



PURCHASE ORDER #001223

CHANGE #: 2 ✓

DATE CHG: 01/17/19

VENDOR: D2C ARCHITECTS INC
1580 LINCOLN ST, STE 1110
DENVER, CO 80203

CONTACT NAME:**INVOICE TO:**

TOWN OF CASTLE ROCK
TOWN HALL
100 N WILCOX ST
CASTLE ROCK, CO 80104

VENDOR #: 3359

TEL #:
FAX #: TEL# (303) 952-4802
EMAIL:

SHIP TO:

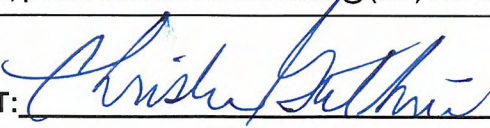
TOWN OF CASTLE ROCK
PUBLIC WORKS
4175 N CASTLETON CT
CASTLE ROCK, CO 80109

REQUISITION NO.	PROJECT NO.	ACCOUNT CODE	ORDER DATE	DUE DATE
1252		13531754317020	04/12/17	12/31/17

LINE NO.	QTY	U/M	DESCRIPTION	UNIT COST	EXTENDED COST
1	209095.00	TTL	***** * CHANGE ORDER * ***** PROVIDE ARCHITECTURAL ENGINEERING AND DESIGN	1.000	209095.00
2	10905.00	TTL	CONTINGENCY	1.000	10905.00
3	25135.00	TTL	CHANGE ORDER 1ST AMENDMENT	1.000	25135.00
			SUB-TOTAL		245135.00
			TOTAL		245135.00
			REMARKS: SERVICES RELATED TO CASTLE ROCK SERVICE CENTER EXPANSION PROJECT. April 11, 2017 3:15:43 PM castlca.		

VENDOR INSTRUCTIONS:

- 1) Invoices and packages must bear the PO number listed above.
- 2) Purchases may not exceed the total amount of this order without prior approval by the Purchasing Department.
- 3) Acceptance of this order includes acceptance of all terms, prices, delivery, instructions, specifications and conditions.
- 4) State Tax Exempt # 98-05820-0000
- 5) FEIN # 84-6000640
- 6) If you have any questions, please contact Yvonne Haas @ (303) 660-1377 or yhaas@crgov.com.

PURCHASING DEPARTMENT: 

**SECOND AMENDMENT TO
TOWN OF CASTLE ROCK
SERVICES AGREEMENT
(Castle Rock Service Center Expansion Design)**

DATE: January 8, 2019.

PARTIES: **TOWN OF CASTLE ROCK**, a Colorado municipal corporation, 100 N. Wilcox Street, Castle Rock, Colorado 80104 ("Town").

D2C ARCHITECTS, a Colorado corporation, 1730 Blake Street, Suite 335, Denver, Colorado 80202 ("Consultant").

RECITALS:

- A. Town and Consultant are parties to the Town of Castle Rock Services Agreement (Castle Rock Service Center Expansion Design) dated April 11, 2017, amended by the First Amendment to Town of Castle Rock Services Agreement dated May 18, 2018 ("Agreement").
- B. The parties have determined that it is necessary and appropriate to amend the Agreement to increase the contract sum by an additional \$13,020.

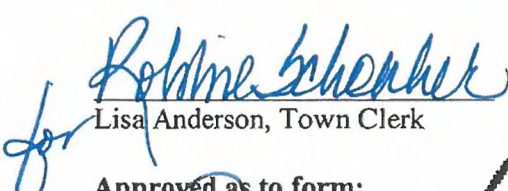
TERMS:

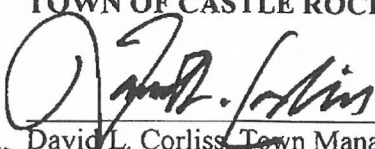
Section 1. Amendment. Section 2 of the Agreement is amended to increase the contract sum by an additional \$13,020. In no event shall the cumulative payment to Consultant exceed \$245,135, unless authorized in writing by Town.

Section 2. Ratification. Except to the extent expressly modified by this Second Amendment, the Agreement is in full force and effect. To the extent of any inconsistency between this Second Amendment and the Agreement, the terms and conditions of this Second Amendment shall control.

ATTEST:

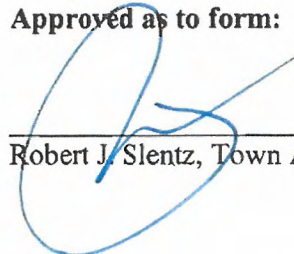
TOWN OF CASTLE ROCK

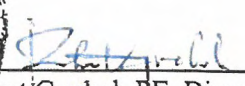

Lisa Anderson, Town Clerk

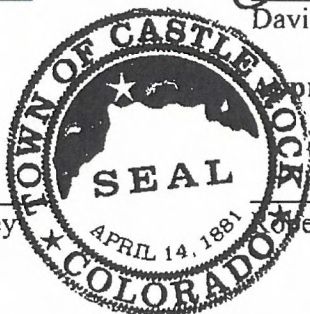

David L. Corliss, Town Manager

Approved as to form:

Approved as to content:


Robert J. Slentz, Town Attorney


Robert Goebel, PE, Director of Public Works



CONSULTANT:

D2C ARCHITECTS
a Colorado corporation

By:  Digitally signed by Brian T
Duggan
Date: 2019.01.08 16:49:49 -0700

Its: President

AMENDMENT TO PROFESSIONAL SERVICES AGREEMENT

AMENDMENT NUMBER: 002r1 CONTRACT NUMBER: Contract Dated –
Attachment A –
4/11/2017

DATE: 12/26/2018

OWNER | CLIENT: Town of Castle Rock

ARCHITECT: D2C Architects, Inc.

PROJECT NAME | ADDRESS: Castle Rock Service Center Expansion Project
4175 Castleton Court
Castle Rock, CO 80104

EFFECTIVE DATE. This Amendment shall be effective and enforceable upon signature by representatives and the dates accommodating signature (which shall be hereinafter called the "Effective Date"), and shall be effective and enforceable thereafter in accordance with its provisions.

A summary of the changes in work include:

- **Asbestos surveying services by RLH Engineering – SEE ATTACHED.**
- **Submission to Planning – Development Services**
 - **Reworking the Engineering Plans and Landscape Design to be submitted to the Town**
 - **All work to be completed by Burns & McDonnell**

FACTUAL RECITALS

Authority exists in the Law, with this Owner/Client and Funds have been budgeted, appropriated, and otherwise made available and a sufficient unencumbered balance thereof remains available for payment to Architect.

By signing below Owner/Client certify that required approval, clearance, and coordination has been accomplished from and with the appropriate representatives and parties of said agencies.

NOW THEREFORE, it is hereby agreed that;

1. Consideration for this Amendment consists of the payments, which shall be made pursuant to this Amendment and the promises, and agreements herein set forth.
2. It is agreed the original contract is and shall be modified, altered, and changed in the following respects:

SUMMARY OF CHANGES	
ORIGINAL CONTRACT SUM WAS:	\$209,095

- a. In the event of any conflict, inconsistency, variance, or contradiction between the provisions of this Amendment and any of the provisions of the original contract, the provisions of this Amendment shall in all respects supersede, govern, and control. This document shall always be controlling over other provisions in the contract or Amendments.
- b. Considering the town's request for these services, The Town of Castle Rock hereby agrees to fully release D2C Architects of all liability associated with this add service. All liability will rest solely with the Town under all circumstances and regardless of any consideration. The terms of this add service and its full release of liability shall govern over the prime agreement.
- c. The Client agrees, notwithstanding any other provision of this Agreement, to the fullest extent permitted by law, to indemnify and hold harmless the Consultant, its officers, partners, employees and subconsultants (collectively, Consultant) from and against any and all claims, suits, demands, liabilities, losses, damages or costs, including reasonable attorneys' fees and defense costs arising out of or in any way connected with the detection, presence, handling, removal, abatement, or disposal of any asbestos or hazardous or toxic substances, products or materials that exist on, about or adjacent to the Project site, whether liability arises under breach of contract or warranty, tort, including negligence, strict liability or statutory liability, regulatory or any other cause of action, except for the sole negligence or willful misconduct of the Consultant.
- d. In consideration of the substantial risks to the Consultant in sub-consulting and thereby rendering these services in connection with the Project due to the presence or suspected presence of hazardous materials at or near the jobsite, the Client agrees to make no claim and hereby waives, to the fullest extent permitted by law, any claim or cause or causes of action of any kind, including but not limited to negligence, breach of contract or warranty, either express or implied, strict liability or any other causes, against the Consultant, its officers, directors, partners, employees and subconsultants (collectively, Consultant), which may arise out of or may in any way be connected to the presence of such hazardous materials. The Client acknowledges that the Consultant is not and shall not be required to be in any way

D2C ARCHITECTS

ARCHITECTURE | INTERIORS | SUSTAINABILITY

www.D2CARCHITECTS.com

1580 LINCOLN STREET | SUITE 1110 | DENVER, COLORADO 80203

p: 800.592.9572 | 303.952.4802

an arranger, generator, operator or transporter of hazardous materials present at or near the Project site (as these terms are defined in applicable federal or state statutes and all related regulations).

- e. Both parties acknowledge that the Consultant and subsequent sub-consultant scope of services does not include any services related to remediation of hazardous materials (asbestos, toxic or hazardous waste, mold, PCBs, combustible gases and materials, petroleum or radioactive materials (as each of these is defined in applicable federal statutes) or any other substances under any condition. Should it become known that such materials may be present on or about the jobsite or any adjacent area that may affect the performance of the Consultant's services, the Consultant may at its sole option and without liability for consequential or any other damages, suspend performance of its services under this agreement and the prime agreement until the client retains appropriate qualified consultants and/or contractors to identify and abate or remove the hazardous or toxic materials and warrants that the jobsite is in full compliance with all applicable laws and regulations.



12/26/2018

OWNER | CLIENT (Signature & Date)

(Printed name and title)

ARCHITECT (Signature & Date)

Eric Combs, Principal

(Printed name and title)

RLH engineering, inc.

Facility Planning, Engineering, & Environmental Services

November 8, 2018

Mr. Brian Duggan
Principal, Design + Studio Operations
D2C Architects
1730 Blake Street, Suite 335
Denver, CO 80112

SUBJECT: Town of Castle Rock Public Works Service Center Asbestos Survey
RLH Engineering Proposal Number 2285

Dear Brian,

This letter is our proposal to provide asbestos survey services for the Town of Castle Rock Public Works Service Center, located at 4175 Castleton Court, Castle Rock, CO 80116. The intent of this asbestos survey is to comply with CO Regulation No. 8, Part B for Asbestos and facilitate the planned remodel/demolition of the area.

Our proposal includes the following specific tasks and items:

1. Initial walkthrough of all building spaces to determine homogeneous areas for floors, ceilings and walls, thermal system insulation and other miscellaneous materials to document material locations. Assessment of material conditions and friability will be conducted at this time. As previously discussed, this will require a personnel lift in the Sanctuary.
2. Preparation of the floor plan drawings to show the extents of suspect materials, samples collected, and asbestos containing materials identified through sampling.
3. Determination of material quantities from drawings and field assessment, in order to determine the minimum number of samples to be collected, as dictated by state and federal regulations.
4. Determination of a bulk sampling plan and bulk sampling of suspect materials. All samples will be collected by AHERA-accredited and CDPHE-certified Asbestos Inspectors.
5. Laboratory analysis of bulk samples, by Polarized Light Microscopy (PLM), by a qualified NVLAP-accredited laboratory. We propose utilizing Reservoirs Environmental, Inc. as our primary laboratory, with quality assurance sampling submitted to Aerobiology Laboratory Associates, Inc. We estimate the need for up to 80 PLM samples, and these will be provided on a 24-hour turnaround from the laboratories. Additionally, up to 21 Point Counts are included, which may be utilized

Mr. Brian Duggan
November 8, 2018
Page 2 of 3

for materials that exhibit low asbestos percentages, and will be required for friable materials reported as Trace (less than 1% asbestos, but containing greater than 0%). Please note that the quantity of samples to be collected is an estimate. The proposed cost for laboratory expenses will be treated as an allowance, and billings will reflect the actual amount of laboratory fees used.

6. Preparation of scaled floor plan drawings showing the location of samples collected, location of ACM's (if any), and homogeneous material reports. Drawings will be prepared using AutoCAD LT to represent existing site conditions, this proposal assumes a CAD floorplan of the existing building will be provided by the Owner.
7. Preparation of a written report to include a summary of ACM's identified, recommendations, bulk sample data, laboratory reports, floor plan drawings, and personnel certifications. Included with the report will be a CDPHE demolition notification, signed by a certified building inspector.

Fee Proposal

Our proposed scope of services will be completed for a total not to exceed fee of **\$5,235**. We propose to utilize our 2018 billing rates applied to actual labor and expenses for the work. A more detailed breakdown of our proposed fee is as follows.

Asbestos Survey

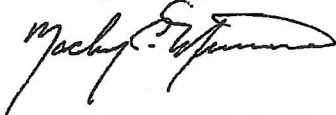
Quantification and Sampling (Items 1-4)	\$ 1,440
Laboratory Analyses (Item 5)	
80 PLM samples – 24-hour turnaround	\$ 920
21 Point Counts – 24-hour turnaround	\$ 435
Drafting (Item 6)	\$ 390
Final Report (Item 7)	\$ 1,620
Survey Total	\$ 4,805
 Reimbursables	 \$ 430
 SURVEY TOTAL	 \$ 5,235

Mr. Brian Duggan
November 8, 2018
Page 3 of 3

All inspection and sampling work will be performed by RLH personnel that possess current CO state certification and AHERA accreditation as asbestos building inspectors. Analysis will be performed by Reservoirs Environmental Services, Inc. (RESI) in Denver, CO. RESI is accredited by the National Institute of Standards and Technology (NIST) for PLM analysis, as required by CO Reg. 8. Our work is covered by \$1 million General and Professional Liability Insurance and all our personnel are covered by Worker's Compensation Insurance.

Please contact me if you have any questions regarding this proposal.

Sincerely,
RLH Engineering, Inc.



Zachary C. Minniear
Project Manager

Proposal Accepted:
D2C Architects

R L H engineering, inc.

Facility Planning, Engineering, & Environmental Services

2018 BILLING RATES

President/Project Executive	\$ 135.00/hour
Program Manager	\$ 125.00/hour
Principal	\$ 120.00/hour
Senior Project Manager	\$ 110.00/hour
Project Manager	\$ 90.00/hour
Assistant Project Manager	\$ 77.50/hour
Technician	\$ 65.00/hour
Drafting	\$ 65.00/hour
Secretarial	\$ 50.00/hour
Air Monitoring Technician (AM Tech)	\$700.00/10 hour day
AM Tech Weekend/Second Shift	\$750.00/10 hour day
PCM Analysis - 2 hour turnaround	\$ 14.95/sample
PCM Analysis - 2 hour turnaround plus after hours lab additional fee of	\$ 14.95/sample \$ 11.50/sample
PLM Analysis - 2 hour turnaround	\$ 18.40/sample
PLM Analysis - 24 hour turnaround	\$ 11.50/sample
PLM Analysis - 3-5 day turnaround	\$ 9.20/sample
PLM Point Count - 24 hour turnaround	\$ 20.70/sample
TEM Analysis - 6 hour turnaround	\$103.50/sample
TEM Analysis - 6 hour turnaround plus after hours lab additional fee of	\$103.50/sample \$ 28.75/sample
Mileage to and from project sites	IRS approved mileage rate/year \$0.545/mile for 2018
Blue-line originals	\$ 2.00/sheet
Blue-line copies	\$ 1.00/sheet
Copies	\$ 0.10/copy
Colored copies	\$ 1.00/copy



To: David Corliss, Town Manager

Thru: Robert Goebel, P.E., Public Works Director 

From: Brian Peterson, Project Manager

Date: January 3, 2019

Title: Second Amendment to Town of Castle Rock Services Agreement between the Town of Castle Rock and D2C Architects for the Castle Rock Service Center Expansion Design

Executive Summary

The purpose of this memo is to obtain approval of a Second Amendment to the Service Agreement contract between the Town of Castle Rock and D2C Architects (D2C) for the Castle Rock Service Center Expansion Design Project as discussed below under **Discussion**.

The attached Second Amendment (**Attachment A**) approves an additional service amendment to the contract with D2C. The approved amendment will accommodate additional funding required for the following:

- Asbestos surveying services of the existing facility
 - This work will be performed by D2C's sub-consultant, RLH Engineering
- Submission to Planning - Development Services
 - Reworking the Engineering plans and Landscape Design to be submitted to the Town
 - This work will be completed by D2C's sub-consultant, Burns & McDonnell

History of Past Town Council, Boards & Commissions, or Other Discussions

On February 15, 2017, the Town sent out a Request for Proposals (RFP) through Rocky Mountain BidNet in which two firms submitted proposals. Following the review of each firm's qualifications and proposals, staff interviewed the two firm design teams. D2C was unanimously selected as the preferred firm to continue the contract award process.

On April 11, 2017, the Town issued a Service Agreement for the Castle Rock Service Center Expansion Design to D2C.

On May 18, 2018, the Town issued the First Amendment to the Service Agreement for additional services which included:

- Expanded Truck Drive - Through Fleet Bay
- Added Additional access drive cut to exit to Castleton
- Renovation / Office Expansion
- Landscaping limited areas
- Contract Time Extension

The current Second Amendment is for asbestos surveying and for the submission of drawings to Development Services.

The asbestos survey is required by Colorado Regulation No. 8, Part 8 in order to identify any asbestos containing materials that would need to be properly removed and disposed of prior to the renovation of this facility.

The submission of drawings to Development Services was omitted from D2C's contract as they were informed that this would not be required at the time of contract execution. However, this is a requirement as there is site work being performed and the drawings will need to be reviewed for compliance.

Discussion

The following is a breakdown of the current requested Second Amendment:

- Asbestos Surveying Services of the Existing Building = \$6,020
- Submission to Planning – Development Services = \$7,000

Second Amendment Total = \$13,020

Budget Impact

The Town approved the original Purchase Order on April 11, 2017 in the amount of \$220,000, which included \$209,095 for design and a Town managed contingency of \$10,905. The First Amendment, approved on May 18, 2018 included an increase of \$23,020. This amendment expended the contingency of \$10,905 and increased the encumbrance in the amount of \$12,115 to fund the remaining balance.

The Second Amendment, is an additional increase of \$13,020. Should this be approved, the revised Purchase Order amount with D2C will be \$245,135. In working with the Town's Finance Department, sufficient funds intended for construction are available in account 135-3175-431-70.20 to cover this need. A future budget amendment will be requested to accommodate all additional design and construction needs. Please see below for the detailed breakdown:

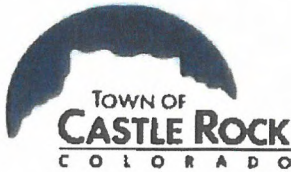
<u>Fund</u>	<u>Amount</u>
Revised D2C Contract Amount after 1 st Amendment	\$ 232,115
2 nd Amendment Contract Increase	\$ 13,020
D2C Revised Contract Amount	\$ 245,135

Staff Recommendation

Staff recommends approval of the Second Amendment to Town of Castle Rock Services Agreement for the Castle Rock Service Center Expansion Design.

Attachments

Attachment A: Second Amendment



AGREEMENT & CONTRACT ROUTING FORM

Second Amendment
TITLE: Castle Rock Service Center Expansion Design - 2nd Amdt DEPT: Public Works
VENDOR: D2C Architects DATE: 1-3-19

Department Signatures

☐ Contract for Capital Project

1. Supervisor/Requesting Employee *FNH*

Signature [Signature] Date 1.3.19

☒ Contract signed by Vendor

2. Assistant Director

Signature [Signature] Date 1/4/19

3. Department Director

Signature [Signature] Date 1/4/19

4. Other Department Director (Budget impacts another department OR it involves IT)

Signature _____ Date _____

5. Submit to Robbie Schonher/Town Clerk's Office

6. LEGAL

Signature [Signature] Date 1/11/19

7. FINANCE

Budget & GL Account Approved ☒ GL Account Correction _____

Analyst Signature [Signature] Date 1/11/19

Director Signature [Signature] Date 1/15/2019

8. TOWN MANAGER

Signature [Signature] Date 1/15/19

9. TOWN CLERK

Signature [Signature] Date 1-15-19



PURCHASE ORDER

001223

CHANGE #: 1

DATE CHG: 05/21/18

VENDOR:

D2C ARCHITECTS INC
8010 SOUTH MONACO CIR
CENTENNIAL, CO 80112

INVOICE TO:

TOWN OF CASTLE ROCK
TOWN HALL
100 N WILCOX ST
CASTLE ROCK, CO 80104

VENDOR #:

TEL #: 3359
FAX #:
EMAIL: TEL# (800) 592-9572
FAX# (303) 952-4802

SHIP TO:

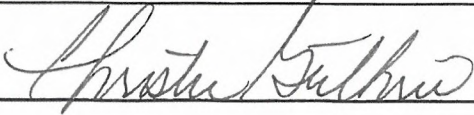
TOWN OF CASTLE ROCK
PUBLIC WORKS
4175 N CASTLETON CT
CASTLE ROCK, CO 80109

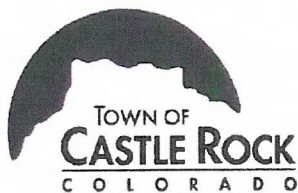
REQUISITION NO.	PROJECT NO.	ACCOUNT CODE	ORDER DATE	DUE DATE

LINE NO.	1252 QTY	U/M	13531754317020 DESCRIPTION	04/12/17 UNIT COST	12/31/17 EXTENDED COST
1	209095.00	TTL	***** * CHANGE ORDER * ***** PROVIDE ARCHITECTURAL ENGINEERING AND DESIGN	1.000	209095.00
2	10905.00	TTL	CONTINGENCY	1.000	10905.00
3	12115.00	TTL	CHANGE ORDER 1ST AMENDMENT	1.000	12115.00
				SUB-TOTAL	232115.00
				TOTAL	232115.00
			REMARKS: SERVICES RELATED TO CASTLE ROCK SERVICE CENTER EXPANSION PROJECT. April 11, 2017 3:15:43 PM castlca.		

VENDOR INSTRUCTIONS:

- 1) Invoices and packages must bear the PO number listed above.
- 2) Purchases may not exceed the total amount of this order without prior approval by the Purchasing Department.
- 3) Acceptance of this order includes acceptance of all terms, prices, delivery, instructions, specifications and conditions.
- 4) State Tax Exempt # 98-05820-0000
- 5) FEIN # 84-6000640
- 6) If you have any questions, please contact Yvonne Haas @ (303) 660-1377 or yhaas@crgov.com.

PURCHASING DEPARTMENT: 



To: David Corliss, Town Manager

Thru: For Robert Goebel, P.E., Public Works Director JRS

From: Frank N. Main, Project Manager

Date: May 3, 2018

Title: First Amendment to Town of Castle Rock Services Agreement between the Town of Castle Rock and D2C Architects, for the Castle Rock Service Center expansion Design

Executive Summary

The purpose of the memo is to obtain approval of an amendment to the Services Agreement contract between the Town of Castle Rock and D2C Architects (D2C) for the Castle Rock Service Center Expansion Design Project as discussed below under (Discussion).

The attached amendment (**Attachment A**) approves an additional service amendment to the contract with D2C. The approved amendment will accommodate additional funding required for the following:

- Expanded Truck Drive - Through Fleet Bay
 - Vehicle exhaust system
 - Lubrication piping and hose reels
 - Oil/water separator
- Added Additional access drive cut to exit to Castleton
- Renovation / Office Expansion
 - Reevaluated demolition extents
 - Evaluated existing roofing joist for replacing RTU Units
 - Receptacle relocations, data Connections, and lighting updates for interior renovation areas that were not in the original proposal
- Landscaping, the following areas are added to scope
 - Castleton Ct. and Justice Way adjacent to security fence
 - Castleton Ct. main entry area and area between parking lot and Castleton Ct.
- Contract Time Extension
 - An extension to contract time is due-to construction being rescheduled for 2019. D2C contract requires Bidding Support and Construction Observation Support which will take place in 2019

History of Past Town Council, Boards & Commissions, or Other Discussions

On February 15, 2017, the Town sent out a Request for Proposals (RFP) through BidNet in which two firms submitted proposals. Following the review of each firm's qualifications and proposals, staff interviewed the two firm design teams. D2C was unanimously selected as the preferred firm to continue the contract award process.

On April 11, 2017, the Town issued a Service Agreement for the Castle Rock Service Center Expansion Design to D2C.

Discussion

The design process has been underway since April 2017. The following is a breakdown of the requested amendment:

Engineering overall adjusted fee for the items listed in The Executive Summary:

- Added Expanded Truck Drive - Through Fleet Bay (38 hours) = \$4,560
- Additional access drive cut to exit to Castleton (40 hours + CA Trip) = \$5,300
- Renovation/Office Expansion (68 hours) = \$8,160
- Additional D2C costs for Administration/ Management/ Coordination/ Processing = \$1,800

Subtotal (146 hours + CA Trip) = \$19,820

Landscaping overall adjusted fee:

- Castleton Court and Justice Way (Landscape and Irrigation) = \$1,650
 - Castleton Court Main entry and ROW (Irrigation) = \$860
 - Meeting = \$400
 - D2C Administration/ Management/ Coordination/ Processing = \$290
- Subtotal = \$3,200

Amendment Total = \$23,020 ✱ ✱

Contract Time Extension

- A revised agreement completion date is required because the change of schedule to bid this project in the fall/winter 2018 and delay construction to 2019. This revised schedule is to allow the Parks employees to relocate to their new facility which is estimated to be completed by December 2018 / January 2019. D2C is required to provide services for the Bidding and Construction Observation Support. The following is the estimated schedule required for D2C:
- Bidding Support - Fall/Winter 2018
- Construction Observation Support - 2019

Revised completion date: December 31, 2019

Budget Impact

The Town approved a Purchase Order in the amount of \$220,000, which includes \$209,095 for design and a contingency of \$10,905. In order to cover this first amendment to the design contract, an increase of \$23,020 to the contract is needed. Staff is requesting the remaining contingency funds in the amount of \$10,905 be used with an increase of the encumbrance in the amount of \$12,115. Matthew Kipp in the Town's Finance Department has verified that sufficient overall project budget is available within the 2018 Amended Budget to cover the additional funding needed.

<u>Fund</u>	<u>Account Number</u>	<u>Amount</u>
Budget	135-3175-431-70.20	\$ 220,000
D2C Contract		\$ <u>209,095</u>
Contingency		\$ 10,905
Increase of the Encumbrance		\$ <u>12,115</u>
1 st Amendment Contract Increase		\$ 23,020
Revised D2C Contract Amount		\$ <u>232,115</u>

Staff Recommendation

Staff recommends approval of the First Amendment to Town of Castle Rock Services Agreement (Castle Rock Service Center Expansion Design).

Attachments

Attachment A: First Amendment



AGREEMENT & CONTRACT ROUTING FORM

TITLE: Castle Rock Service Center Expansion Design DEPT: Public Works
VENDOR: D2C Architects DATE: 5/3/18

Department Signatures

☒ Contract for Capital Project?

1. Supervisor/Requesting Employee

☒ Contract signed by Vendor

Signature [Signature] Date 5/3/18

2. Assistant Director

Signature [Signature] Date 5/7/18

TE 3. Department Director

Signature [Signature] Date 5/7/18

4. Other Department Director (Budget impacts another department OR it involves IT)

Signature N/A Date _____

5. Submit to Robbie Schonher/Town Clerk's Office

6. LEGAL

Signature [Signature] Date 5/11/18

7. FINANCE

Budget & GL Account Approved ☒ GL Account Correction _____

Analyst Signature [Signature] Date 5/15/18

Director Signature [Signature] Date 5/17/18

8. TOWN MANAGER

Signature [Signature] Date 5/17/18

9. TOWN CLERK

Signature [Signature] Date 5/18/18

PREPARED 01/17/2019, 10:18:12
PROGRAM: GM313U

TOWN OF CASTLE ROCK
ENCUMBRANCE UPDATE LIST

PAGE 1
REPORT NUMBER 15

GROUP NUMBER : 00115 PO 1223 CHANGE ORDER

ACCOUNTING PERIOD: 01/2019

GROUP USER ID : CASTYTH

GROUP CREATED BY : CASTYTH

GROUP UPDATED BY : CASTYTH

TRANS NO	TRANS DATE	P.O.	VENDOR SEQ	VENDOR NAME	TYPE	ACCOUNT NUMBER	PROJECT	ENCUMBRANCE	LIQUIDATION
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100	01/17/2019	001223	3359 00	D2C ARCHITECTS INC	135-3175-431.70-20			13,020.00	
PO ENTRY									

GROUP TOTALS

COUNT: 1
ENCUMBRANCE: 13,020.00
LIQUIDATION:

GROUP NUMBER:	115	PO 1223 CHANGE ORDER			
GROUP TYPE :	EN	ENCUMBRANCE TRANSACTIONS			
FUND . . . :	135	Transportation Capital			
		TRANS BANK	PURCHASE ORDER	TRANSACTION AMOUNT	
ACCOUNT	DATE	CODE N A M E			
135-3175-431.70-20	1/17/2019	00	001223	13,020.00	ENCUMBERED AMOUNT

OFFSETS:

ACCOUNT	D E S C R I P T I O N	DEBIT	CREDIT
FUND :	135 Transportation Capital		
135-0000-240.10-00	Reserve & Control Accts / Encumbrances	13,020.00	.00
135-0000-240.20-00	Reserve & Control Accts / Reserve for Encumbrance	.00	13,020.00

PREPARED 1/17/19, 10:17:28

PROGRAM PI320U

TOWN OF CASTLE ROCK

PURCH./INVENTORY - ACCOUNTING INTERFACE

GENERATED JOURNAL ENTRIES

SELECTION FROM 1/17/2019 09:56 TO 1/17/2019 10:16

PAGE 1

TRANSACTION	REFERENCE	ENTRY	ACCOUNT	NUMBER	ENCUMBERED	---WORK	ORDERS---	JOB#	AP	PO	NBR	VENDOR	PROJECT	DESCRIPTION
DATE		TYPE			AMOUNT	ID								

1/17/19	PO ENTRY	EN	1353175431	7020	13020.00		000		001223		0003359			MISC PURCHASES
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** GROUP 00115	COUNT -	1	13020.00	FISCAL YEAR - 2019	PERIOD - 01
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ACCOUNT NUMBER DESCRIPTION	PROJECT	ITEM NUMBER	REFERENCE NUMBER	BLDG	POSTED	ORDERED	P. O. NO.	VENDOR	W/O ID QUANTITY	W/O JOB# NET COST
13531754317020 MISC PURCHASES		999 999 MISC PURCHASES		PW CHANGE ORDER	01/17/19 1ST AMENDMEN T	01/17/19	001223	3359	13020.00	13020.00
P.O. TOTAL -										13020.00
TOTAL EXPENSES-										13020.00