



# Development Services

Building • Planning • Zoning

Implementing the Community Vision through Development Activities

## *Development Tales by the Director*

*"Cities have the capability of providing something for everybody, only because, and only when, they are created by everybody."*

*~~ Jane Jacobs*



*orking together, generations of Castle*

*Rock residents, decision makers, and development interests created a community recognized for its ability to blend the natural environment with the manmade environment. Recent adoption of the 2030 Vision and Master Plan reflected years of open discussion among residents and interested parties to assemble a document that will lead Castle Rock into the future. Castle Rock is constantly recognized by third party groups as the best small Town to live in, the most family friendly Town and again recognized by the National Parks Association for its ability to blend parks and open space into the fabric of the community. All involved with such decisions and all those who work, live and play in Town should be congratulated for making Castle Rock a place where everyone is involved.*



*e continue to experience a high level of homebuilding activity confirmed by recent permit tracking.*



**Bill Detweiler, Director  
Development Services**

**For the latest in development activity,  
please visit:**

**[CRgov.com/DevelopmentActivity](http://CRgov.com/DevelopmentActivity)**

# DEVELOPMENT TALES

*We will pass 1,300 homebuilding permits in October and may reach 1,500 permits by January 1. Is it a good thing that Castle Rock is growing at its current pace? As it relates to meeting market demands and ensuring that Council-approved plans are being implemented; the answer is yes. As it relates to long-term growth in our community we adhere to the established Town Council growth policies as follows:*

- Council has repeatedly affirmed a “growth pays for growth” philosophy.*
- Our goal is to plan for growth.*
- Our goal is to plan for and act to manage the impacts of growth.*
- Our goal is to focus on quality development and seek out and encourage great projects.*
- Our goal is to achieve a high level of effective public outreach, notification, and community involvement.*
- Our goal is to achieve and maintain water conservation and long-term water resource programs.*
- Our goal is to achieve capable surface transportation systems and plan for multimodal opportunities.*
- Our goal is to create a regulatory environment based upon goals, values, and reasonableness; all to assist with economic development.*
- Our goal is to ensure predictable, accurate, and timely review and action on all land development applications.*
- The Town invested millions of rate/fee and taxpayer dollars planning for growth through adoption of the Development Services Enterprise Business and Finance Plan; Water Resources Master Plan; Water and Sewer Plans; Storm Water Plan; Transportation Master Plan; Parks, Recreation Trails and Open Space Master Plan; Facilities Master Plan; Downtown Plan of Development; Downtown Overlay Zone District; Southwest Quadrant Plan; Financial Strategic Plan; Fire Master Plan; Interchange Overlay District Plan; Wolfensberger Area Plan, etc.*
- The Town invested millions in water and sewer debt, largely related to growth and is relying upon growth to pay annual debt service, plus obligations incurred to expand Plum Creek Waste Water Authority facilities.*
- The Town invested millions for long-term water programs and TAP projects associated with constructing infrastructure, and we are reliant upon growth to pay for debt service.*
- The Town invested millions to build the PS Miller Regional Park with plans for continued expansion of activities.*

**Implementing the Community Vision through Development Activities**

# DEVELOPMENT TALES

- *The Town invested millions to expand the existing Recreation Center, which also relied upon growth related impact fees, and relies upon growth for annual debt obligations.*
- *The Town invested millions to expand Festival Park consistent with the Council-approved Downtown Plan of Development.*

*What needs to happen to ensure our goals for growth are met?*

- *We expect and demand high quality and consistent leadership.*
- *We expect and demand a team-oriented approach towards all issues.*
- *We expect and demand our team adhere to the established Mission, Vision, and Values.*
- *We expect and demand ongoing discussion with our Council, our community, and our customers to ensure codes and processes result in high quality development.*
- *We expect and demand action-oriented attitudes from our team.*
- *We expect to be held accountable for our actions.*



*Securing future investment in our community depends upon the cooperation of all involved with our community. The ongoing cycle of investment in homebuilding activity and growth of commerce will continue to provide opportunities for success.*



*The holiday season is upon us so please think of family, friends and our neighbors as we work through the hectic days ahead of us.*



**Implementing the Community Vision through Development Activities**

# STAFF SPOTLIGHT

## Meet the staff...

The Development Services Enterprise Team is a diverse group with outstanding professional talent. The team works collectively to accomplish the Mission, Vision, and Values of the organization and to achieve the Enterprise program mission, “Implementing Community Vision through Development Activities.” Each month we will recognize two staff members to provide you with an inside look at the life and work experiences of our teammates. This month we are introducing you to:

### Tammy King, Zoning Manager



Tammy manages staff that process building permits and perform zoning inspection functions and also oversees the Neighborhood Liaison position, who works to bridge communication between government and the residents. Tammy is one of the team members responsible for Municipal Code updates. She has worked in the development world for 39 years, (37 years with Arapahoe County).

Tammy is an outdoor adventurer, who loves snowmobiling, ATV'ing, raising cattle, and spending time with her family, especially her grandbabies.

### Tina Close, Plan Review Supervisor

Tina Close is the Plan Review Supervisor for Castle Rock Water, as part of the DS Enterprise Team. A Nevada native, Tina attended UNLV to become a Weather Forecaster (because weather doesn't change in Nevada), and walked out with a bachelor's degree in Civil Engineering! Tina has been with the Town for 2 years and brings 13 years of plan review experience with her.



Tina is married, with 2 daughters and a dog, affectionately known as, Zipper!

Implementing the Community Vision through Development Activities

# KUDOS

## Special Thanks to Chad Huber, Public Works Inspector

Bill Detweiler, DS Director, announced the developers of the Miller's Landing site went out of their way recently to acknowledge Chad Huber, Public Works Construction Inspector, for the work he is doing on this site. They wish to thank and congratulate Chad for his and the inspection team's cooperation and participation on the landfill remediation at Miller's Landing, and went on to say he is an excellent representative of the Town! **Outstanding work, Chad!**



## Congratulations to Ron Weller, Combo Building Inspector

It was announced on October 17th that Ron Weller, Combination Building Inspector, passed the ICC Residential Electrical Inspector exam. **Great job, Ron!**



## Notable Customer Service by Planning & Development Review Team

Steve Cromer, Director of Entitlements with The Dimension Group sent a note of thanks to Bill Detweiler, DS Director, regarding his site development plan meeting with Town staff:

*"....I just wanted to let you know that our Planner, Brad Boland, did an outstanding job of making sure all of the required personnel were in attendance. In addition, the entire staff was completely up to speed and had answers and a game plan for coordinating these projects moving forward, As you know, this is not the case in many jurisdictions. With that being said, I want to extend kudos to your entire team for making this possible. We work in most every jurisdiction along the front range, and many others, and is an example of how developments should be processed, reviewed, and approved. Thanks again to you and the staff!"*

Brad Boland, Planner II Congratulates Plan Review Teammates:

*"Kudos goes to Tony Marusiak, Tina Close, Michael Troche, Kevin Buffington, TJ Kucewesky, and Dena Paulin, who all participated in the meeting. Both the project engineer and our team understood and appreciated the challenges that come with a development project that will be impacted by a Town project still in the design phase. The discussion was of a positive nature that focused on finding a solution that worked for all involved. Again, our review team deserves all the credit."*



Implementing the Community Vision through Development Activities

# WHAT'S NEW - PEOPLE

## Your Town Academy - DS Presentation

*Your Town Academy is an eight-week class designed to provide Castle Rock residents and business owners a broad formal education on their Town government.*

*The program's purpose is: To increase governmental transparency by increasing community awareness about Town operations, with a hope of improving understanding of service levels. ([crgov.com/2645/Your-Town-Academy](http://crgov.com/2645/Your-Town-Academy))*



On October 1st, Development Services presented, ***"Your Town Character"*** ~

The Development Services staff provided a brief summary explanation for building, planning and zoning activities and held an interactive "mock public hearing," which provided participants with a fun, hands on role-playing experience to help increase better understanding of the land development process. The events were well received and enjoyed by all attending.

Participating DS Staff included Bill Detweiler, DS Director; Tara Vargish, Assistant Director; Joseph Montoya, Chief Building Official; Kevin Wrede, Planning Manager; Tammy King, Zoning Manager; Keith Johnston, Development Review Manager, and Cara Reed, Neighborhood Liaison.

A delicious meal was provided courtesy of Angie's Restaurant.

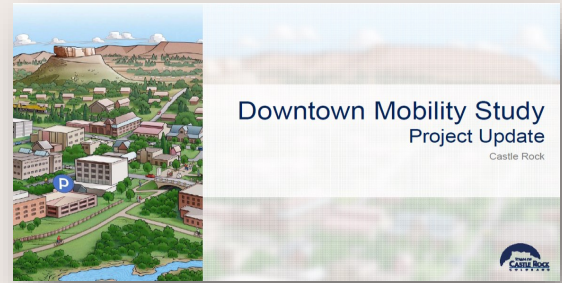


**Implementing the Community Vision through Development Activities**

# WHAT'S NEW - PEOPLE

## Downtown Mobility Open House Held

Julie Kirkpatrick, Long Range Project Manager and Cara Reed, Neighborhood Liaison, attended a Mobility open house conducted by the Public Works Dept. on Wednesday, Oct. 17th where information was provided in order to collect feedback on downtown mobility. A team of experts have been exploring how to improve movement in the downtown area (driving, walking, biking), and the Study, which has been underway since the spring, will build off the Town's Master Plans and the 2017 Downtown Parking Study to define ways to maintain mobility in the Downtown. The feedback collected from the open house will be used to finalize recommendations to present to Town Council for adoption once the study is complete.



Julie Kirkpatrick

Long Range Project Mgr.



Cara Reed

Neighborhood Liaison



Implementing the Community Vision through Development Activities

# WHAT'S NEW - PEOPLE

## Denver Regional Council of Government (DRCOG)

### Citizen's Academy

Citizen's Academy, formerly a program of the Transit Alliance (from 1997 to Jan. 2018), was recently hosted by the Denver Regional Council of Governments (DRCOG). DRCOG is continuing the groundbreaking work of the Alliance by hosting the Academy now and engaging metro-area residents in understanding the relationship between transportation and community development.

Similar to the Town of Castle Rock's "Your Town Academy" program, the DRCOG Citizen's Academy included weeks of lectures, small group activities, and networking.



On October 18th, Tammy King, Zoning Manager, had the opportunity to participate in the DRCOG Citizen's Academy in Denver. She spoke on the Town's Accessory Dwelling Unit regulations and the process used in order for the Town to enact these regulations. Tammy reported that the Town shined as a leader among other jurisdictions, having already gone through the process and she was able to answer some great questions. Afterwards, she attended a tour of existing ADU's in Curtis Park.



**Implementing the Community Vision through Development Activities**

# WHAT'S NEW - PEOPLE



## Urban Land Use Institute (ULI) Annual Conference Boston, Massachusetts

Bill Detweiler, Director of Development Services, attended the Urban Land Use Institute (ULI) Annual Conference in Boston, October 8-12. ULI is a global nonprofit research and education organization with offices in Washington, D.C., Hong Kong, China, London, England and Frankfurt, Germany. Its stated mission is "to provide leadership in the responsible use of land and in creating and sustaining thriving communities worldwide." ULI was founded in 1936 and currently has 40,000 members.

Approximately 7,800 members attended the conference in Boston to participate in sessions related to retail development, existing and future conditions for commercial office space, how technology is changing brick and mortar development and how transportation methods will impact future development of cities, towns and rural areas around the world. Bill noted the diversity of speakers and attendees was impressive and the presentation topics were enlightening. The main theme of the conference was "the pace of change has never been this fast, and will never be this slow again."



(Photo courtesy of ULI.org) For further conference details see the ULI conference website: <https://fall.uli.org/>

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# WHAT'S NEW - PEOPLE

## 2018 Colorado American Planning Association (APA) Annual Conference



Sandy Vossler, Senior Planner, Donna Ferguson, Senior Planner, and Brad Boland, Planner II, attended the annual APA conference held in Keystone, CO. They enjoyed catching up with fellow Colorado planners and sharing experiences and knowledge on land use planning along the front range on subjects such as growing the manufacturing and industrial sectors, the future of retail, as well as neighborhood design.



Sandy Vossler, Senior Planner



Donna Ferguson, Senior Planner



Brad Boland, Planner II



Conference breakout sessions, general sessions, workshops and roundtables were held at the beautiful Keystone Conference Center.

Implementing the Community Vision through Development Activities

# WHAT'S NEW - PEOPLE

## Castle Rock Economic Development Council Annual Conference & Awards



On October 24-26, Tara Vargish, Assistant Director and Keith Johnston, Development Review Manager, attended the Annual Economic Development Council of Colorado (EDCC) Conference, held in Estes Park. The 3-day conference helped guide the attendees through economic challenges and opportunities they will be facing in the near future, and provided resources and solutions to continue Colorado's economy moving forward.

Dave Corliss, Town Manager, and Bill Detweiler, Development Services Director, attended the award ceremony where The Castle Rock Economic Development Council received several impressive awards at this event as follows:

**Castle Rock was awarded “*Large Community of the Year*”** highlighting the Collaboration Campus and redevelopment in Downtown. Mayor Jennifer Green and Town Manager, David Corliss, accepted the award on the Town's behalf.

**The Castle Rock Collaboration Campus was awarded “*Economic Development Partnership of the Year*”** with partnership of Arapahoe Community College, Colorado State University, Douglas County School District, and the Town of Castle Rock.

And the most prestigious recognition....

**“*The Economic Development Achievement Award*” (Economic Developer of the Year)** was awarded to Frank Gray, CEO of the Castle Rock Economic Development Council.

### High five and congratulations to Frank and his team!



Dave Corliss, Town Manager & Mayor Jennifer Green, accepting award  
for Large Community of the Year, pictured with Frank Gray, CEO, Castle Rock EDC



Frank Gray accepting award for  
Economic Developer of the Year

## Implementing the Community Vision through Development Activities

# PROJECT UPDATES

## New October Land Use Submittals (Public Hearings Not Required)

### Crystal Valley Ranch

**Site Plan Amendment:** To revise landscape, walls and signage for single family project east of Lions Paw area.

**Subdivision Improvement Agreement:** For 170 single-family home project, located west of West Loop Road and south of Lions Paw.

**Sanitary Outfall Upsizing Construction Documents:** For project located at the north end of East Loop Road.

**Design Revision:** Of storm drainage pond located southwest of Loop Road.

**Easement Agreement:** For access and maintenance of storm water pond located immediately adjacent and southwest of West Loop Road.

**Grading Erosion & Sediment Control Plans:** For a rough grade of the site and use excess material for projects located in CVR F. No. 15 infrastructure, roadways or landscaping being completed at this time.

### Lanterns

**Site Plan:** For Active Adult Amenity (Phase 1: Clubhouse, pavilion, pool house and open-air tennis pavilion, Phase 2: To expand the event lawn with amphitheater and band shell), located south of the proposed Loop Road near the middle of the Lanterns area.

**Subdivision Plats:** For 106 single-family homes in northwestern portion of overall area and for 85 single-family homes in south-central portion of overall area.

**Design Revision:** To expand early grading for Loop Road, including erosion control.

**Floodplain Modification Study:** Affecting areas throughout the Lanterns project.

**Grading Only and Soil Erosion Control Plans:** For 106 single-family lot subdivision located in the south-central portion of the Lanterns project area, and for 84 single-family lot subdivision located in the south-central portion of the Lanterns project area.

# PROJECT UPDATES

## Meadows

**Tommy Car Wash Site Plan and Soil Erosion Control Plan:** For express car wash facility located near Meadows Parkway and Regent Street, west of the Plum Creek Bridge.

**New Neighborhood Park Stormwater Revision:** Located on Low Meadow Blvd. adjacent to Aspen View Academy.

**Meadows Town Center Luxury Apartments Landscape Revision:** Located northwest of meadows Parkway and Meadows Blvd.

**Meadows Town Center Sherwin Williams Paint Store Site Plan Amendment:** For minor landscape revision located at the corner of Meadows Blvd. and Abrosia.

## Promenade

**Whole Foods Site Plan Revision:** For a façade change, and design revision for grading and utilities, located by TJ Maxx.

## Parks O & M Building

**Parks Operations and Maintenance Building Design Change:** For storm inlet types, minor grading and parking lot striping, located on the north end of Caprice Street.

## Terrain

**Design Change:** For soil erosion control plan, located north of State Hwy 86 near High Point Road. Also a design revision of stockpile on soil erosion control plans, project located on the south side of State Hwy 86 at Autumn Sage.

## Wolfensberger

**Apartments Design Change:** For landscaping, located at the northwest corner of Wolfensberger and Red Hawk Drive.

## Brookside Skilled Nursing Facility

**Brookside Skilled Nursing Facility Construction Documents and Soil Erosion Control Plans:** For 28,000 square-foot nursing facility located on South Perry St., south of Safeway.

## Church of the Rock Sprint Communications

**Use by Special Review Site Plan Under Review:** For a roof antenna at Church of the Rock at 4881 Cherokee Drive.

**IREA Soil Erosion Control Plans:** For trenching adjacent to North Meadows Parkway and US Hwy 85.

Implementing the Community Vision through Development Activities

# PROJECT UPDATES

## Founders Marketplace 7-Eleven

**Design Change:** For sidewalk located at the northeast corner of Founders Pkwy. and Fifth Street.

## Liberty Village

**Cobblestone Ranch Site Plan Amendment:** Revising landscaping for 19 single-family home subdivision located on Castle Oaks Drive between the two Pleasant View Drive intersections.

## Heckendorf Ranch

**Amended Plat:** To subdivide Lot 1 of Filing No. 2 into 2 separate lots. The site is located on the south side of Crystal Valley Parkway and west of Plum Creek Blvd. The total site area is 3.48 acres and will result in a 2.07-acre lot and a 1.41-acre lot.

## Church of the Rock - 4881 Cherokee Drive

**Sprint Proposal:** To erect antennas on the roof of Church of the Rock on 2 corners of the building. Both locations will be fully screened. A small equipment cabinet will be located on the ground and screened. The new equipment will enhance the wireless network and telecommunication operations in the area.

For up-to-date information on current development, please check the Town's website at [www.crgov.com](http://www.crgov.com) and click on the Development Activity Map located at the top of the home page!

## Board and Commission Updates

There were no public hearings scheduled during the month of October.



**MEETING  
MINUTES**



**Implementing the Community Vision through Development Activities**

# WHAT'S NEW - TOWN COUNCIL

## **Rezoning of 1407 N. Park Street to Light Industrial**

On October 16th Town Council approved (5-0) the request to rezone from Planned Development (PD), that only allows general motor vehicle use, to Light Industrial (L-I) Zoning, that would allow a more diverse set of uses for the applicant to help bring in more potential users. A 5,000 square-foot building currently sits on the property and has been used as an automotive shop in the past.

## **Davey Daycare Use by Special Review**

On October 16th Town Council approved (5-0) the Use by Special Review for a day care located at 399 North Gilbert Street, in the Craig & Gould neighborhood. The site improvements include the installation of a playground behind the building and reconfiguration of parking.

## **Epiphany Evangelical Lutheran Church of Castle Rock**

On October 16th Town Council approved (5-0) the Development Agreement amendment for Epiphany Evangelical Lutheran Church of Castle Rock, located at 550 Wolfensberger Rd. Council approval extends use of modulares for storage.



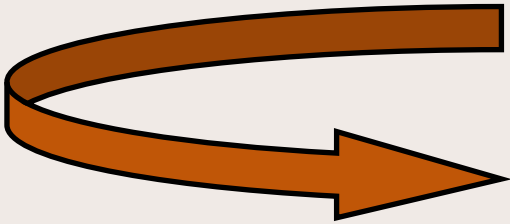
**Implementing the Community Vision through Development Activities**

# WHAT'S NEW - BUILDING DIVISION

## Contractors Luncheon

The October Contractor's Luncheon was held on October 10th and sponsored by Lowe's ProService. The Agenda included:

- \* Jon White & Inspection Team
- \* David Van Dellan—Introduce New DESC Supervisor
- \* Possible Combination of Final DESC Inspection Types
- \* Requesting a DESC Bond Online
- \* Presentation by Lowe's ProService



### Upcoming Contractor's Luncheons:

- \* Wednesday, November 14th
- \* 11:30 a.m. to 1:00 p.m.

**TOWN HALL COUNCIL CHAMBERS**  
**100 N. WILCOX ST.**

(Sponsor is Lennar Homes)

***NO LUNCHEON IN DECEMBER! HAPPY HOLIDAYS!***

- \* Wednesday, January 2019
- \* (Stay tuned for more information)

If you're interested in sponsoring or attending a luncheon or have any questions, our Development Services Technicians would be happy to assist you. Please contact them at 720-733-3527 or [buildingcounter@CRgov.com](mailto:buildingcounter@CRgov.com).



**Implementing the Community Vision through Development Activities**

# WHAT'S NEW - BUILDING DIVISION

## 2018 International Code Council (ICC) Annual Conference & Code Hearings October 19-24

Andy Blake, Plans Examiner, and ICC Board member, and Amy Shalz, Plans Examiner, attended the 2018 Conference and Code Hearing Expo in Richmond, VA.

Andy participated as a Board member and Amy participated in the Board Shadow Program attending the Code Hearings and Expo to learn from the internationally recognized experts in the building safety industry.



Andy Blake, Plans Examiner



Amy Shalz, Plans Examiner



Colorado Chapter Attendees: Andy Blake (center)



Colorado Chapter Group. Amy Shalz (front row, 3rd from right)



Board "Shadow Group" Amy Shalz (2nd row, 2nd from left)



Amy at Code Hearings

Implementing the Community Vision through Development Activities

# WHAT'S NEW - BUILDING DIVISION



Joseph Montoya  
Chief Building Official

## Johnson County Kansas Plumbing Contractor Classes October 29-31



Back by popular demand, Joseph Montoya, Chief Building Official, was invited back to Johnson County, Kansas, after instructing one class in the spring of this year, to teach three plumbing classes as part of the 2018 Johnson County, Kansas, Plumbing Contractor courses where he provided 3 full days of plumbing classes in October. Joseph taught the following classes: Plumbing Inspections, Plumbing Plan Review and Plumbing Provisions of the International Residential Code.

Joseph's wealth of knowledge and experience, along with his great passion for teaching, makes him continually in demand to provide instruction not only in the Castle Rock Building Community, but to neighboring communities as well, such as at Red Rocks Community College, where he has taught plumbing classes for several years, in addition to providing instruction at the Community College of Denver, where he teaches building code classes.



Implementing the Community Vision through Development Activities

# WHAT'S NEW - GENERAL



To view public notices, please visit:  
[CRgov.com/notices](http://CRgov.com/notices)

For planning questions, please email:  
[Planning@CRgov.com](mailto:Planning@CRgov.com)

For zoning questions, please email:  
[Zoning@CRgov.com](mailto:Zoning@CRgov.com)

To view building info, please visit:  
[CRgov.com/building](http://CRgov.com/building)

For code information, please visit:  
[CRgov.com/CodeCentral](http://CRgov.com/CodeCentral)



**"If winter is slumber and spring is birth, and summer is life, then autumn rounds out to be reflection."**

**~Mitchell Burgess**

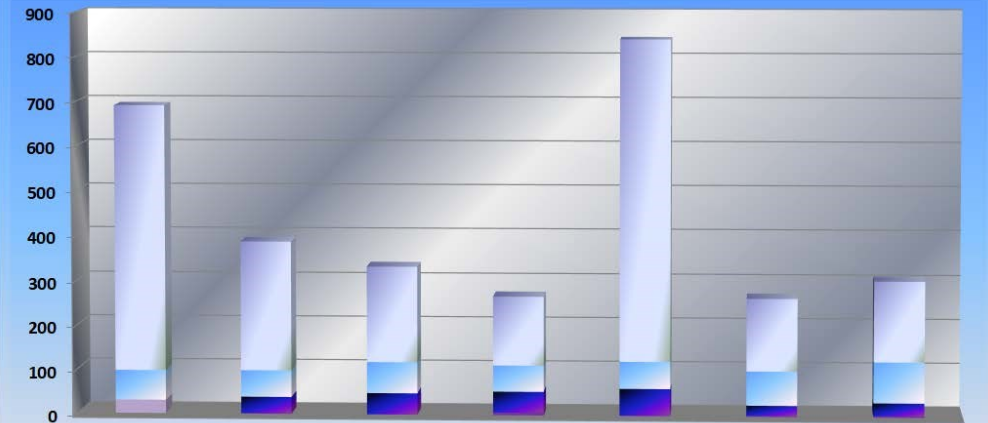
To subscribe to this monthly report via E-mail, please send your request to [\*Planning@crgov.com\*](mailto:Planning@crgov.com).

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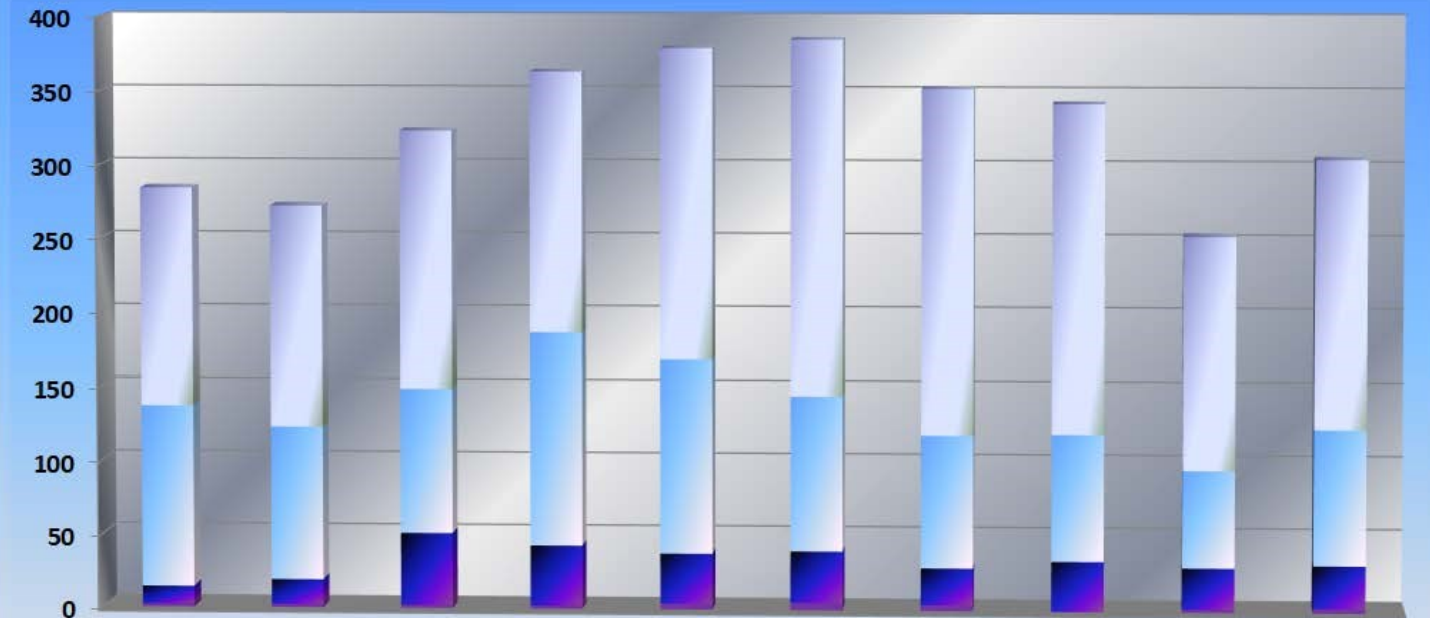
# CORE SERVICE LEVELS

## Building Division

BUILDING PERMIT APPLICATIONS RECEIVED  
OCTOBER 2012 - 2018



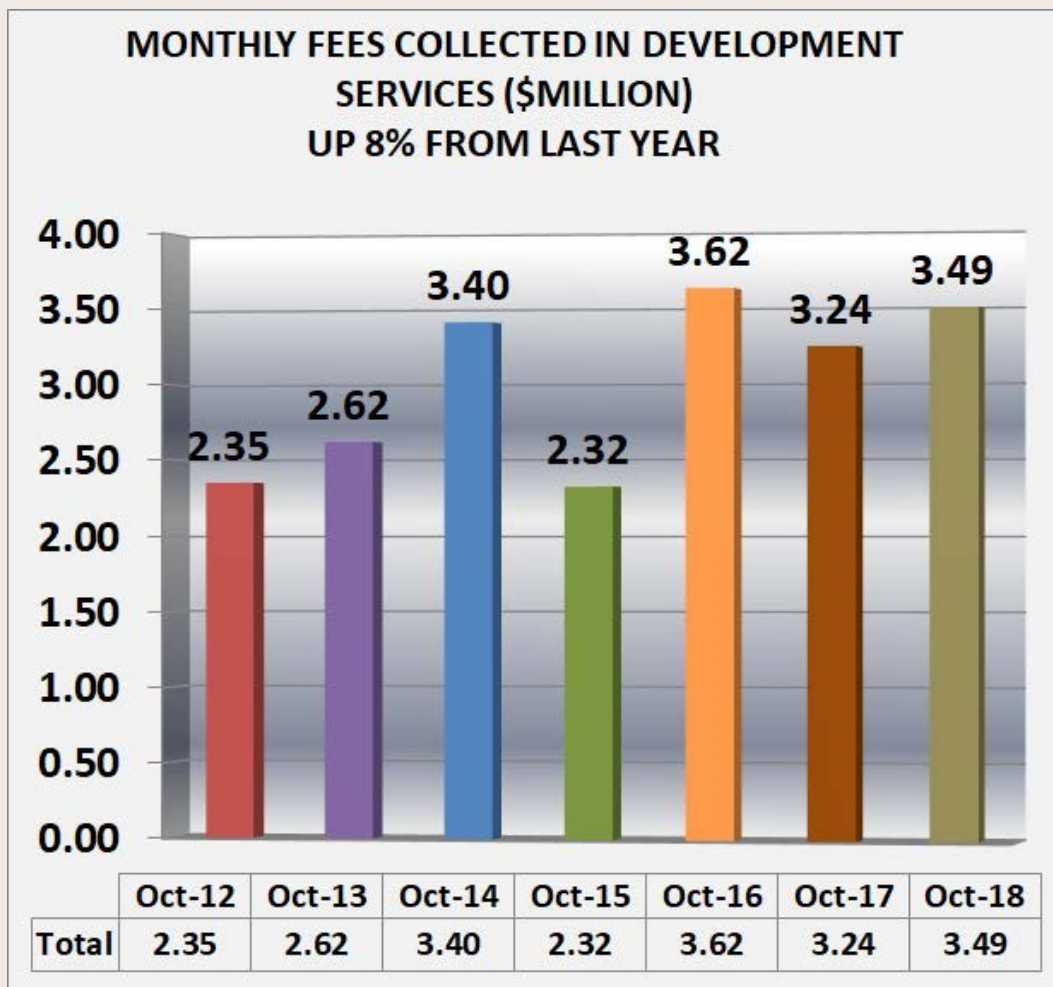
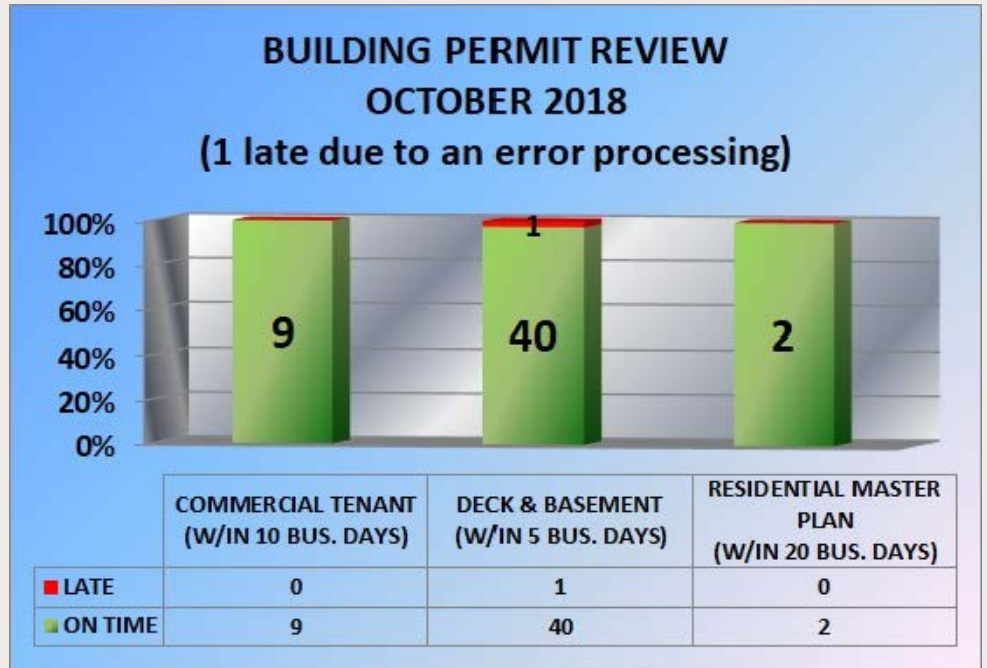
BUILDING PERMIT APPLICATIONS RECEIVED  
THROUGH OCTOBER 2018



Implementing the Community Vision through Development Activities

# CORE SERVICE LEVELS

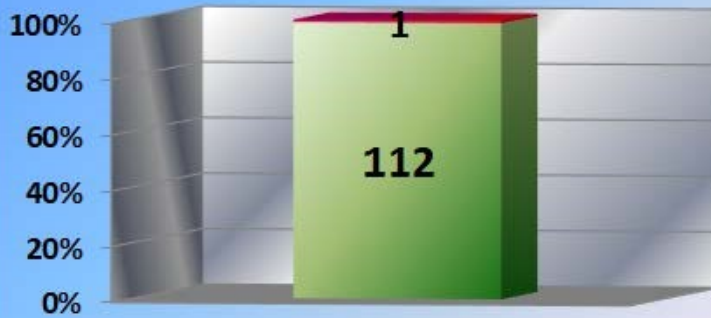
## Building Division



Implementing the Community Vision through Development Activities

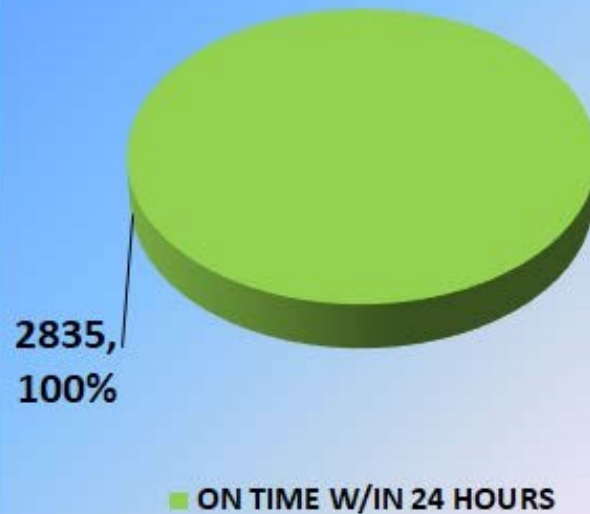
# CORE SERVICE LEVELS

## FEEs CALCULATED (W/IN 3 DAYS) (1 late due to error)



**Building  
Division**

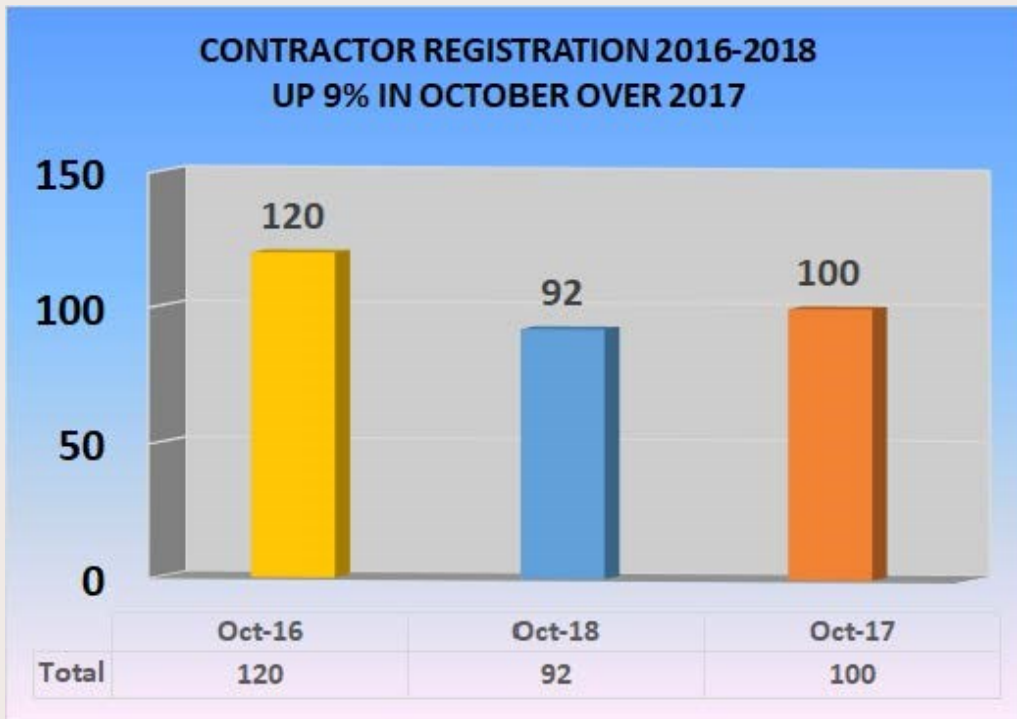
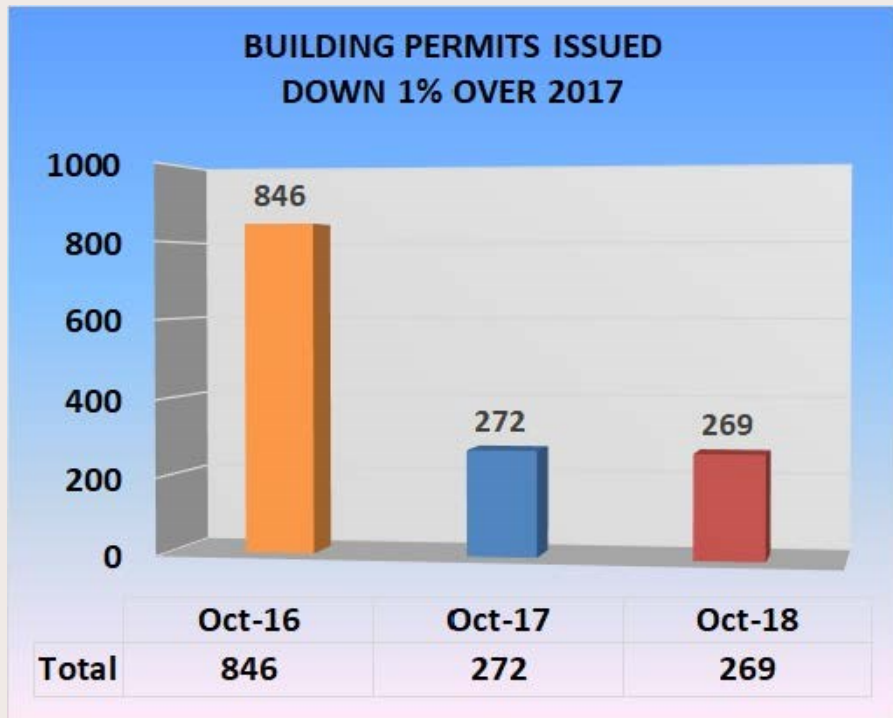
## BUILDING INSPECTIONS OCTOBER 2018



**Implementing the Community Vision through Development Activities**

# CORE SERVICE LEVELS

## Building Division



Implementing the Community Vision through Development Activities

# CORE SERVICE LEVELS

## Code Compliance

### CODE COMPLAINT RESPONSES (W/IN 2 BUS. DAYS)



Sep-18	
LATE	0
ON TIME	16

### BUS. LICENSES REVIEWED (W/IN 7 BUS. DAYS)



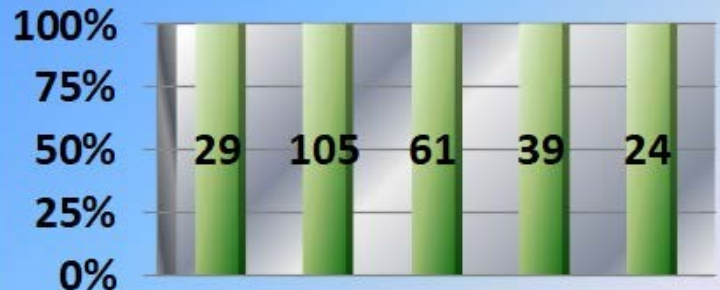
Oct-18	
LATE	0
ON TIME	24

### NOTICE OF VIOLATION (W/IN 10 BUS. DAYS)



Oct-18	
LATE	0
ON TIME	6

### BUS. LICENSES REVIEWED (W/IN 7 BUS. DAYS)



	Oct-14	Oct-15	Oct-16	Oct-17	Oct-18
LATE	0	0	0	0	0
ON TIME	29	105	61	39	24

# CORE SERVICE LEVELS

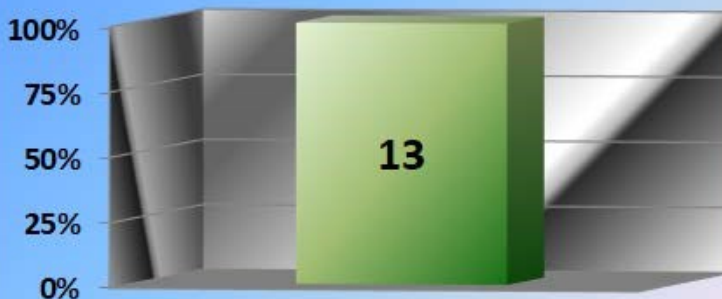
## Code Compliance

### SIGN COMPLAINT RESPONSE (W/IN 24 HOURS)



	Oct-18
LATE	0
ON TIME	2

### SIGN PERMIT REVIEW (W/IN 14 BUS. DAYS)



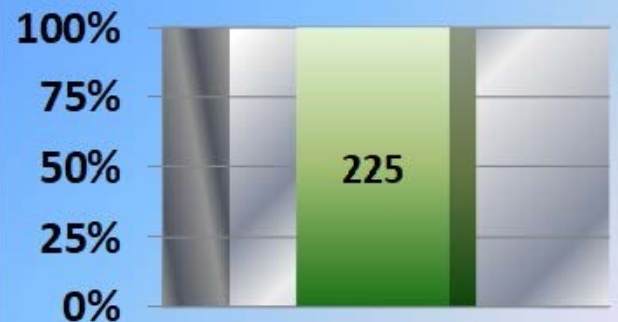
	Oct-18
ON TIME	13

### SITE VISITS (W/IN 5 BUS. DAYS)



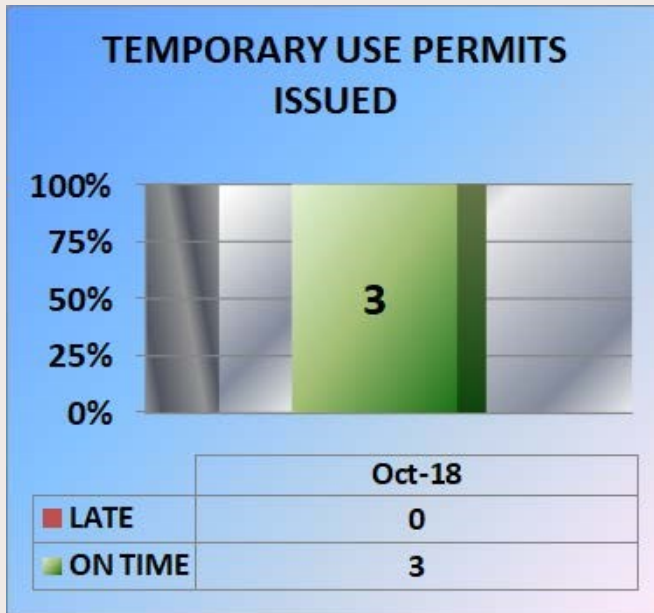
	Oct-18
LATE	0
ON TIME	37

### SIGNS REMOVED FROM ROW (W/IN 7 BUS. DAYS)



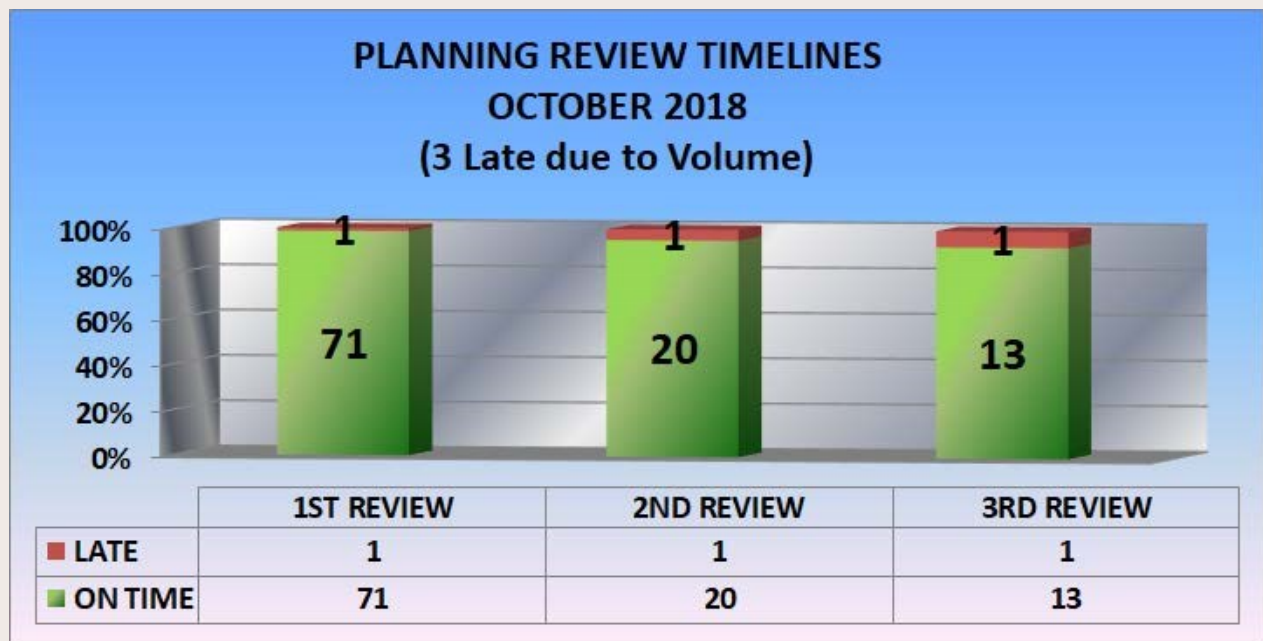
	Oct-18
LATE	0
ON TIME	225

# CORE SERVICE LEVELS



**Zoning  
Division**

**Planning  
Division**

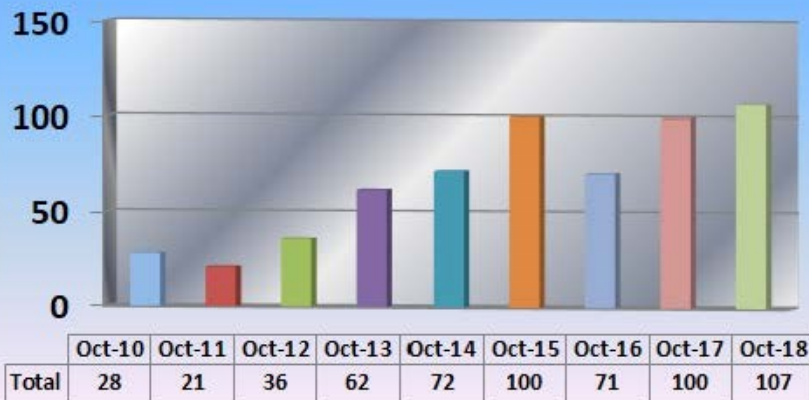


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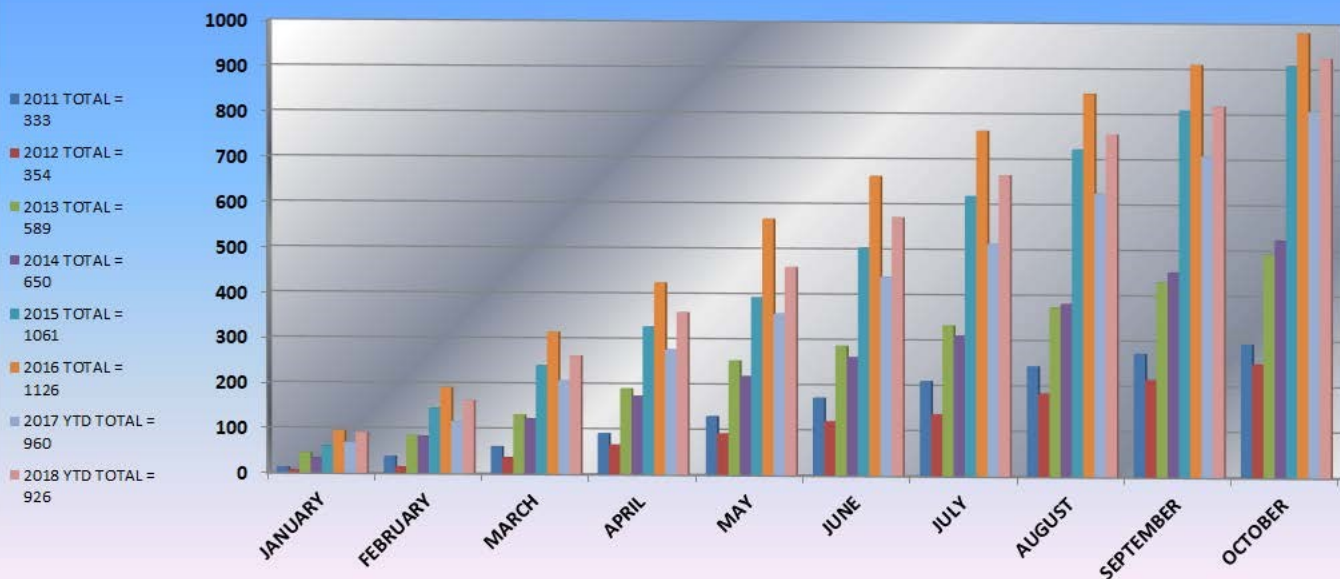
# DEVELOPMENT ACTIVITY

## Planning Division

### PLANNING/DEVELOPMENT REVIEWS OCTOBER 2010- 2018 (UP 7% OVER 2017)



### CUMULATIVE YEARLY TOTAL PLANNING/DEVELOPMENT UP 14% OVER 2017 THROUGH OCTOBER

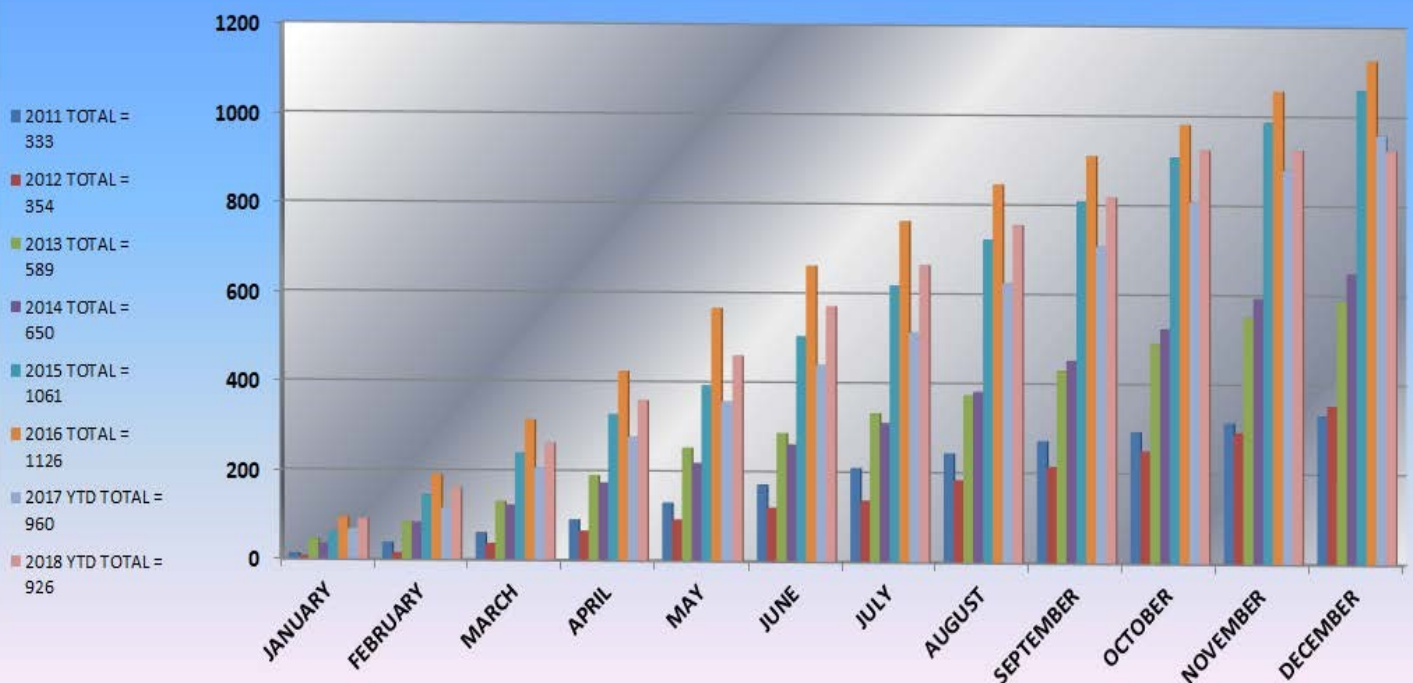


Implementing the Community Vision through Development Activities

# DEVELOPMENT ACTIVITY

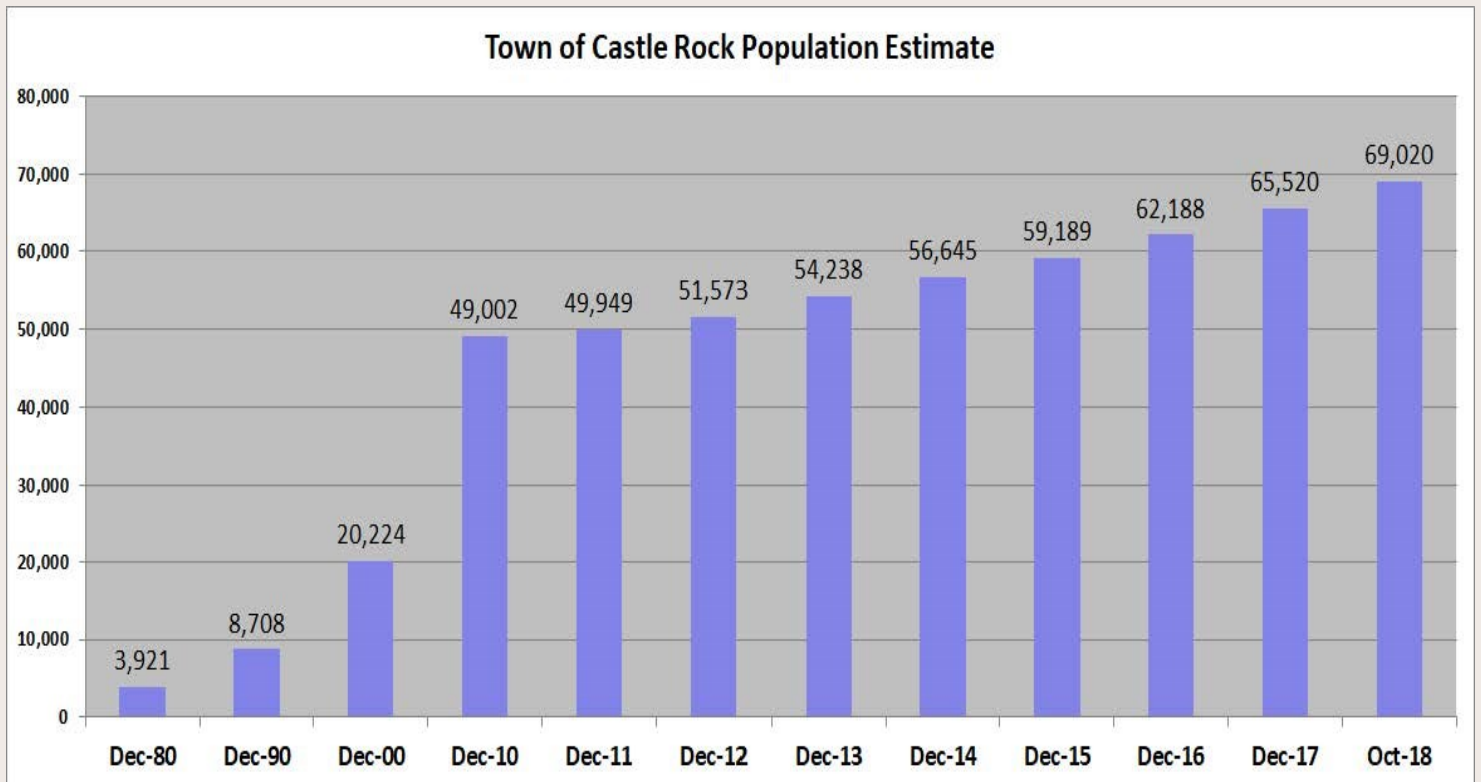
## Planning Division

**CUMULATIVE YEARLY TOTAL PLANNING/DEVELOPMENT  
UP 14% OVER 2017 THROUGH OCTOBER**



**Implementing the Community Vision through Development Activities**

# POPULATION ESTIMATE



**Implementing the Community Vision through Development Activities**