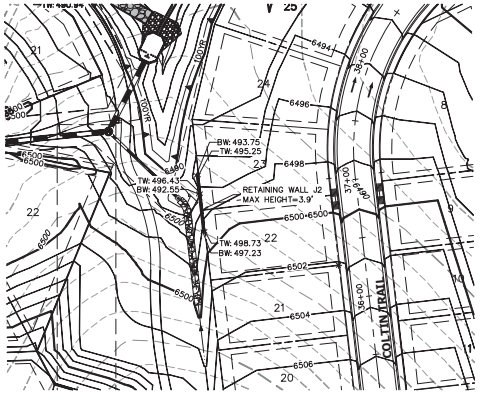
KEY MAP
SCALE 1"=1000'



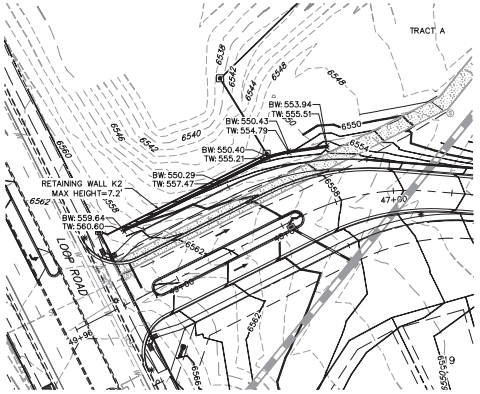
WALL F2



WALL I2



WALL J2



WALL K2

N

50 25 0 50 100
ORIGINAL SCALE: 1" = 50'

NOTES:

1. WALLS GREATER THAN 4' FROM BOTTOM OF FOOTING TO TOP OF WALL REQUIRE A SEPARATE SUBMITTAL FOR A BUILDING PERMIT. CONTACT THE BUILDING DEPARTMENT FOR WALL PERMIT REQUIREMENTS.
2. RETAINING WALLS WILL REQUIRE 3RD PARTY INSPECTION.
3. FINISHED GRADE IS ONE FOOT (1.0') ABOVE B.W.

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

DATE:
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SHEET TITLE:
RETAINING WALL PLAN

C-5

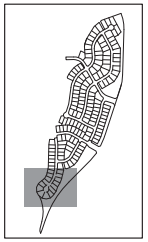
CHECKED BY:
DRAWN BY:

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

COUNTY OF DOUGLAS, STATE OF COLORADO

WALL A3 **WALL B3** **WALL C3**



KEY MAP
SCALE 1"=1000'

30 15 0 30 60
ORIGINAL SCALE: 1" = 30'

NOTES:

1. WALLS GREATER THAN 4' FROM BOTTOM OF FOOTING TO TOP OF WALL REQUIRE A SEPARATE SUBMITTAL FOR A BUILDING PERMIT. CONTACT THE BUILDING DEPARTMENT FOR WALL PERMIT REQUIREMENTS.
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CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

PROJECT NO. SDP19-0001

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SHEET TITLE:
RETAINING WALL PLAN

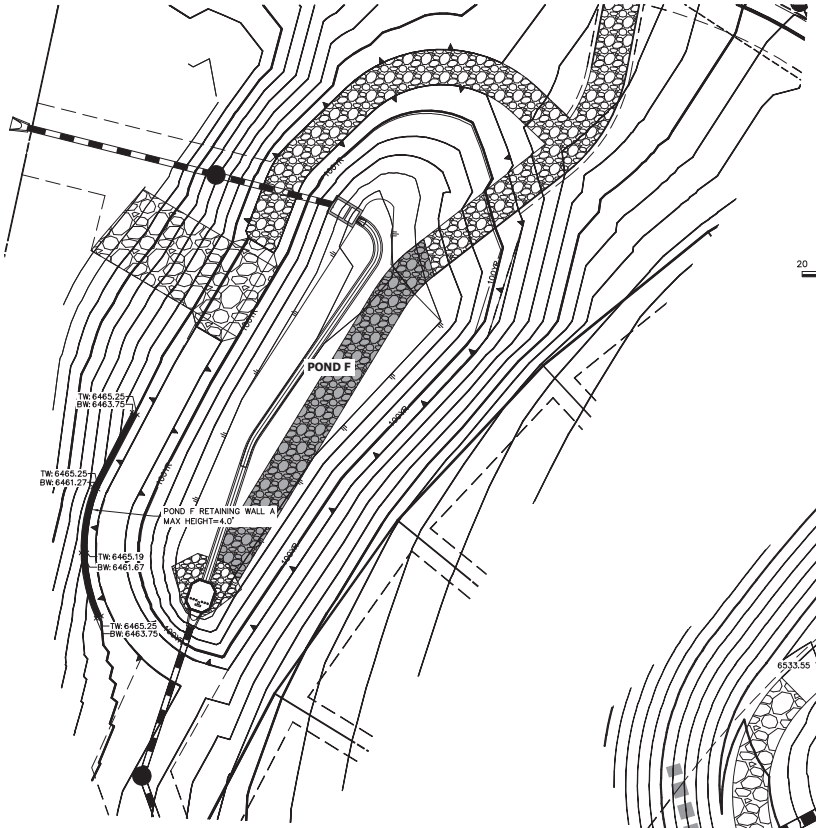
C-6

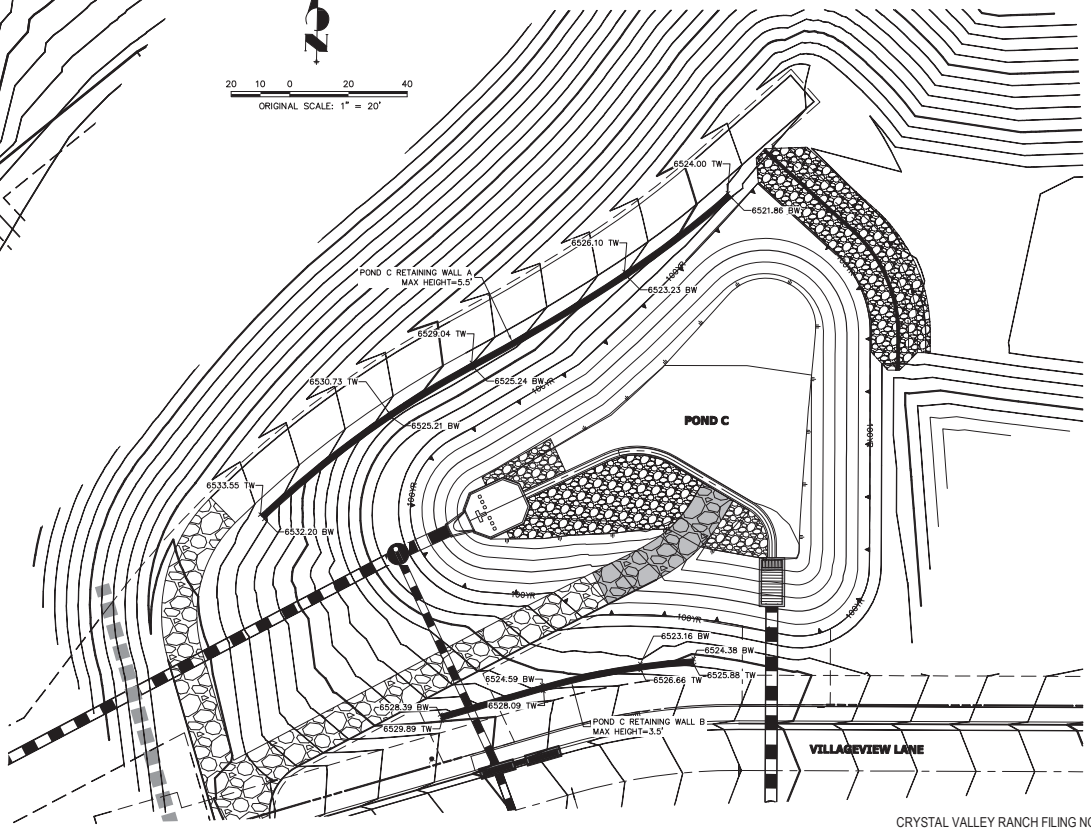
CHECKED BY:
DRAWN BY:

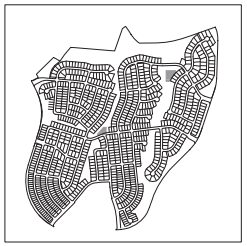
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN AMENDMENT NO. 2

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

COUNTY OF DOUGLAS, STATE OF COLORADO







KEY MAP
SCALE 1"=1200'

NOTES:

1. WALLS GREATER THAN 4' FROM BOTTOM OF FOOTING TO TOP OF WALL REQUIRE A SEPARATE SUBMITTAL FOR A BUILDING PERMIT. CONTACT THE BUILDING DEPARTMENT FOR WALL PERMIT REQUIREMENTS.
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CRYSTAL VALLEY RANCH FILING NO. 15
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SHEET TITLE:
RETAINING WALL PLAN

C-7

CHECKED BY:
DRAWN BY: