

LOT 10A, B 10, CRAIG AND GOULD'S ADDITION TO CASTLE ROCK, 13TH AMENDMENT
USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

LOCATED IN SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



1
1 OF 6

VICINITY MAP
SCALE: NOT TO SCALE

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF PRIVATE UTILITIES HAS BEEN DESIGNATED UTILITY QUALITY LEVEL D. THESE QUALITY LEVELS WERE DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE DATA". THE CONTRACTOR IS TO DETERMINE THE TYPE AND LOCATION OF PRIVATE UTILITIES AS MAY BE DEEMED NECESSARY TO AVOID DAMAGE THERETO.

Sheet List Table	
SHEET NUMBER	SHEET TITLE
1 OF 6	COVER SHEET
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6 OF 6	SITE DETAILS

LEGAL DESCRIPTION:
LOT 10A, BLOCK 10, CRAIG AND GOULD'S ADDITION TO CASTLE ROCK, 13TH AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO.

PLANNING COMMISSION RECOMMENDATION

THIS SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF CASTLE ROCK, COLORADO, ON THE ____ DAY OF _____, 2018.

CHAIR _____ DATE _____
ATTEST: _____

DIRECTOR OF DEVELOPMENT SERVICES _____ DATE _____

TOWN COUNCIL APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE ____ DAY OF _____, 2018.

MAYOR _____ DATE _____
ATTEST: _____

TOWN CLERK _____ DATE _____

OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL THE OWNERS OF THE PROPERTY DESCRIBED HEREON IN THE TOWN OF CASTLE ROCK.

JOSHUA ROBERT DAVEY

LEAH DAVEY

SUBSCRIBED AND SWORN BEFORE ME THIS ____ DAY OF _____, 20____ BY JOSHUA ROBERT DAVEY AND LEAH DAVEY.

NOTARY PUBLIC

LIENHOLDER SUBORDINATION CERTIFICATE:

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED ON NOVEMBER 16TH, 2017 AT RECEPTION NO. 2017077959, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

GREAT WESTERN BANK

BY _____.

SIGNED THIS ____ DAY OF _____, 2018.

SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ DAY OF _____, 2018 BY _____

AS _____ OF GREAT WESTERN BANK.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

TITLE CERTIFICATION:

I, _____, AN AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AN LIEN HOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS ____ DAY OF _____, 2018

SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ DAY OF _____, 2018 BY _____ AS AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE COMPANY.

WITNESS MY HAND AND SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

SURVEYOR'S CERTIFICATE:

I, DEE ALLEN BIRD, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WERE MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

DEE ALLEN BIRD _____ DATE _____

CIVIL ENGINEER'S STATEMENT:

I, BRIAN W. FRANK, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT PROPOSED GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN SUBSTANTIAL CONFORMANCE WITH THE TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS, EXCEPT WHERE VARIANCES HAVE BEEN ALLOWED OR IMPLIED, OR WHERE STANDARDS CONFLICT.

BRIAN W. FRANK, PROFESSIONAL ENGINEER
COLORADO P.E. NO. 53667
FOR AND ON BEHALF OF WSB & ASSOCIATES

BASIS OF BEARINGS:

THE BASIS OF BEARING IS THE EAST PROPERTY LINE OF LOT 10A, BLOCK 10 - ASSUMED TO BEAR S 00°54'41" E.

DOUGLAS COUNTY CLERK AND RECORDERS CERTIFICATE:

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT _____ ON THE DAY OF _____, 2018 AT RECEPTION NO. _____.

DOUGLAS COUNTY CLERK AND RECORDER

BY: _____
DEPUTY

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND REQUIREMENTS OF THE DETAILED SPECIFICATIONS.
- OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PAY ALL PERMIT AND OTHER ASSOCIATED FEES REQUIRED BY LOCAL, STATE, AND FEDERAL AGENCIES.
- THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY MARKING AUTHORITY PRIOR TO CONSTRUCTION.

CONTRACTOR:

MW GOLDEN CONSTRUCTORS
1700 PARK STREET
CASTLE ROCK, COLORADO 80109

ENGINEER / PLANNER:

WSB & ASSOCIATES INC.
720 SOUTH COLORADO BLVD
DENVER, COLORADO 80246

OWNER:

JOSHUA ROBERT DAVEY & LEAH DAVEY
1622 FAIRFAX COURT
CASTLE ROCK, COLORADO 80104

LOT 10A, B 10, CRAIG AND GOULD'S ADDITION TO CASTLE ROCK, 13TH AMENDMENT
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PROJECT NO. USR18-0002

EXHIBIT 1



WSB PROJECT NO.:
011554-000

SCALE: AS SHOWN
DESIGN BY: BWF
PLAN BY: SSP
CHECK BY: JJM

REVISIONS	
NO.	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR RECORD WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF COLORADO.

BRIAN W. FRANK, P.E.
DATE: 03/29/2018 LIC. NO. 53667

DAVEY DAYCARE CENTER

CASTLE ROCK, COLORADO

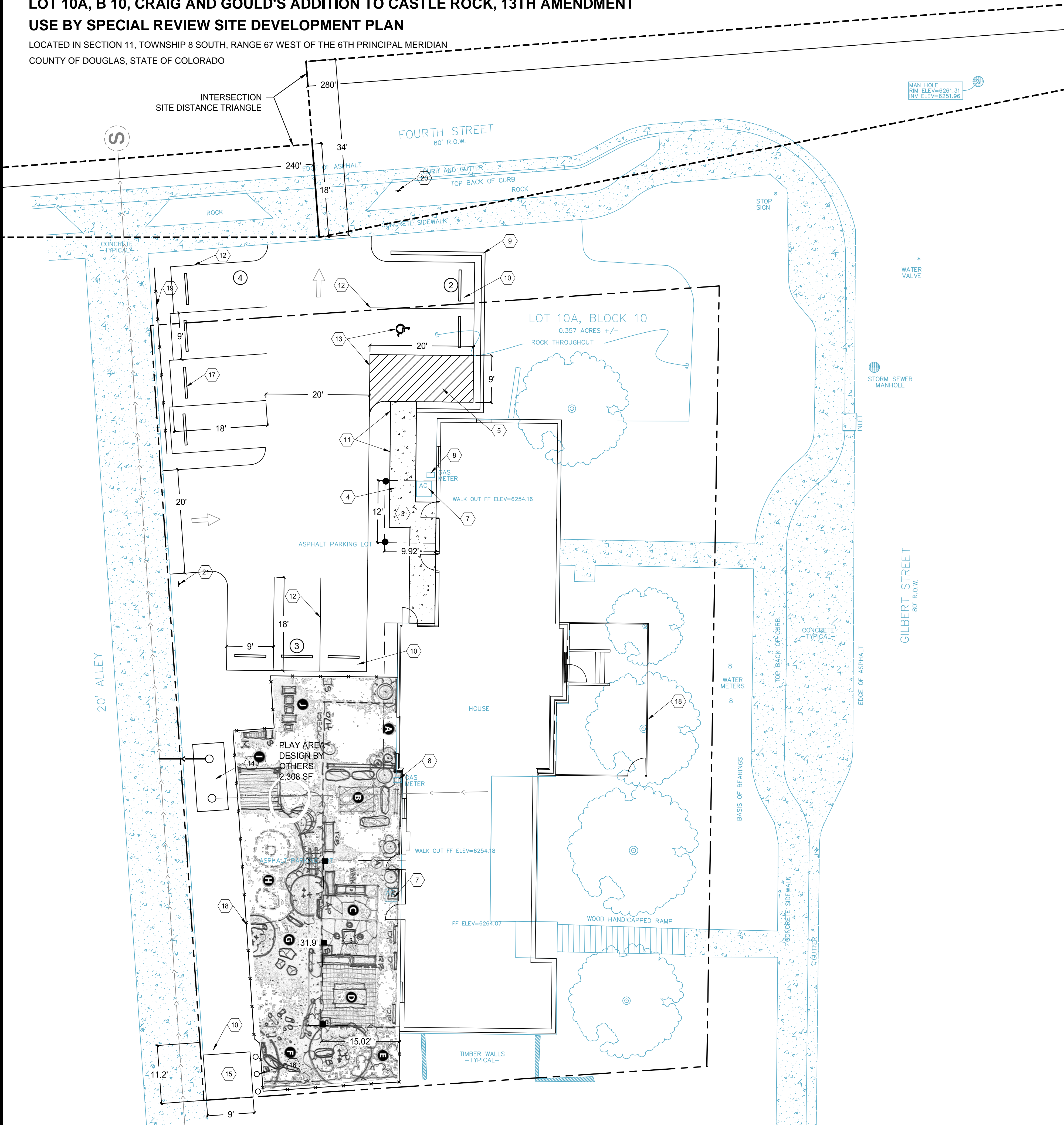
COVER SHEET

SHEET

1 OF 6

LOT 10A, B 10, CRAIG AND GOULD'S ADDITION TO CASTLE ROCK, 13TH AMENDMENT
USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

LOCATED IN SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



SITE CAPACITY CALCULATIONS:

ZONING: R-2
PROPOSED USE: DAY CARE CENTER
CATEGORY: USE BY SPECIAL REVIEW

BASE SITE AREA:
BASE SITE AREA: 15,537 SF
EXISTING STRUCTURE
FLOOR AREA: 3,278 SF

EXTERIOR STORAGE:
ALL REFUSE WILL BE CONTAINED WITHIN
THE BUILDINGS OR WITHIN DESIGNATED
LOCATION ON SITE.

REQUIRED FOR DAY CARE CENTER:
1 STALL PER EMPLOYEE
1 STALL PER 6 CHILDREN
1 STALL PER FACILITY OWNED VEHICLE

36 CHILDREN / 6 STALLS = 6 STALLS
5 EMPLOYEES / 1 STALL = 5 STALLS

TOTAL REQUIRED: 11 STALLS

PROVIDED FOR DAY CARE CENTER:
8 STANDARD STALLS
1 ACCESSIBLE STALLS

TOTAL PROVIDED: 9 STALLS

*AS APPROVED PER TECHNICAL CRITERIA
VARIANCE TCV18-0042

KEYNOTES

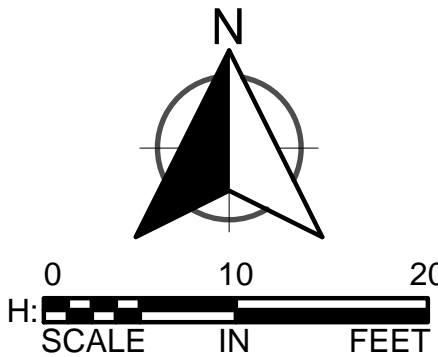
- 1 NOT USED.
- 2 NOT USED.
- 3 PROPOSED DECK OVERHEAD.
- 4 REMOVE CURB STOPPER.
- 5 REMOVE TIMBER WALL.
- 6 NOT USED.
- 7 PROTECT EXISTING A/C UNIT.
- 8 PROTECT EXISTING GAS METER.
- 9 MODULAR BLOCK RETAINING WALL, 0-3' IN HEIGHT. DESIGN BY OTHERS.
- 10 PROPOSED BITUMINOUS PAVEMENT.
- 11 PROPOSED CONCRETE SIDEWALK.
- 12 PARKING STRIPE, 4" WIDE, WHITE; TYPICAL.
- 13 HANDICAP ACCESSIBLE PARKING STALL WITH STRIPING AND SIGNAGE.
- 14 PROPOSED GREASE INTERCEPTOR. DESIGN BY OTHERS.
- 15 PROPOSED TRASH ENCLOSURE, SEE DETAIL 1/6.
- 16 VEHICLE BOLLARD.
- 17 CONCRETE WHEEL STOP (TYP).
- 18 6' TALL CEDAR PRIVACY FENCE.
- 19 4' TALL CEDAR PRIVACY FENCE.
- 20 "DO NOT ENTER" SIGN.
- 21 "ENTER ONLY" SIGN.

SITE PLAN NOTES

- 1. REFER TO ARCHITECTURAL AND/OR STRUCTURAL PLANS FOR ACTUAL BUILDING DETAIL AND DIMENSION.
- 2. MINIMUM PARKING STALL DIMENSIONS ARE 9' X 20'.
- 3. ALL HANDICAPPED PARKING SHALL BE VAN ACCESSIBLE WITH MINIMUM STALL DIMENSIONS OF 9' X 20' WITH AN ADJACENT STRIPED ACCESS ROUTE OF THE SAME DIMENSION.
- 4. ONE WAY PARKING DRIVE AISLES ARE 20' IN WIDTH MINIMUM.
- 5. REFER TO GRADING AND DRAINAGE PLANS FOR TOPOGRAPHIC INFORMATION AND STORMWATER DESIGN DETAILS.
- 6. DIMENSIONS ARE TO EDGE OF PAVEMENT, CURB GUTTER-LINE, OUTSIDE FACE OF BUILDING, OR EDGE OF WALK UNLESS OTHERWISE NOTED.

LEGEND

- PROPOSED FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM MANHOLE
- EXISTING PROPERTY LINE
- PARKING STALL COUNT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED BITUMINOUS
- BITUMINOUS TO BE REMOVED
- CONCRETE TO BE REMOVED



WSB PROJECT NO.:
011554-000

SCALE: AS SHOWN
DESIGN BY: BWF
PLAN BY: SSP
CHECK BY: JJM

NO.	DATE	DESCRIPTION

DAVEY DAYCARE CENTER
CASTLE ROCK, COLORADO

SITE PLAN

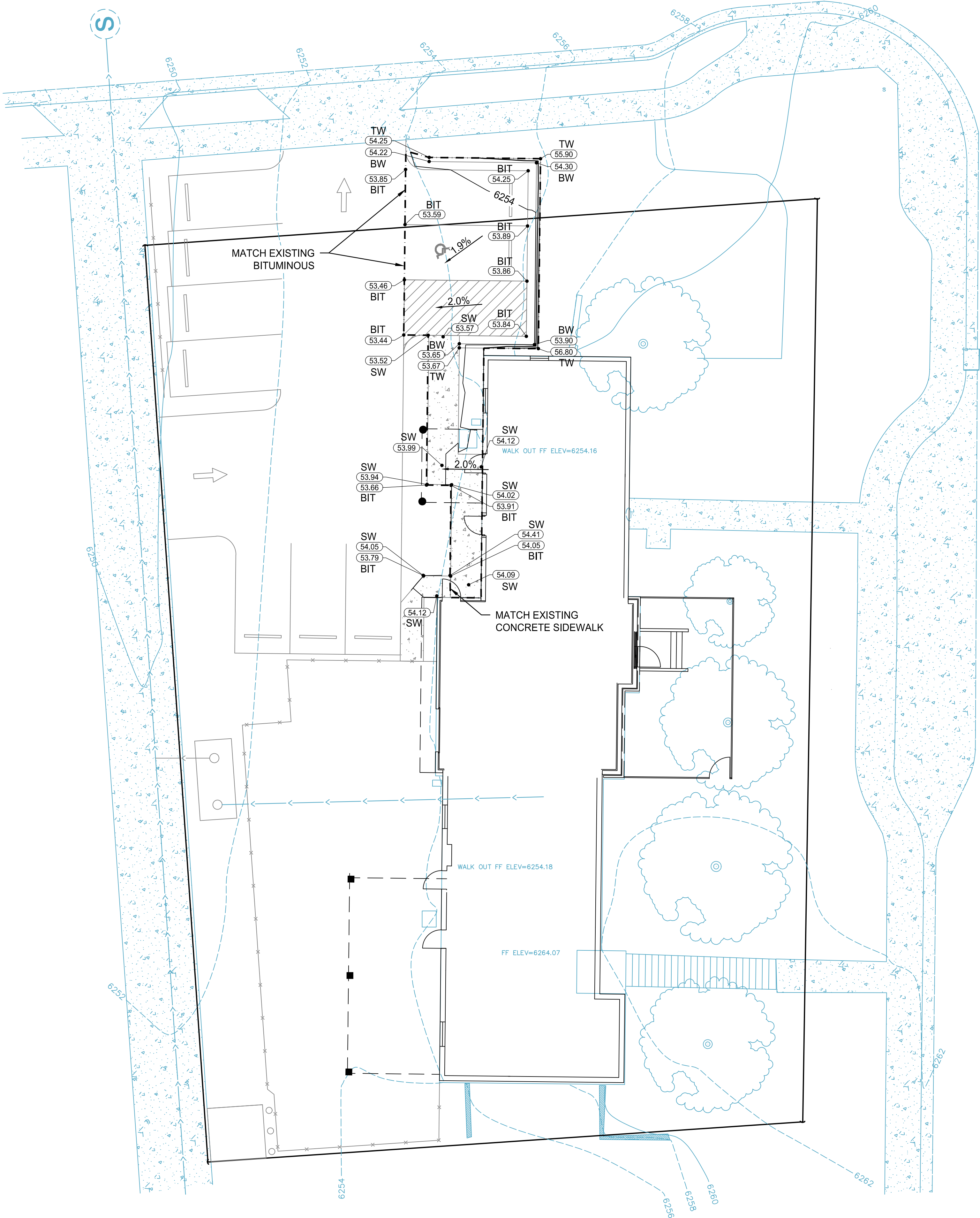
SHEET

2 OF 6

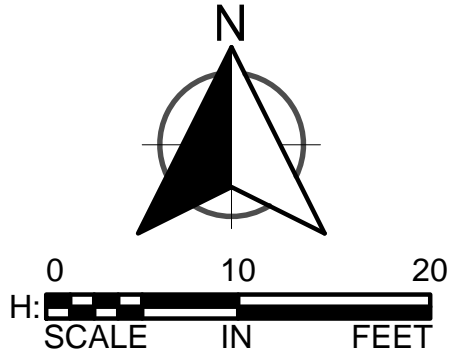
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COUNTY OF DOUGLAS, STATE OF COLORADO



MAN HOLE
RIM ELEV=54.25
INV. ELEV=53.96



LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED SPOT ELEV.
- EXISTING SPOT ELEV.
- EXISTING SANITARY SEWER
- GRADING LIMITS
- EXISTING CONCRETE
- BIT
- SW
- TW
- BW
- BITUMINOUS SURFACE
- CONCRETE SIDEWALK
- TOP OF WALL GRADE
- BOTTOM OF WALL GRADE

LAND USE SUMMARY:				
PARCEL	TOTAL AREA	DISTURBED AREA	EXISTING IMPERVIOUS	PROPOSED IMPERVIOUS
LOT 10A	0.36 AC	0.15 AC	0.23 AC (64.0%)	0.19 AC (53.0%)

GRADING NOTES

- RELOCATE BENCHMARKS AS NECESSARY WITH NEW BENCHMARK LOCATIONS WITHIN A TOLERANCE OF 0.010 VERTICAL FEET.
- GRADING ACTIVITY WHICH BLOCKS TRAFFIC OF ANY STREET, ALLEY, OR DRIVE IS SUBJECT TO APPROVAL BY THE CITY.
- CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER AND OWNER IF CONTAMINANTS ARE FOUND IN THE EXISTING SOILS.
- SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0% AND LONGITUDINAL SLOPES SHALL NOT EXCEED 5.0% UNLESS OTHERWISE NOTED.
- IN AREAS WHERE NEW FILL IS TO BE PLACED ON SLOPING GROUND, BENCHING THE SURFACE SHALL BE COMPLETED PRIOR TO PLACING THE FILL. BENCHING SHALL BE COMPLETED WHERE SLOPES ARE STEEPER THAN 4:1 (HORIZONTAL:VERTICAL).
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO POND IN EXCAVATION AREAS, AND MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
- UNLESS OTHERWISE NOTED, FINISH GRADE SHALL BE SIX INCHES BELOW FINISHED FLOOR IN NON-PAVED AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS IN THE EXECUTION OF WORK UNDER THIS CONTRACT.
- ALL NON-PAVED AREAS SHALL RECEIVE A FOUR-INCH (4") LAYER OF TOPSOIL. REFER TO LANDSCAPE PLANS FOR AREAS TO RECEIVE PERMANENT SEED, SOD, & TREES.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL MANHOLE STRUCTURES AND APPURTENANCES THAT FALL WITHIN THE LIMITS OF THIS CONTRACT. THE CONTRACTOR SHALL KEEP ALL SAID EXISTING UTILITIES AND THEIR APPURTENANCES FREE OF DEBRIS AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.
- ALL GRADES WITHIN THE LANDSCAPED AREA SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL AND HAVE A MINIMUM GRADE OF 2%, UNLESS OTHERWISE NOTED.
- TEMPORARY STOCKPILES INCLUDE ADDITIONAL SEDIMENT CONTROL AND TEMPORARY COVER AFTER 14 DAYS (7 DAYS IF DISCHARGING TO AND WITHIN ONE MILE OF IMPAIRED WATER).
- OWNER UNDERSTANDS THAT SOME SLOPES ARE <2.0% AND ACCEPTS RESPONSIBILITY FOR THE <2.0% SLOPE.

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PLAN BY: SSP
CHECK BY: JLM

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BRIAN W. FRANK, P.E.

DATE: 03/29/2018 LIC. NO.: 53667

DAVEY DAYCARE CENTER

CASTLE ROCK, COLORADO

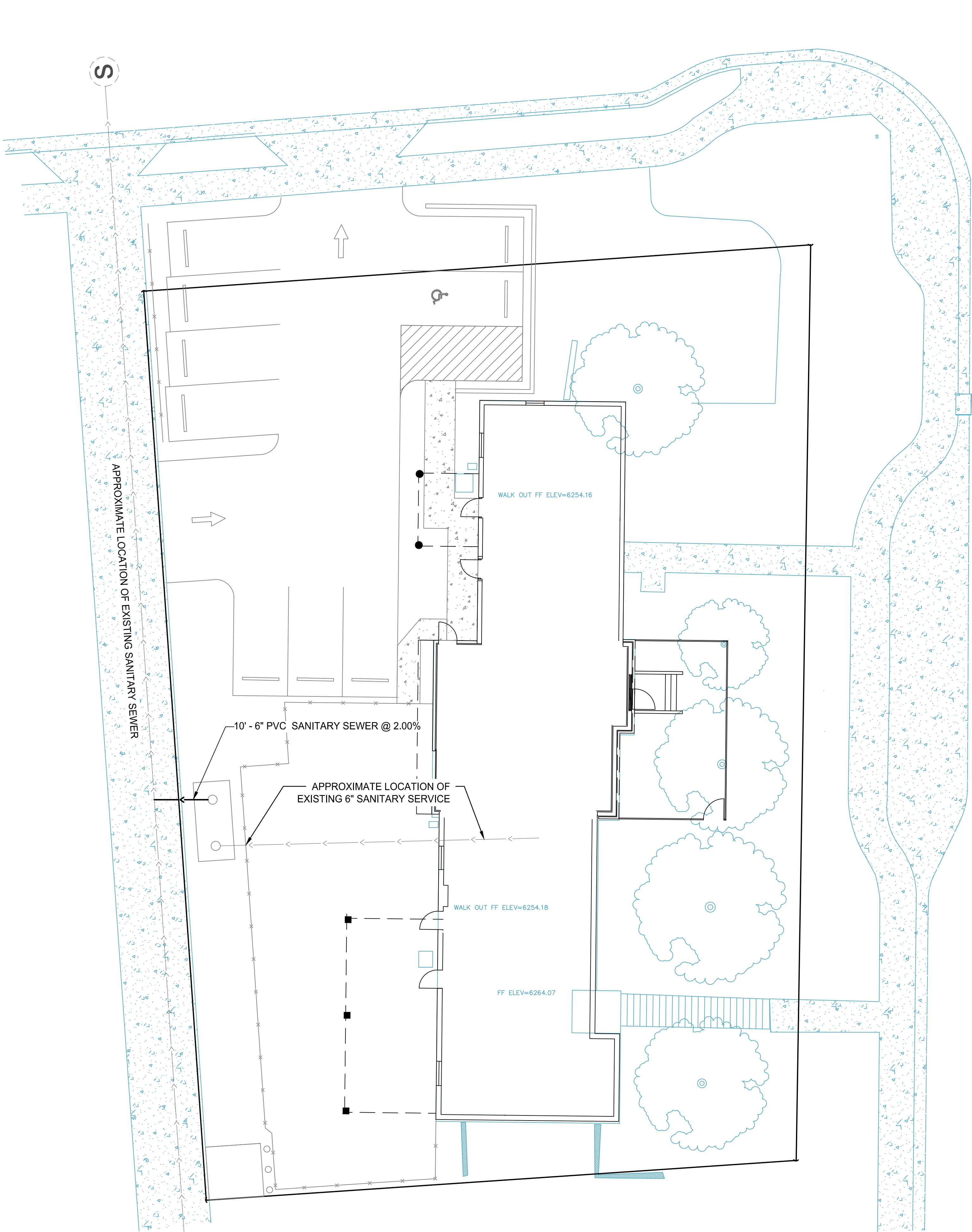
GRADING PLAN

SHEET

3 OF 6

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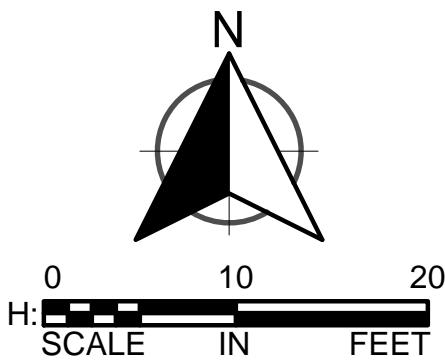
MAN HOLE
RIM ELEV=6261.31
INV. ELEV=6261.96

UTILITY NOTES

- COORDINATE INSPECTION AND TESTING FOR ALL UNDERGROUND UTILITIES WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES. COMPLY WITH ALL LOCAL REQUIREMENTS. CONDUCT ALL TESTS TO THE SATISFACTION OF THE LOCAL AUTHORITIES.
- COORDINATES ARE TO END OF PIPE, CENTER OF APPURTENANCE, OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- ALL UTILITIES AND CONDUITS SHALL TERMINATE 5' OUTSIDE THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES AND SERVICE LINES SHALL BE KEPT IN SERVICE AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT, UNLESS OTHERWISE AUTHORIZED BY OWNER.
- REPORT ANY DISCREPANCIES TO THE ENGINEER. RECONNECT ALL SERVICES NOT MARKED FOR REMOVAL OR AS DIRECTED BY THE OWNER.
- REFER TO MECHANICAL PLANS FOR CONTINUATION OF UTILITIES INTO THE BUILDING.
- 10-FOOT HORIZONTAL SEPARATION REQUIRED BETWEEN SEWER LINES AND/OR STRUCTURES AND POTABLE WATER LINES.
- MINIMUM 6-INCH VERTICAL SEPARATION REQUIRED AT ALL UTILITY CROSSINGS. POTABLE WATER LINES SHALL BE MINIMUM 18" ABOVE OR 18" BELOW SEWER LINES AT CROSSINGS. WHERE POTABLE WATER IS LOCATED BELOW OR LESS THAN 18" ABOVE SEWER LINES, SEWER PIPES SHALL BE PRESSURE RATED PVC (C900, SCH 40, SCH 80 OR SDR 26 PER ASTM D2241).
- CONTRACTOR SHALL IDENTIFY, FIELD VERIFY AND COORDINATE ALL EXISTING AND PROPOSED UTILITY CROSSINGS IN THE FIELD. REPORT CONFLICTS REQUIRING REDESIGN TO THE ENGINEER OF RECORD.
- REFER TO ELECTRICAL AND MECHANICAL PLANS FOR CONNECTIONS AT BUILDING FOR GAS, POWER AND COMMUNICATIONS. CONTRACTOR TO COORDINATE SERVICES WITH LOCAL UTILITY PROVIDERS, ARCHITECTURAL PLANS AND SPECIFICATIONS AND BUILDING CONTRACTOR PRIOR TO INSTALLATION.

LEGEND

- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM MANHOLE
- EXISTING CONCRETE



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DAVEY DAYCARE CENTER

CASTLE ROCK, COLORADO

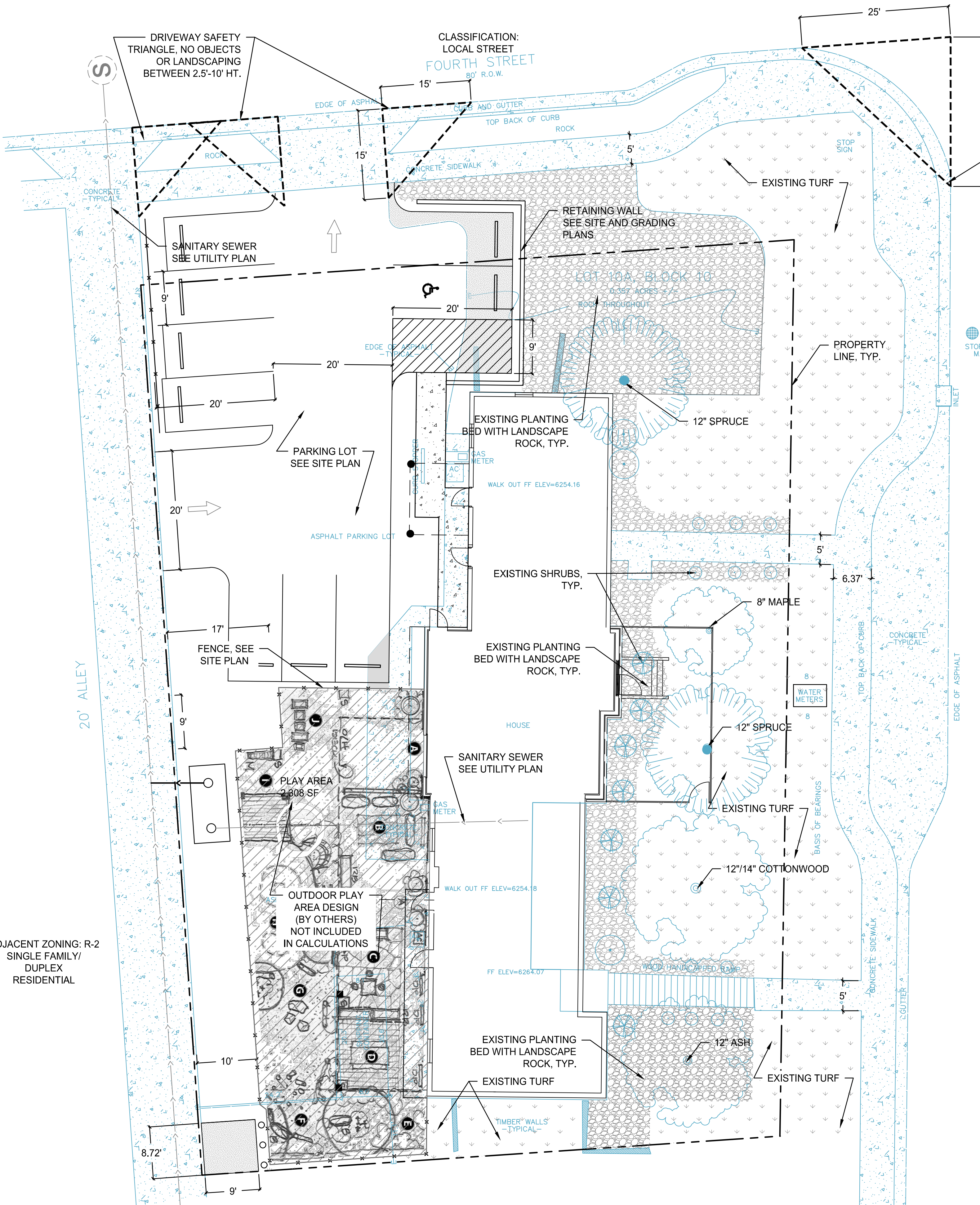
UTILITY PLAN

SHEET

4 OF 6

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SITE CAPACITY CALCULATIONS:

ZONING: R-2
PROPOSED USE: SCHOOL
CATEGORY: USE BY SPECIAL REVIEW

BASE SITE AREA:
BASE SITE AREA: 15,537 SF
EXISTING STRUCTURE
FLOOR AREA: 3,278 SF

EXTERIOR STORAGE:
ALL REFUSE WILL BE CONTAINED WITHIN
THE BUILDINGS OR WITHIN DESIGNATED
LOCATION ON SITE.

LANDSCAPE REQUIREMENTS

REQUIRED: 2 LARGE TREES AND 4 SHRUBS FOR EACH 1,000 SF
OF REQUIRED LANDSCAPE AREA.

10% OF 15,537 SF = 1,554 SF REQ. LANDSCAPE AREA
THEREFORE: 1,554/1,000 = 1.6

TREES = 1.6 * 2 = 3.2 = 3 TREES REQ.
SHRUBS = 1.6 * 4 = 6.4 = 6 SHRUBS REQ.

PROVIDED: 5 LARGE EXISTING TREES ON SITE
21 EXISTING SHRUBS ON SITE

NO NEW LANDSCAPING IS PROPOSED AS PART OF THIS PROJECT.

LANDSCAPE NOTES

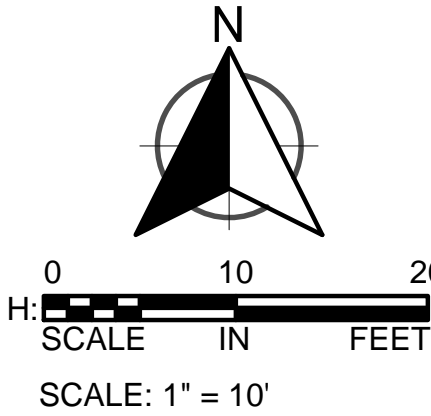
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- DIMENSIONS ARE TO EDGE OF PAVEMENT, CURB GUTTER-LINE, OUTSIDE FACE OF BUILDING, OR EDGE OF WALK UNLESS OTHERWISE NOTED.
- OUTDOOR PLAY AREA DESIGN BY OTHERS.

TOWN OF CASTLE ROCK
STANDARD LANDSCAPE NOTES

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPE AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.

LEGEND

- PROPOSED FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM MANHOLE
- EXISTING PROPERTY LINE
- PARKING STALL COUNT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED BITUMINOUS
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE



Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional: Eva Kelly, PLA
Town of Castle Rock Registration #: LA.0001284
Company Name: WSB & Associates
Address: 720 South Colorado Blvd, Denver, CO 80246
Phone: 612-360-1321
Email: ekelly@wsbeng.com
Date: 9/12/2018
PROJECT NAME: Davey Day Care

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
15,537 sf	4,886 sf	2,630 sf	2,256 sf	15,537/(10) = 1,554/1000 = 1.6*2=3.2 3 trees	5 existing trees to remain on site	15,537/(10) = 1,554/1000 = 1.6*4=6.4 6 shrubs	21 existing shrubs to remain on site	n/a	Yes ___ No ___ unknown
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
3,787 sf	0 sf*	11	0 sf	0	n/a	0	0	0	0

*As approved per Technical Criteria Variance TCV18-0041

Revised April 2013

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EVA M. KELLY, PLA

DATE: 6/7/18
LIC. NO.: LA.0001284

DAVEY DAYCARE CENTER

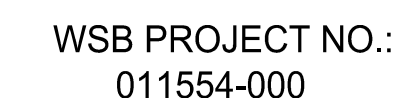
CASTLE ROCK, COLORADO

LANDSCAPE PLAN

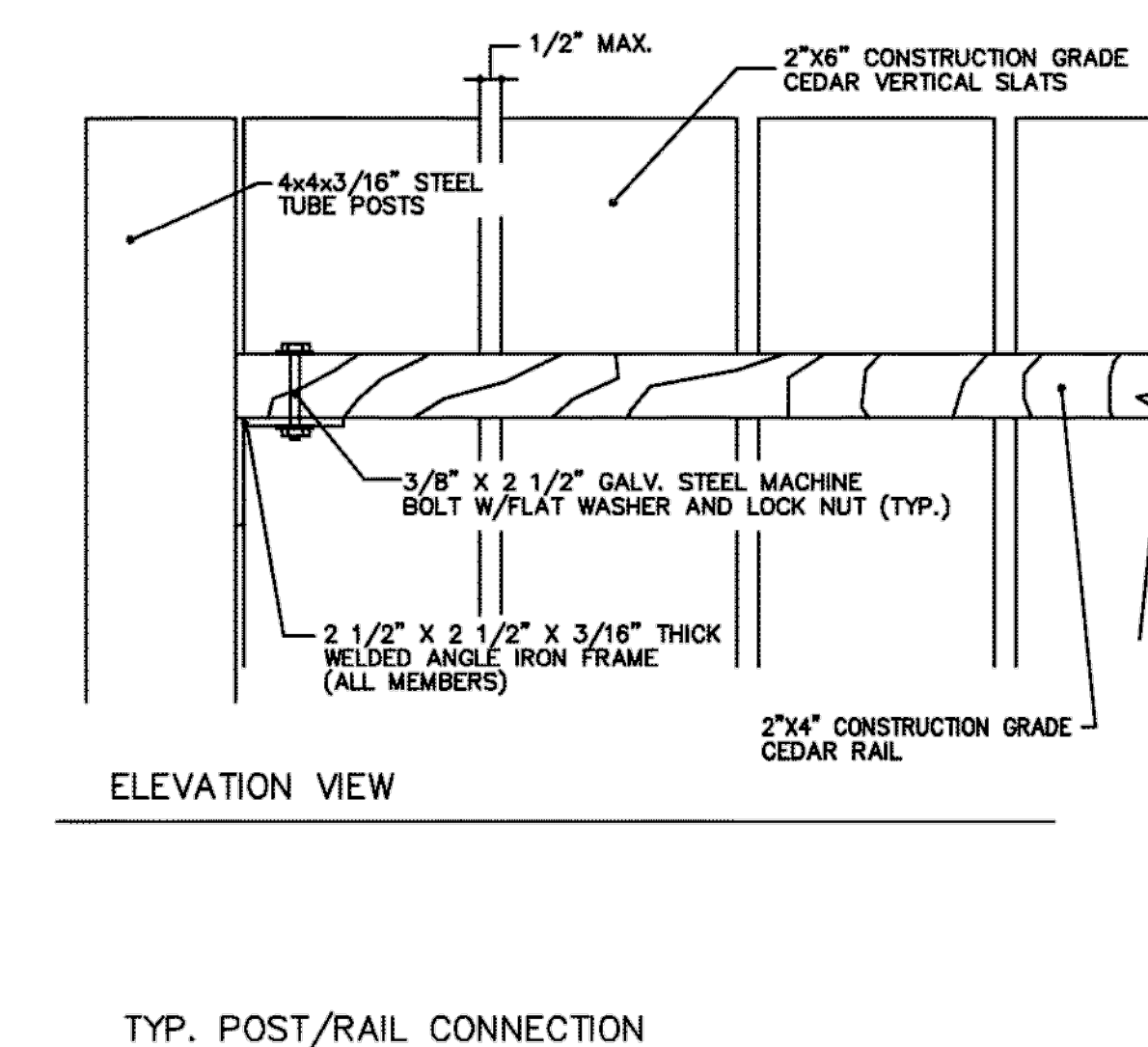
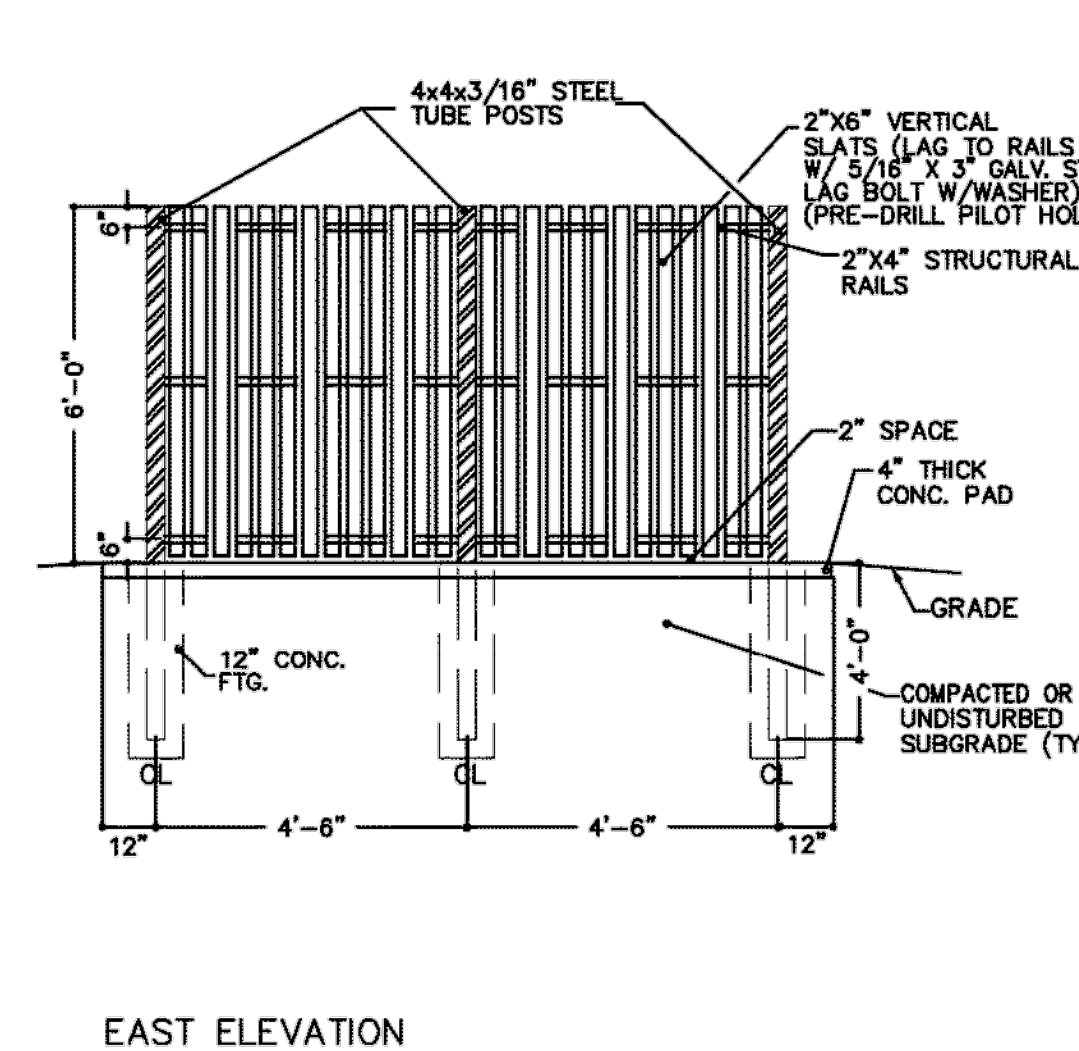
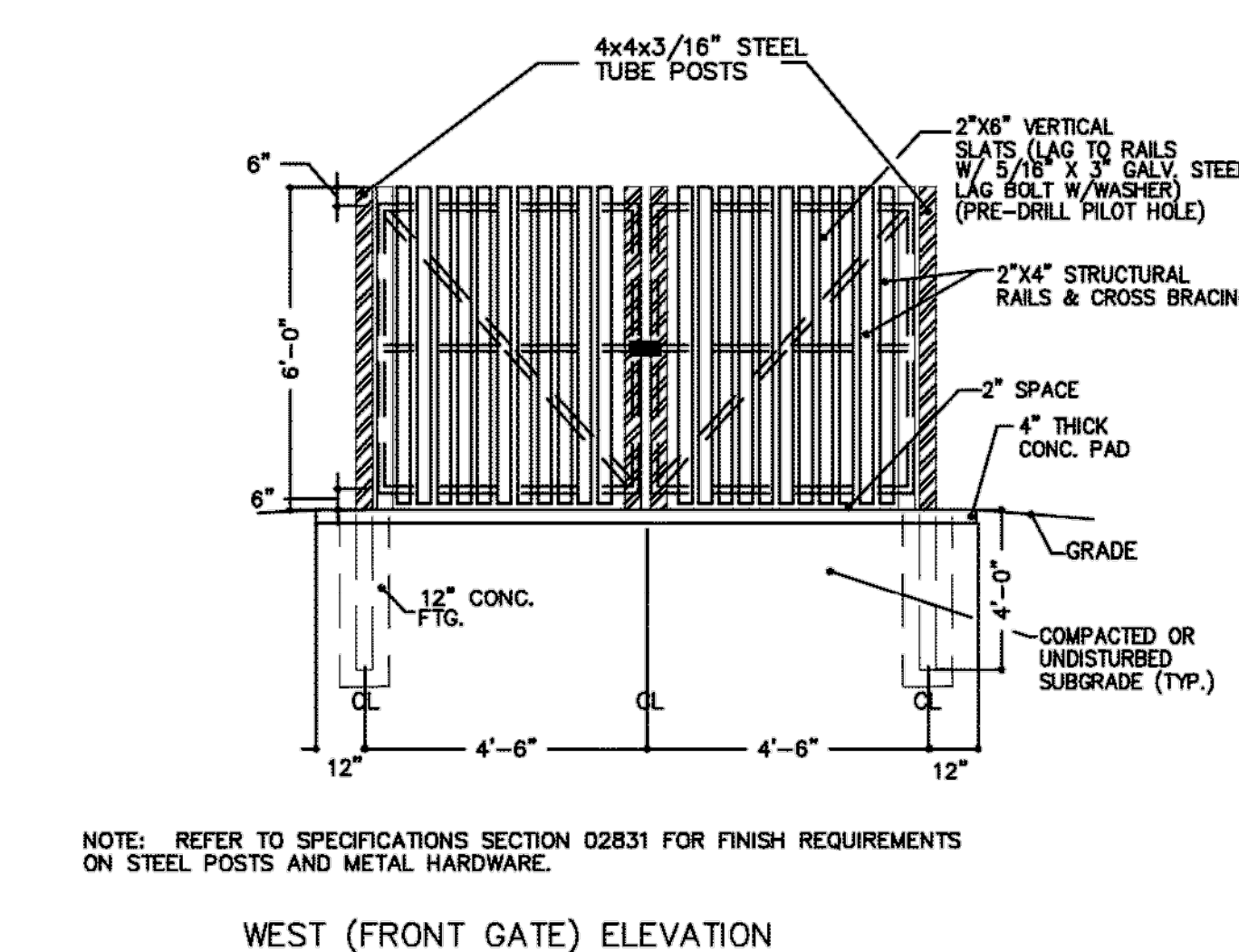
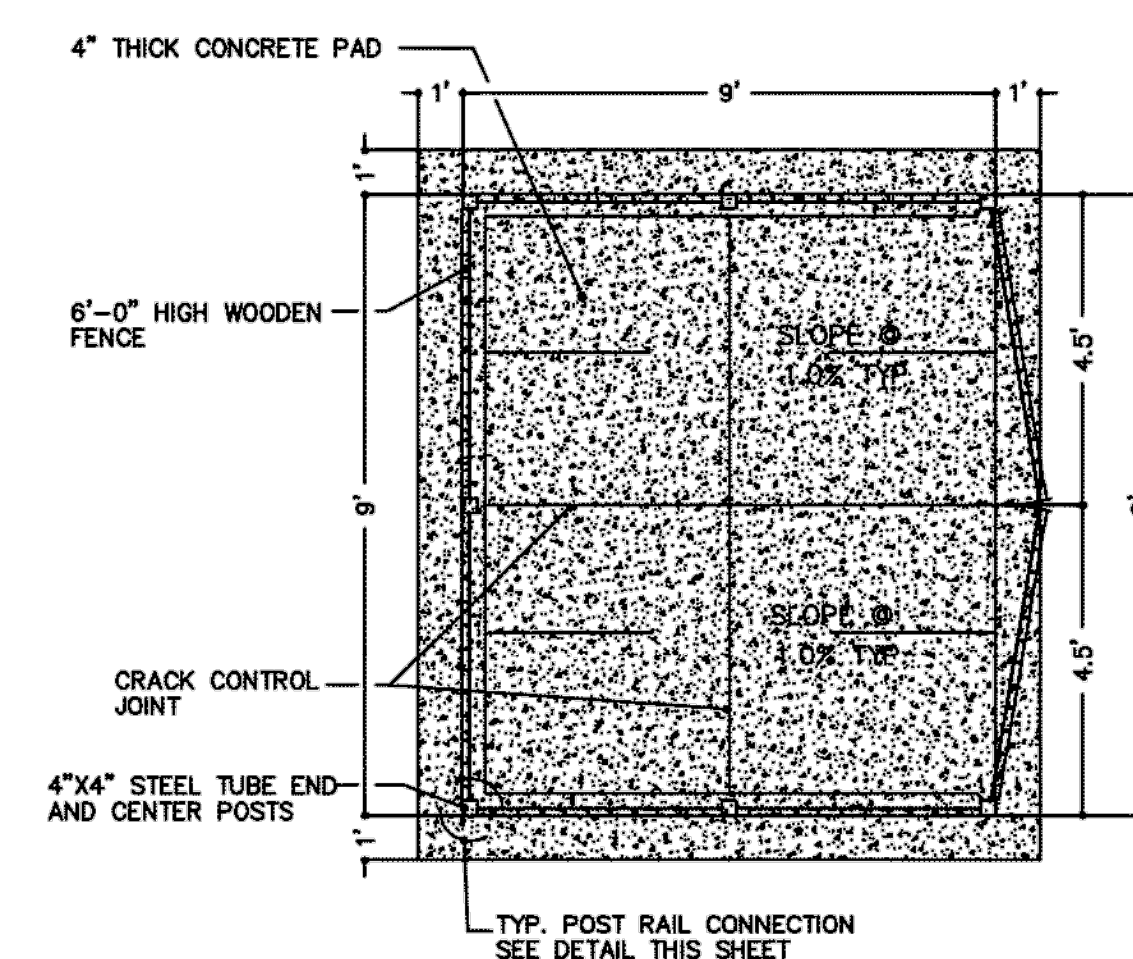
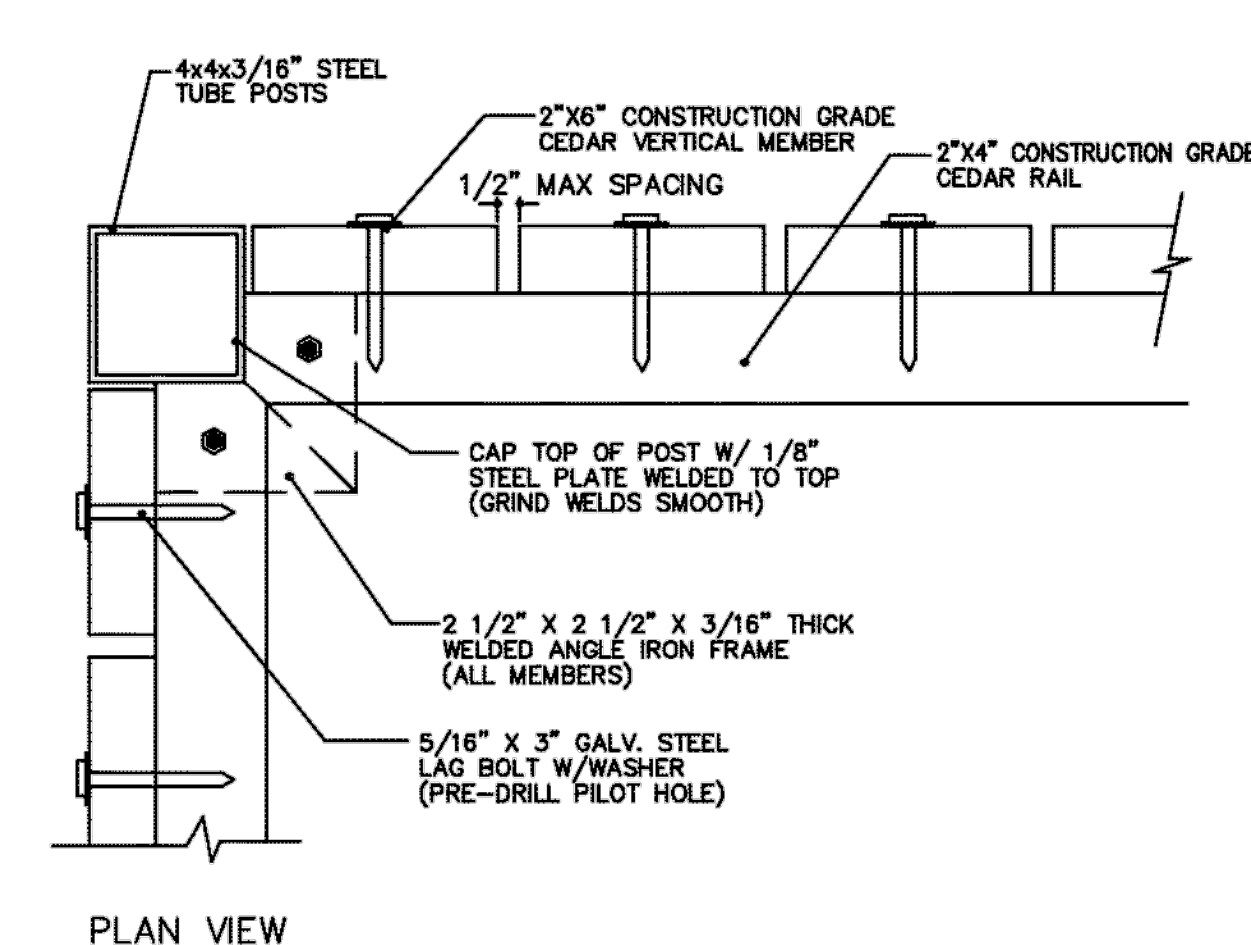
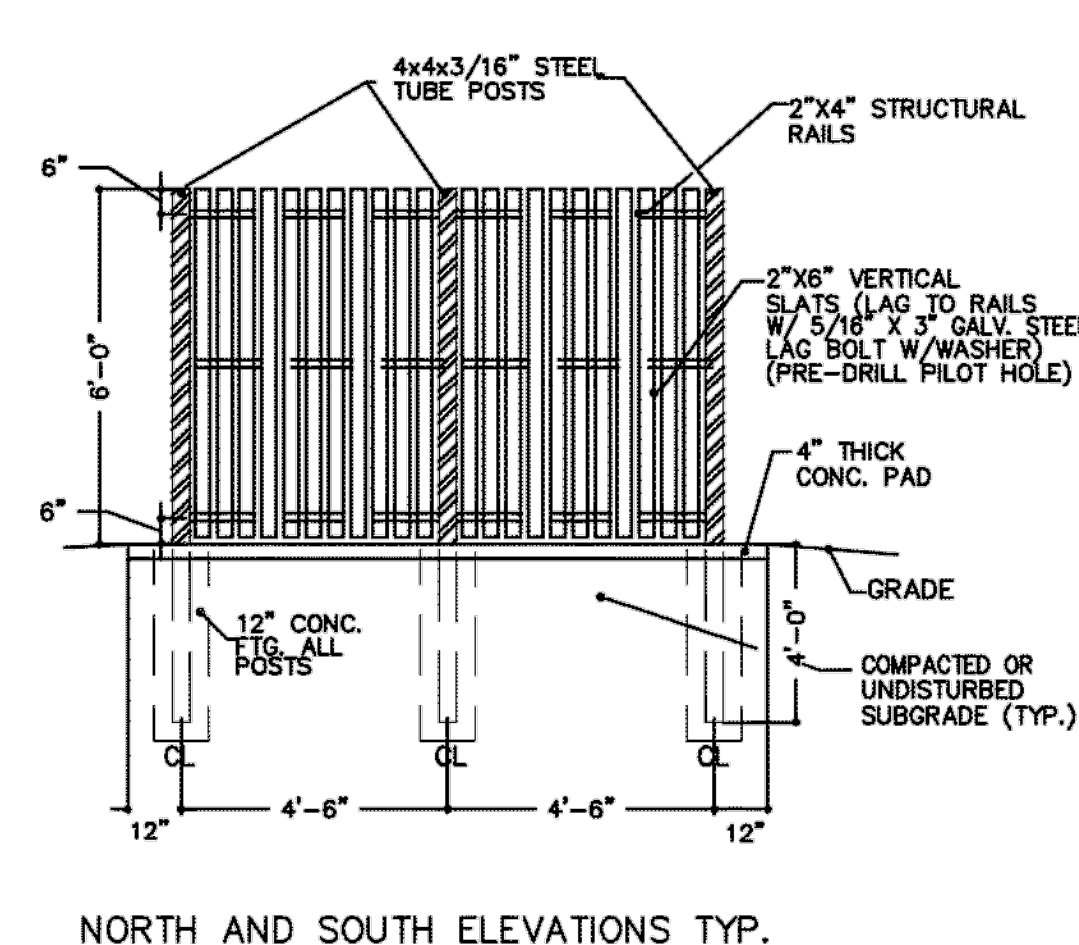
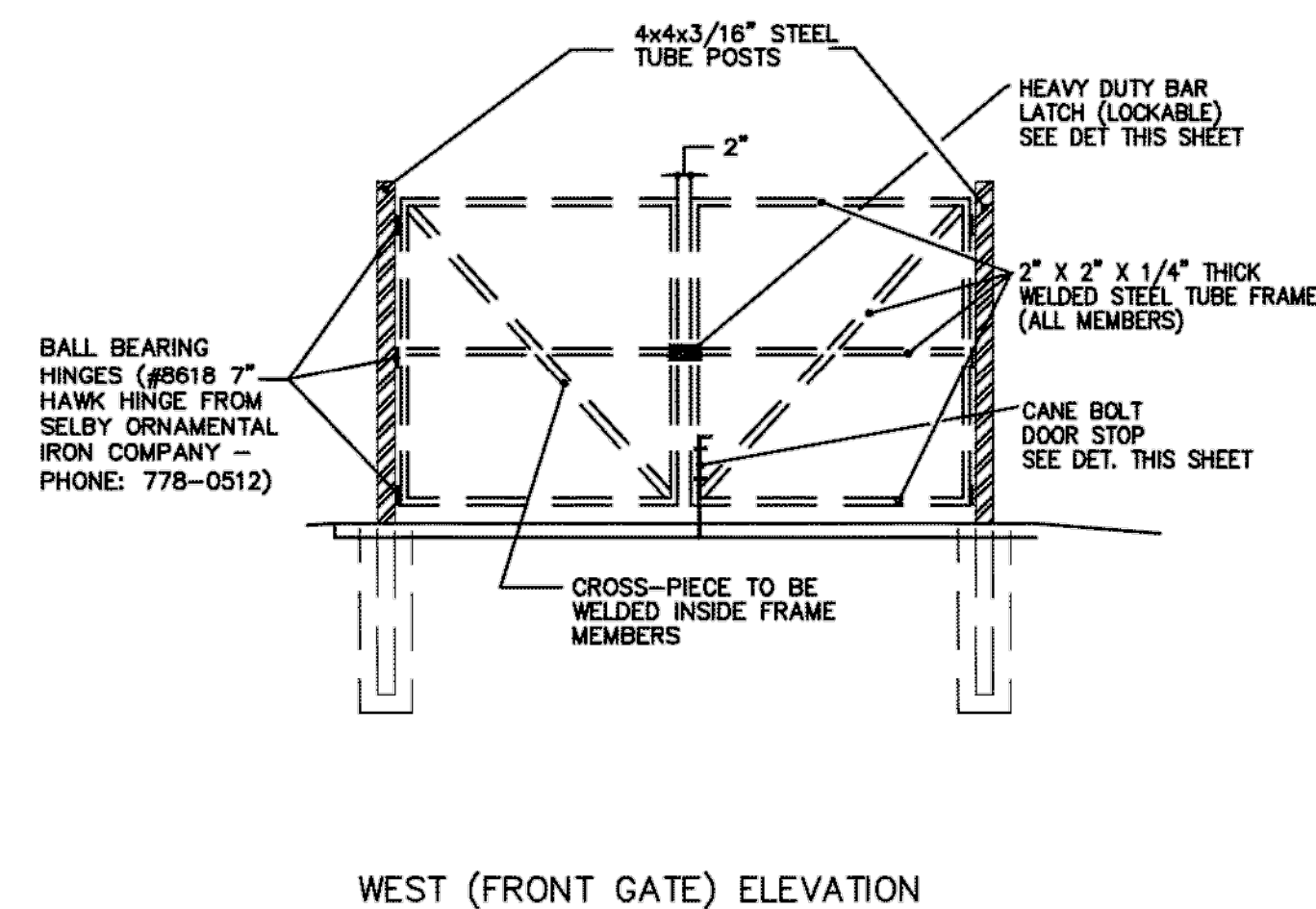
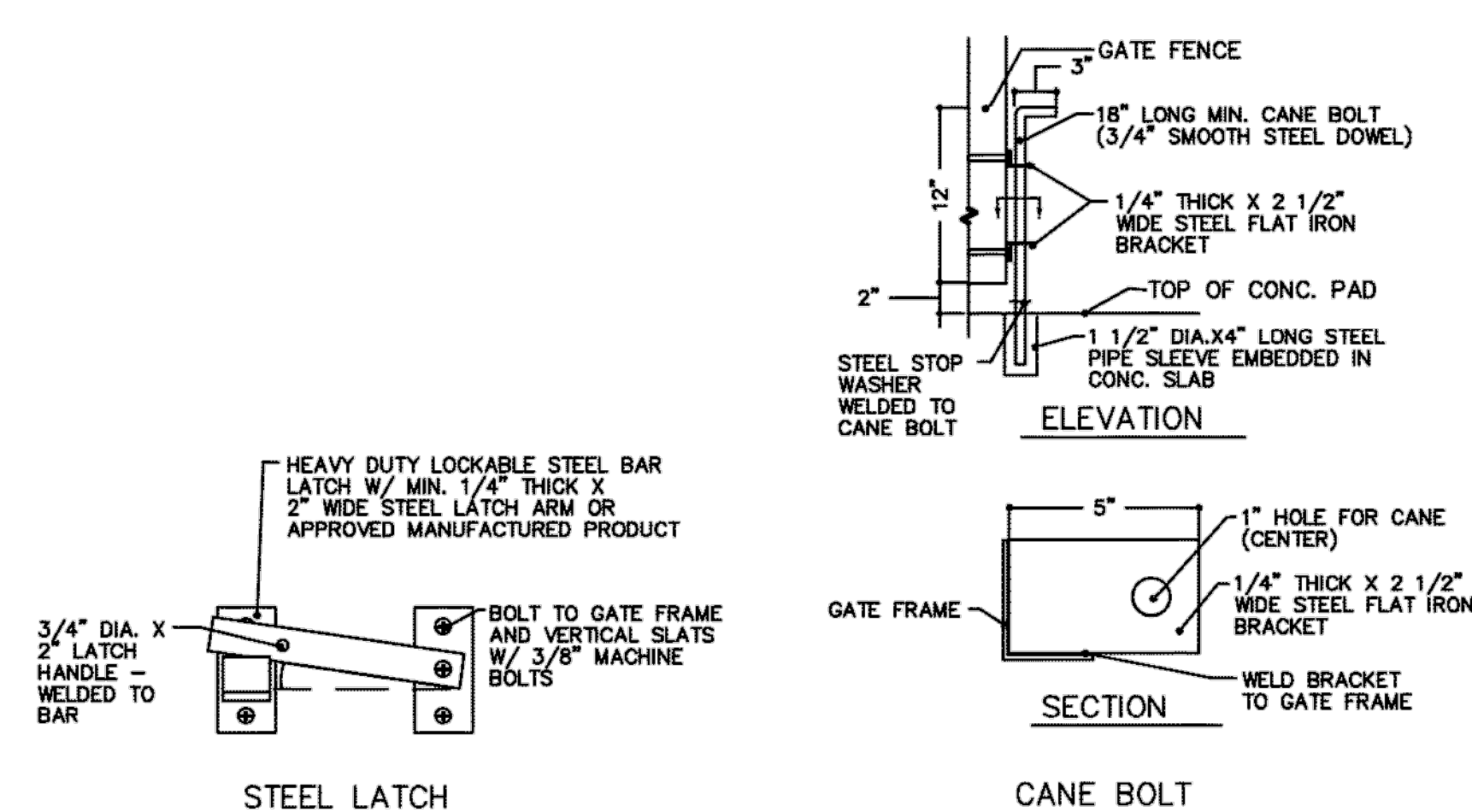
SHEET

5 OF 6

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SCALE:	DESIGN BY:
AS SHOWN	BWF
PLAN BY:	CHECK BY:
SSP	JJM

[illegible]

1 TRASH ENCLOSURE DETAIL
6 SCALE: NO SCALE

DAVEY DAYCARE CENTER
CASTLE ROCK, COLORADO

SITE DETAILS

SHEET

6 OF 6

LOT 10A, B 10, CRAIG AND GOULD'S ADDITION TO
CASTLE ROCK, 13TH AMENDMENT
USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN
PROJECT NO. USR18-0002

PROJECT NO. USR18-0002

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