

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



TRACT C
HECKENDORF RANCH FILING NO. 2
OWNER: TOWN OF CASTLE ROCK
ZONING: PD
LAND USE: PUBLIC LAND DEDICATION
(DOUGLAS COUNTY RESOLUTION 1497)
ACRES: 8.04
(550,222 S.F.)
REC. NO. 200602149

TRACT A
HECKENDORF RANCH FILING NO. 2
OWNER: TOWN OF CASTLE ROCK
ZONING: PD
LAND USE: PUBLIC LAND DEDICATION
(DOUGLAS COUNTY RESOLUTION 1497)
ACRES: 8.04
(550,222 S.F.)
REC. NO. 200602149

LOT 2, BLOCK 1
HECKENDORF RANCH FILING NO. 2
OWNER: TOWN OF CASTLE ROCK
ZONING: CC-OFF
FUTURE LAND USE: COMMERCIAL
LOT OFFICE
ACRES: 0.23
(271,279 S.F.)

TRACT A
HECKENDORF RANCH FILING NO. 2
OWNER: TOWN OF CASTLE ROCK
ZONING: PD
LAND USE: PUBLIC LAND DEDICATION
(DOUGLAS COUNTY RESOLUTION 1497)
ACRES: 8.04
(550,222 S.F.)
REC. NO. 200602149

TRACT E
HECKENDORF RANCH FILING NO. 2
OWNER: TOWN OF CASTLE ROCK
ZONING: PD
LAND USE: PUBLIC LAND DEDICATION
(DOUGLAS COUNTY RESOLUTION 1497)
ACRES: 1.18
(312,761 S.F.)

TRACT F
HECKENDORF RANCH FILING NO. 2
OWNER: TOWN OF CASTLE ROCK
ZONING: PD
LAND USE: PUBLIC LAND DEDICATION
(DOUGLAS COUNTY RESOLUTION 1497)
ACRES: 18.46
(804,118 S.F.)

TRACT G
HECKENDORF RANCH FILING NO. 2
OWNER: TOWN OF CASTLE ROCK
ZONING: PD
LAND USE: PUBLIC LAND DEDICATION
(DOUGLAS COUNTY RESOLUTION 1497)
ACRES: 6.03
(660,417 S.F.)

SITE AREA
FOR SHEETS 4, 7, & 10

SITE AREA
FOR SHEETS 5, 8, & 11

SITE AREA
FOR SHEETS 3, 6, & 9

DATE	REVISION	COMMENTS
03/05/2018	1	PROJECT # 18023
03/05/2018	2	REVISED COMMENTS
03/05/2018	3	REVISED COMMENTS
03/05/2018	4	REVISED COMMENTS
03/05/2018	5	REVISED COMMENTS
03/05/2018	6	REVISED COMMENTS
03/05/2018	7	REVISED COMMENTS
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03/05/2018	97	REVISED COMMENTS
03/05/2018	98	REVISED COMMENTS
03/05/2018	99	REVISED COMMENTS
03/05/2018	100	REVISED COMMENTS

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0010
OVERALL KEY MAP
SHEET 2 OF 31

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMIT



TRACT A
HECKENDORF RANCH FILING NO. 2
OWNER: TOWN OF CASTLE ROCK
PARCEL 3
ZONING: PLD
LAND USE: PUBLIC LAND
DEDICATION
(DOUGLAS LANE TRIBUTARY)
ACRES: 8.04
(350,222 S.F.)
REC NO. 2006022140

(TO BE CONSTRUCTED BY OTHERS)

TRACT A
HECKENDORF RANCH FILING NO. 2
OWNER: TOWN OF CASTLE ROCK
REC NO. 2006022149

LOT 1
AMENDMENT TO HECKENDORF
RANCH FILING NO. 2
TOWN OF CASTLE ROCK
PARCEL E
ZONING: PL-1
FIRE LAND USE: FIRE STATION
ACRES: 3.030
(132,000 S.F.)

20' UTILITY & DRAINAGE,
MAINTENANCE &
ACCESS ESMT

2006022149

NOTES:

023

***** RESIDENTIAL *****

1. ALL SIDEWALKS

2. THE SITE IS 7

3. ALL CURB RAMP

[illegible]

LEGEND: .

11



100

NOTES:

- * EXISTING UTILITY EASEMENT

** EXISTING UTILITY EASEMENT
 *** LANDSCAPE BUFFER
 **** BUILDING SETBACK
 ***** RESIDENTIAL/NON-RESIDENTIAL INTERFACE BUFFER

1. ALL SIDEWALKS HAVE A MINIMUM WIDTH OF FIVE (5) FEET.
2. THE SITE IS ZONED PD - MULTI-FAMILY.
3. ALL CURB RADII ARE 2.5' UNLESS OTHERWISE NOTED.

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0010

PROJECT NO. SDP18-0010

SITE PLAN
SHEET 4 OF 31

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN

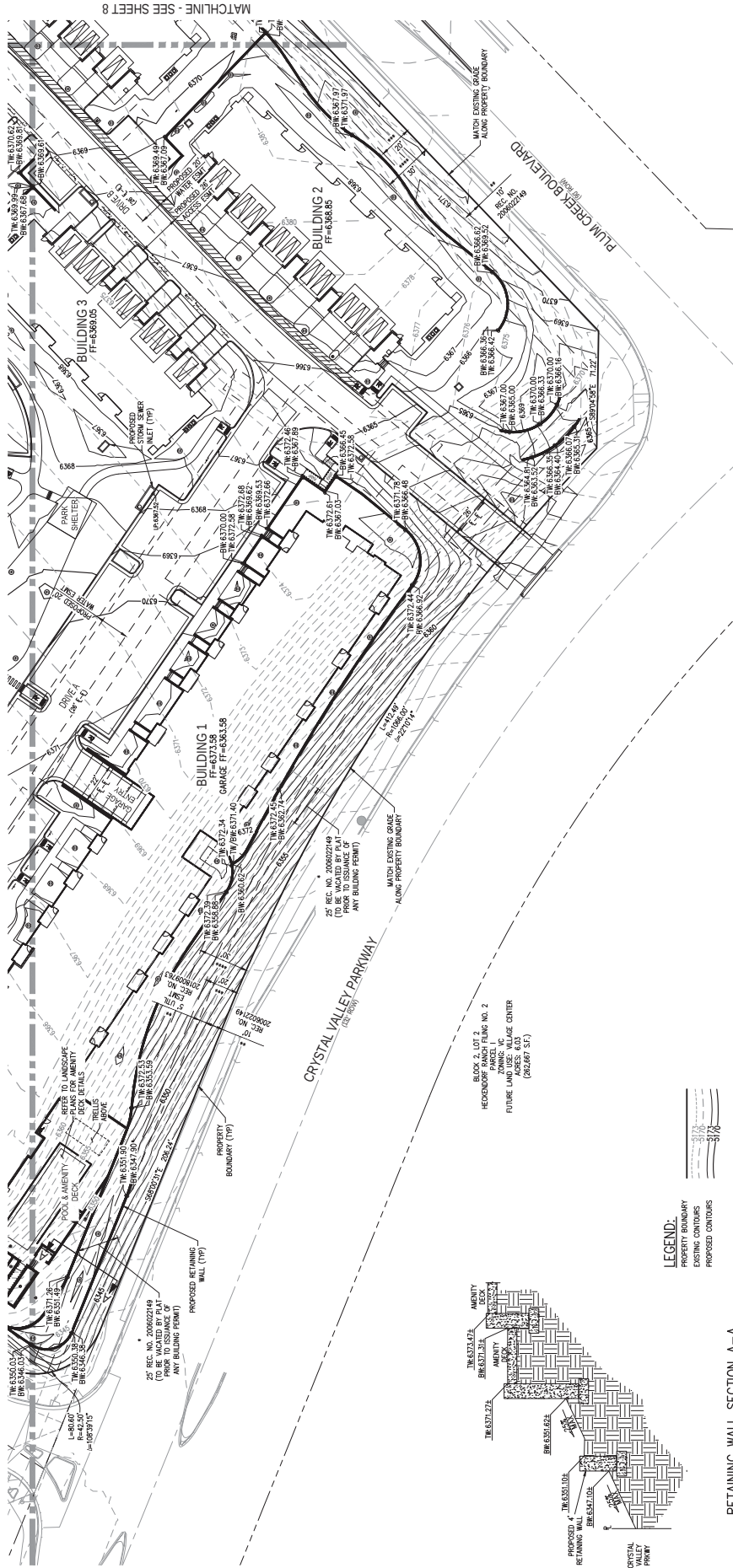
SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



SCALE: 1" = 400'

SCALE: 1" = 30'

MATCHLINE - SEE SHEET 7



LEGEND:
EXISTING EASEMENT
PROPERTY BOUNDARY
EXISTING CONTOURS
PROPOSED CONTOURS



NOTES:

- EXISTING EASEMENT
- PROPERTY BOUNDARY
- PROPOSED UTILITY & EASEMENT
- PROPOSED SETBACK
- RESIDENTIAL/COMMERCIAL INTERFACE BUFFER
- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2016 IBC 100' YEAR FLOOD PLAIN EASES ON SITE.
- 2. NO SIGNIFICANT STRINGS OF VEGETATION EXIST ON SITE.
- 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2016 IBC 100' YEAR FLOOD PLAIN EASES ON SITE.
- 4. RETAINING WALLS OVER 4 FEET HIGH WILL REQUIRE A SEPARATE BUILDING PERMIT.

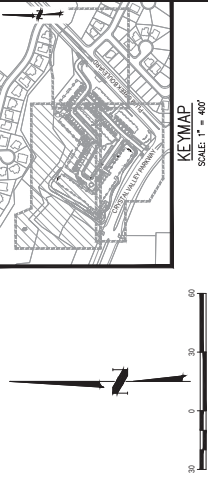
RETAINING WALL SECTION A-A

DATE	REVISION COMMENTS	PROJECT #
03/05/2018	PROJECT # 181023	
03/05/2018	REVISION COMMENTS	
03/05/2018	REVISION COMMENTS	
03/05/2018	REVISION COMMENTS	
03/05/2018	REVISION COMMENTS	

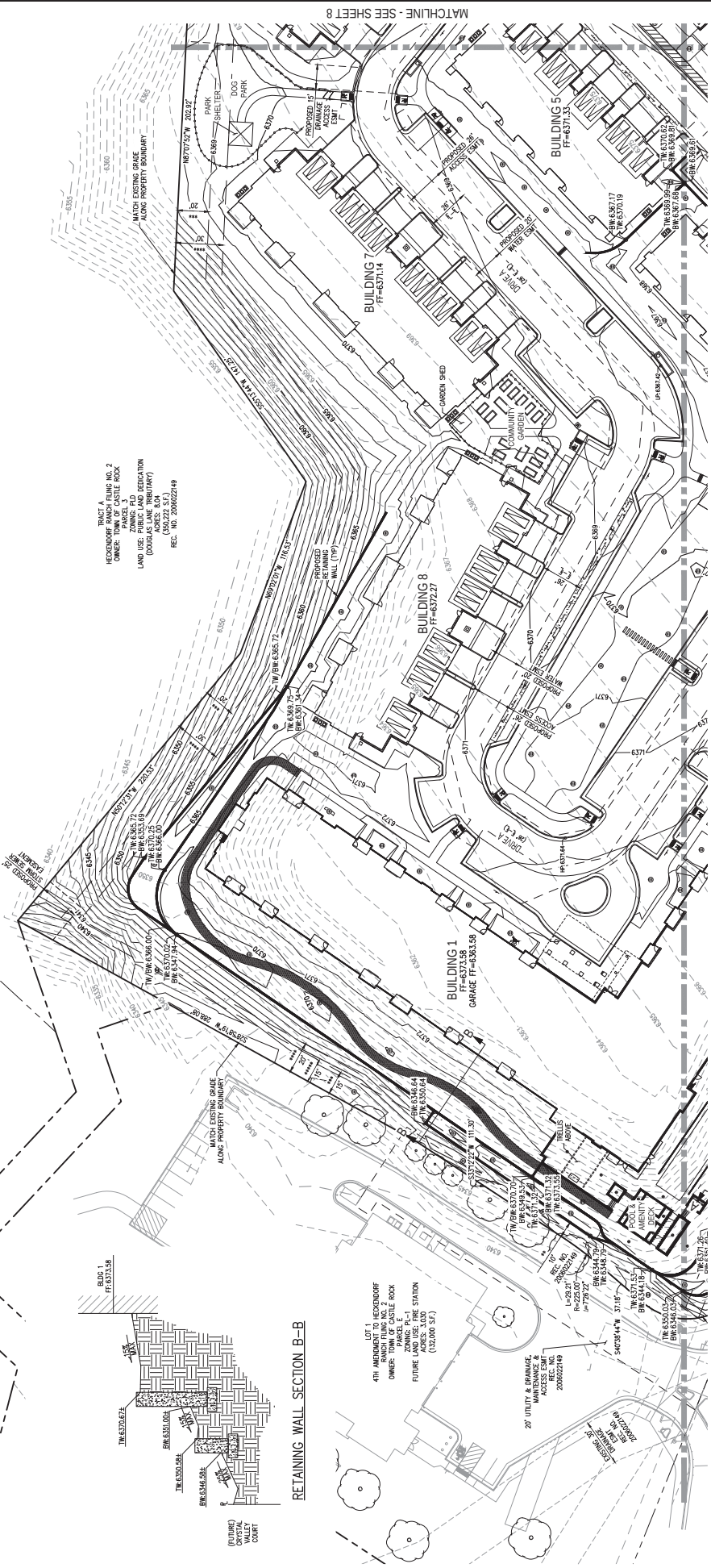
LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN
PROJECT NO. SDP28-0010
GRADING PLAN
SHEET 6 OF 31

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



SCALE 1" = 400'



MATCHLINE - SEE SHEET 6

MATCHLINE - SEE SHEET 8

LEGEND:
PROPERTY BOUNDARY
EXISTING CONTOURS
PROPOSED CONTOURS

NOTES:

- 1. ACCORDING TO FIRM PANEL 08A502030, DATED MARCH 16, 2016, NO 100 YEAR FLOOD PLAIN EXISTS ON SITE.
- 2. NO SIGNIFICANT STANDS OF VEGETATION EXIST ON SITE.
- 3. RETAINING WALLS OVER 4 FEET HIGH WILL REQUIRE A SEPARATE BUILDING PERMIT.
- 4. RETAINING WALLS OVER 4 FEET HIGH WILL REQUIRE A SEPARATE BUILDING PERMIT.

DATE	REVISION COMMENTS
08/08/2018	PROJECT # 181023
08/08/2018	REVISION COMMENTS
08/08/2018	REVISION COMMENTS
08/08/2018	REVISION COMMENTS
08/08/2018	REVISION COMMENTS
08/08/2018	REVISION COMMENTS
08/08/2018	REVISION COMMENTS
08/08/2018	REVISION COMMENTS
08/08/2018	REVISION COMMENTS
08/08/2018	REVISION COMMENTS

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3 SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

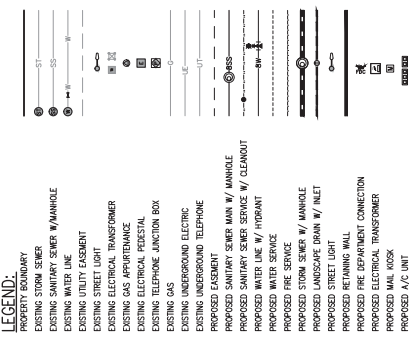
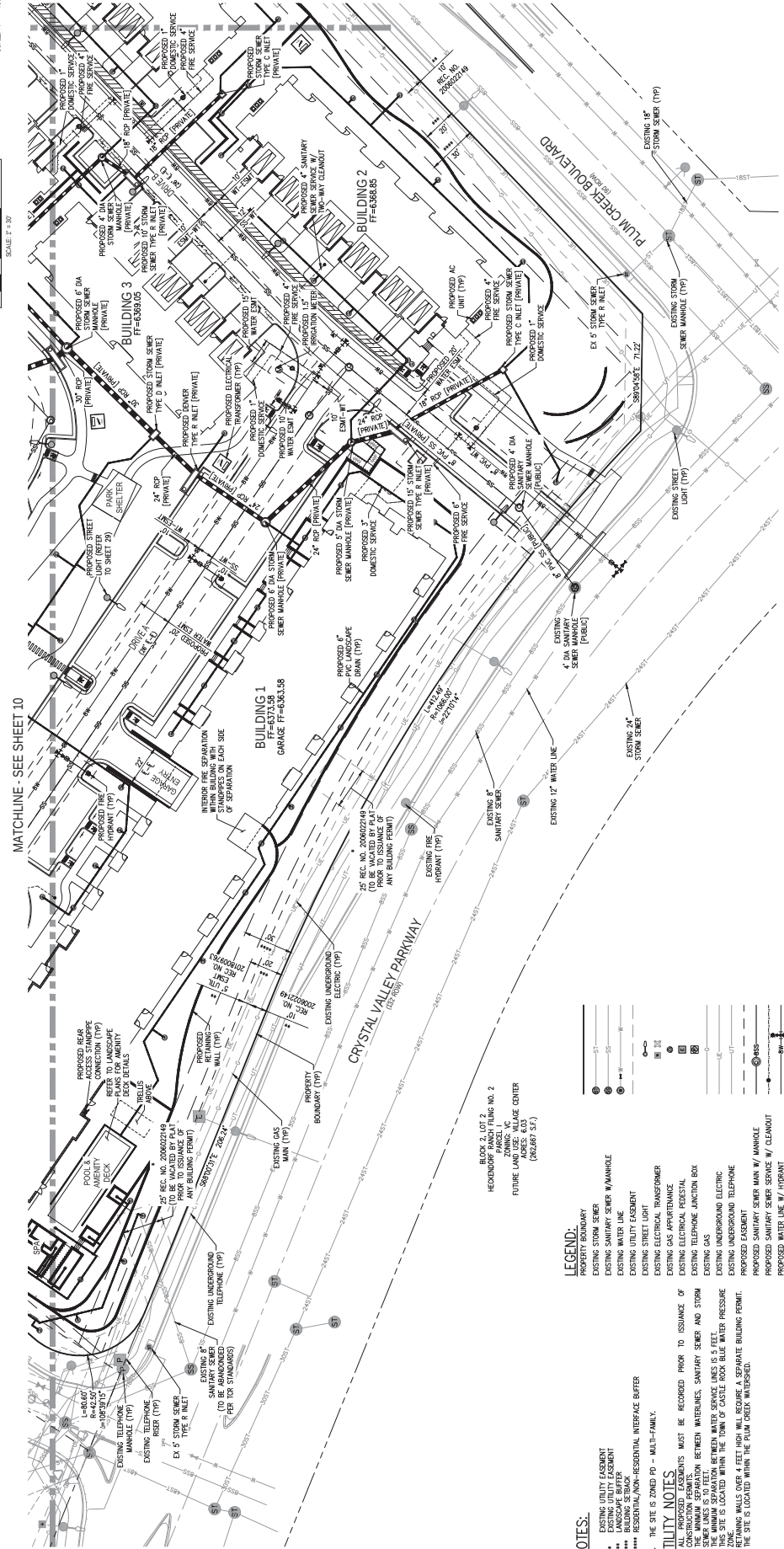


SCALE: 1" = 400'

SCALE: 1" = 30'

MATCHLINE - SEE SHEET 10

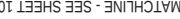
MATCHLINE - SEE SHEET 11



- NOTES:**
- 1. THE SITE IS ZONED PD - MULTI-FAMILY.
 - 2. THE MINIMUM SEPARATION BETWEEN WATER LINES, SANITARY SEWER AND STORM SEWER SHALL BE 5 FEET.
 - 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 - 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK BLUE WATER PRESERVE.
 - 5. RETAINING WALLS OVER 4 FEET HIGH WILL REQUIRE A SEPARATE BUILDING PERMIT.
 - 6. THE SITE IS LOCATED WITHIN THE PLUM CREEK WATERSHED.
- UTILITY NOTES:**
- 1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF PERMITS.
 - 2. THE MINIMUM SEPARATION BETWEEN WATER LINES, SANITARY SEWER AND STORM SEWER SHALL BE 5 FEET.
 - 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 - 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK BLUE WATER PRESERVE.
 - 5. RETAINING WALLS OVER 4 FEET HIGH WILL REQUIRE A SEPARATE BUILDING PERMIT.
 - 6. THE SITE IS LOCATED WITHIN THE PLUM CREEK WATERSHED.

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0010
SHEET 9 OF 31

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

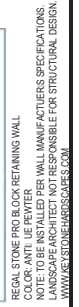


* EXISTING UTILITY EASEMENT
** EXISTING UTILITY EASEMENT
*** LANDSCAPE BUFFER
**** BUILDING SETBACK

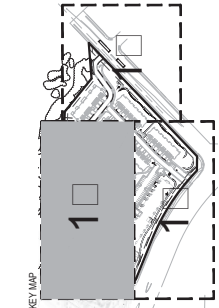
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK BLUE WATER PRESERVATION ZONE.
5. RETAINING WALLS OVER 4 FEET HIGH WILL REQUIRE A SEPARATE BUILDING PERMIT.
6. THE SITE IS LOCATED WITHIN THE PLUM CREEK WATERSHED.

[illegible]UTILITY PLAN
SHEET 11 OF 31

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE PLAN
SHEET 13 OF 31

ISSUE DATE: 03-06-2018	PROJECT #: 16 1023
DATE	REVISION COMMENTS
02-19-2018	PER CITY COMMENTS
07-18-2018	PER CITY COMMENTS
08-10-2018	PER CITY COMMENTS
09-14-2018	PER CITY COMMENTS

[illegible]

KEY MAP





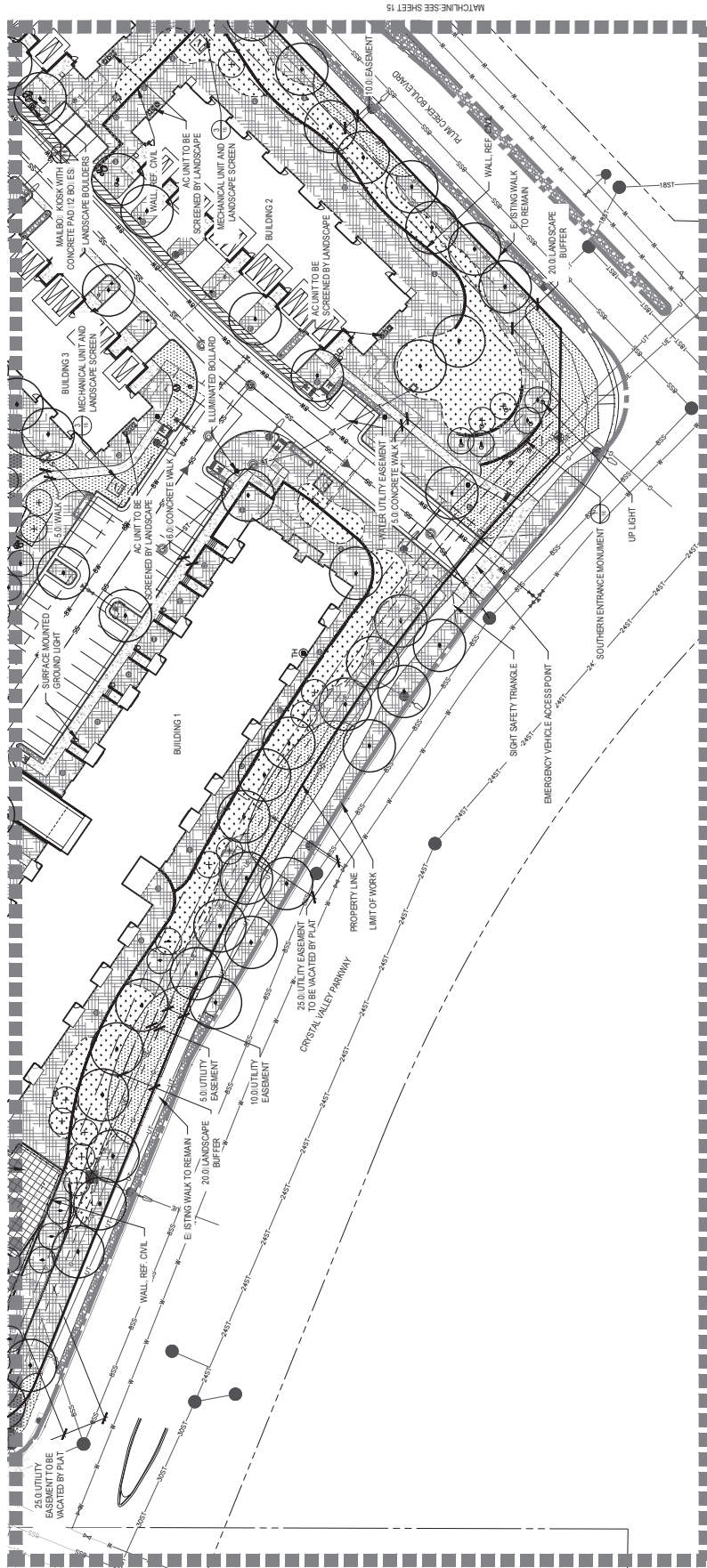

NOR ☐ SCALE 1" = 0'

Know what's below.
 Call before you dig.

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATCHLINE SEE SHEET 13



811
Know what's below.
Call before you dig.

STREETSCAPE URBEMENT TABLE

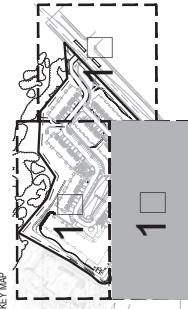
STREET	LINEAR FEET	TREES RE-URD	TREES RE-URD	TREES PROVIDED
CRYSTAL VALLEY PARKWAY	664 LF	17	17	17
PLUM CREEK BOULEVARD	721 LF	18	18	18
PLUM CREEK BOULEVARD MEDIAN	364 LF	9	9	9

1. CL. DES. DR. LES. SILES AND 1. E. EASEMEN. S
2. ONLY AREA O. MEDIAN IMPROVEMENTS

LEGEND

SOO NATURES PRAIRIE	SOO THERMAL & TE/AS HYBRID	CANOPY TREE	UP LIGHT
NATIVE SEED NON-IRRIGATED	STEEL EDGER	EVERGREEN TREE	ILLUMINATED BOLLARD
LANDSCAPE BED	SPACE CUT EDGER	ORNAMENTAL TREE	SURFACE MOUNTED GROUND LIGHT
NATIVE SEED IRRIGATED	WALL	EXISTING VEGETATION TO REMAIN	LANDSCAPE BOLLARD
COBBLE	FENCE	STABILIZATION IS RE-URD	ELECTRICAL OUTLET
CRUSHER FINES	MATCHLINE		MALBO KOSK
	LIMIT OF WORK		
	PROPERTY LINE		

KEY MAP

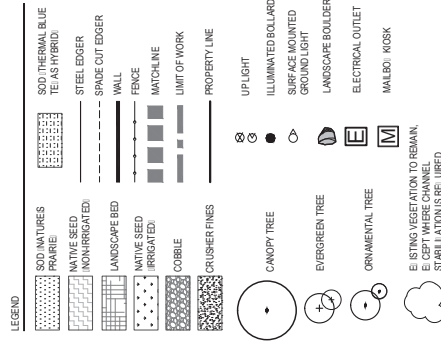


ISSUE DATE: 03-08-2018	PROJECT #: 16-0223
DATE	REVISION COMMENTS
03-16-2018	REQCITY COMMENTS
03-16-2018	REQCITY COMMENTS
06-10-2018	REQCITY COMMENTS
06-14-2018	REQCITY COMMENTS

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-010

LANDSCAPE PLAN
SHEET 14 OF 31

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



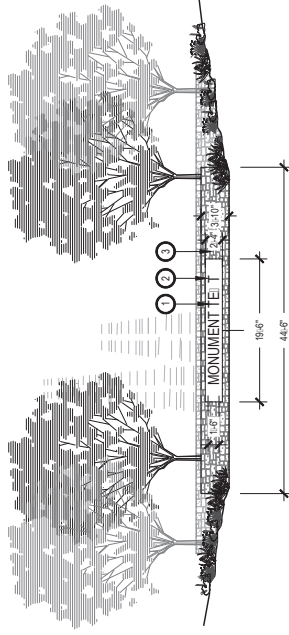
STREET	LINEAR FEET	TREES REQUIRED (1 TREE/40 LF)	TREES PROVIDED
CRYSTAL VALLEY PARKWAY	684 LF	17	17
PUM CREEK BOULEVARD	723 LF	18	18
PUM CREEK BOULEVARD MEDIAN	364 LF	9	9

☐ ECL ☐ DES DR ☐ LES SLES AND ☐ EASEMEN ☐ S
☐ ONLY AREA O ☐ MEDIAN IMPROVEMENTS

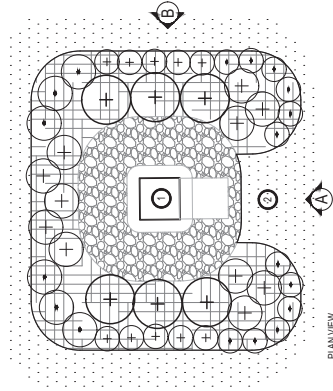


LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN

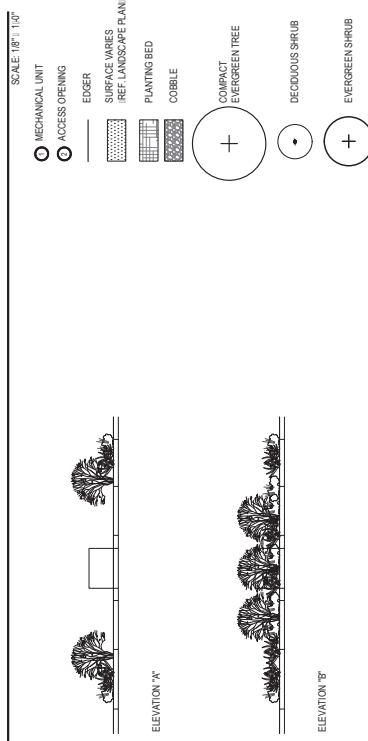
SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



1 SOUTHERN ENTRANCE MONUMENT



2 TYPICAL MECHANICAL UNIT LANDSCAPE SCREEN



GARDEN SHED



SCALE: NTS



NOTES:

1. REFER TO MANUFACTURER'S SPECIFICATIONS FOR REQUIRED PARTS AND INSTALLATION INSTRUCTIONS
2. MALBO: CONFIGURATION 1 | 3 CLUSTER BO: UNITS (RE: PLANS)
3. MALBO: CONFIGURATION 2 | 2 CLUSTER BO: UNITS (RE: PLANS)

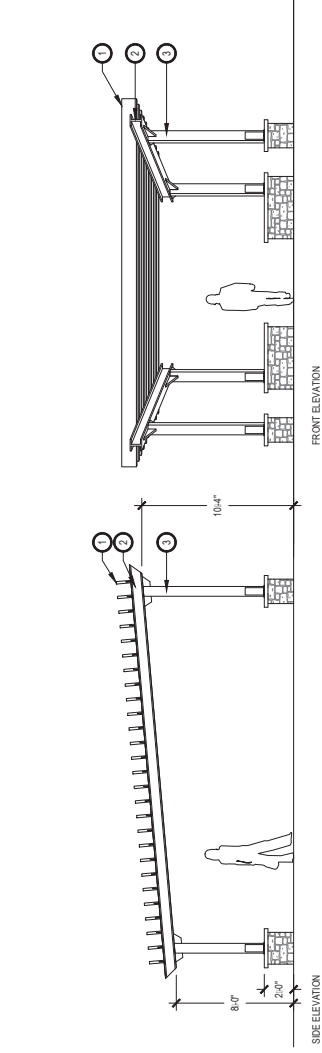
SUPPLIER NOTES: UNIT: MODEL NUMBER: 4570.13AE COLOR: BROWN / E SMOKE

MAILBOX UNIT

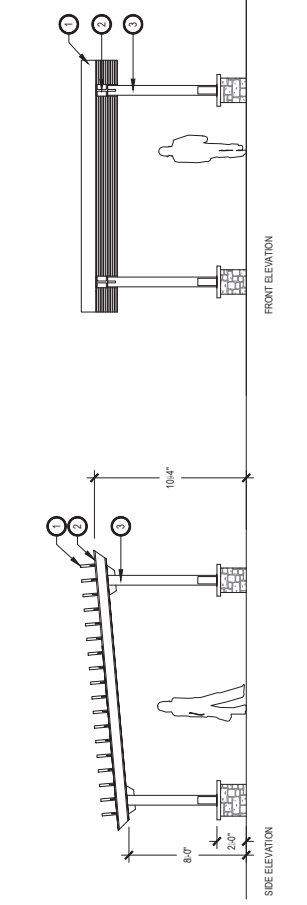
NOT TO SCALE

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



1 PARK SHELTER



DOG PARK SHELTER

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

- 1 2" □ 12" WOODEN MEMBER
- 2 H BEAM (9.5' □ 9.5')
- 3 8" WOODEN POST



Know what's below

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0010

LANDSCAPE DETAILS
SHEET 17 OF 31

ISSUE DATE: 03-06-2018		PROJECT #: 161023	
DATE		REVISION	COMMENTS
05-15-2018		PER CITY COMMENTS	
07-19-2018		PER CITY COMMENTS	
08-13-2018		PER CITY COMMENTS	
08-14-2018		PER CITY COMMENTS	

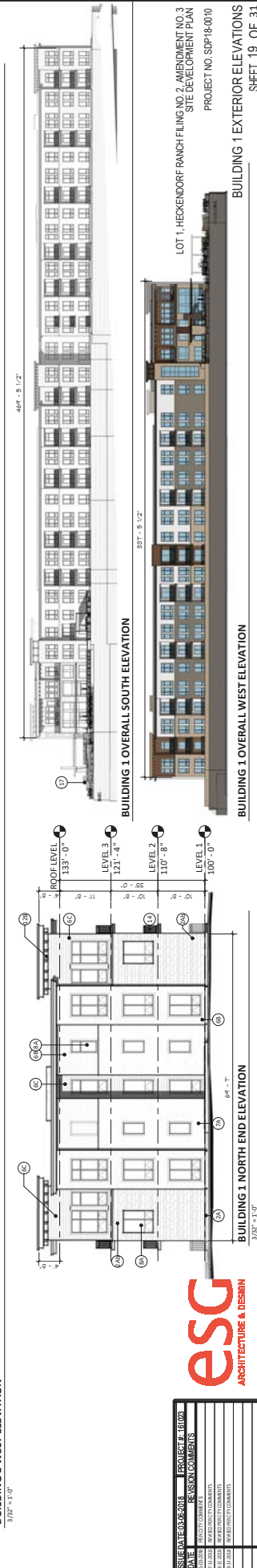
SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

[illegible]

1 BUILDING 1 OVERALL LOWER LEVEL PLAN

BUILDING 1 OVERALL LOWER LEVEL FLOOR PLAN
SHEET 18 OF 31

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



ISSUE DATE: 03-06-2018	PROJECT #: 161023
DATE	REVISION COMMENTS
10-03-2018	PER CYC COMMENTS
10-16-2018	REVISED PER CYC COMMENTS
11-16-2018	REVISED PER CYC COMMENTS
11-14-2018	REVISED PER CYC COMMENTS

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

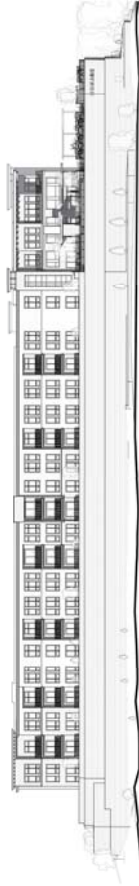


BUILDING 1 EXTERIOR ELEVATIONS
SHEET 20 OF 31

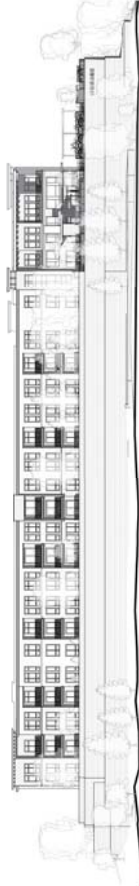
LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3 SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECTED TREE GROWTH



BUILDING 1 OVERALL WEST ELEVATION - 1ST YEAR



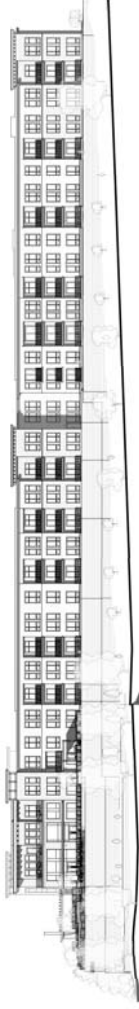
BUILDING 1 OVERALL WEST ELEVATION - ANTICIPATED IN 5 YEARS



BUILDING 1 OVERALL EAST ELEVATION - 1ST YEAR



BUILDING 1 OVERALL EAST ELEVATION - ANTICIPATED IN 5 YEARS



BUILDING 1 OVERALL SOUTH ELEVATION - 1ST YEAR



BUILDING 1 OVERALL SOUTH ELEVATION - ANTICIPATED IN 5 YEARS



BUILDING 1 OVERALL NORTH ELEVATION - 1ST YEAR



BUILDING 1 OVERALL NORTH ELEVATION - ANTICIPATED IN 5 YEARS

DATE	10/20/2018	PROJECT #	10029
DATE	10/20/2018	REVISIONS	
DATE	10/20/2018	REVISIONS	
DATE	10/20/2018	REVISIONS	
DATE	10/20/2018	REVISIONS	
DATE	10/20/2018	REVISIONS	
DATE	10/20/2018	REVISIONS	
DATE	10/20/2018	REVISIONS	
DATE	10/20/2018	REVISIONS	
DATE	10/20/2018	REVISIONS	

esg
ARCHITECTURE & DESIGN

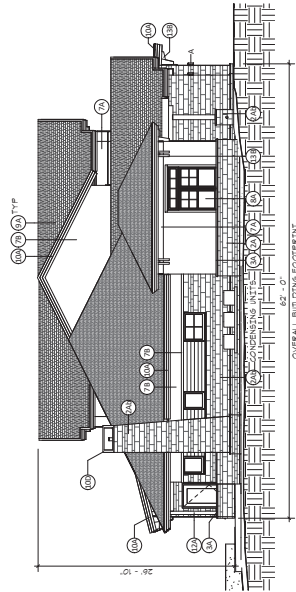
LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0010

INTERFACE SCREENING AND PROJECTED TREE GROWTH
SHEET 21 OF 31

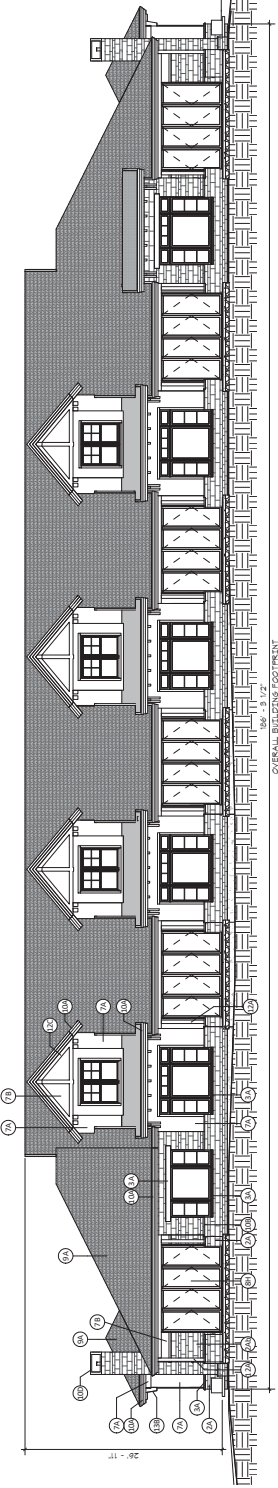
LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

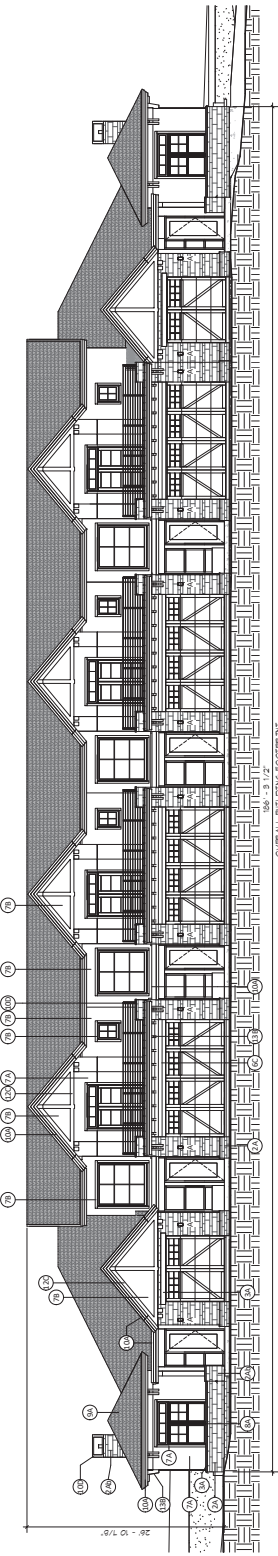
KEYNOTES - EXTERIOR MATERIAL	
2A	C&S STONE COLOR #1 - BUFF/HEAVY SHADE "TOBACCO CRYST"
2AB	C&S STONE COLOR #1 - BUFF/HEAVY SHADE "TOBACCO CRYST"
3A	ARCHITECTURAL PRECAST COLOR #1
AC	EXTRUDED ALUMINUM SIDING - DUAL "CHERRY WOOD"
7A	STUCCO COLOR #1 - RUST "DARK BROWN"
7B	STUCCO COLOR #1 - RUST "DARK BROWN"
8A	WINDOW - COLOR PAUL BY PRIMA WINDOWS
8E	ANODIZED ALUMINUM STORE FRONT SYSTEM
8F	ENTRY DOOR
8H	SLIDING PATIO DOOR
8K	8'-0" OVERHEAD SECTIONAL DOOR
8L	7'-0" OVERHEAD SECTIONAL DOOR
9A	PAINTED METAL COLOR DARK BRONZE
10A	REFINISHED METAL COLOR DARK BRONZE
10B	REFINISHED METAL COLOR #2
12A	STEEL CABLE RAILING
12B	TRIMMER BLANK - SPECIES #1
12C	TRIMMER GABLE TRUSS - SPECIES #1
13B	WOOD CORBELS SPECIES #1
13C	WOOD CORBELS SPECIES #1



3. BUILDING 2 - SOUTHWEST ELEVATION
1/8" = 1'-0"
OVERALL BUILDING FOOTPRINT



2. BUILDING 2 - SOUTHEAST ELEVATION
1/8" = 1'-0"
OVERALL BUILDING FOOTPRINT



1. BUILDING 2 - NORTHWEST ELEVATION
1/8" = 1'-0"
OVERALL BUILDING FOOTPRINT

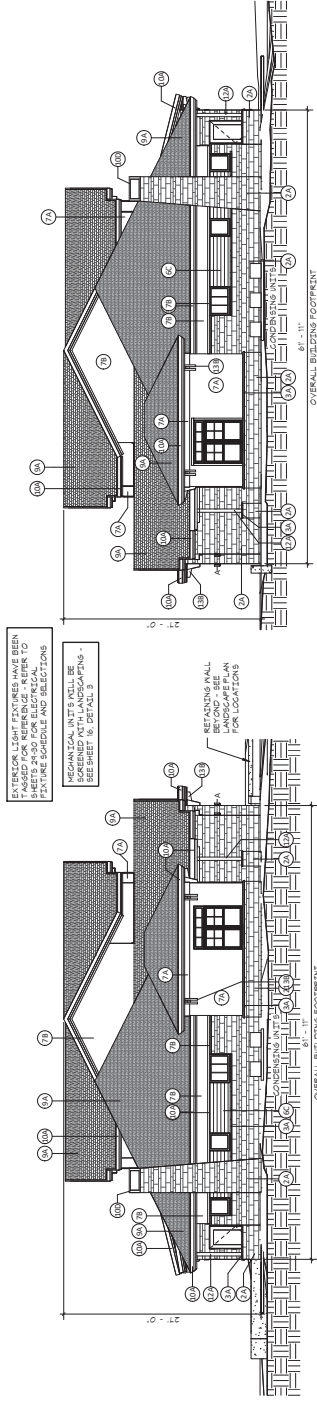
REVISIONS	
DATE	DESCRIPTION
01-20-2018	ISSUED FOR PERMITS
02-20-2018	ISSUED FOR PERMITS
03-20-2018	ISSUED FOR PERMITS
04-20-2018	ISSUED FOR PERMITS
05-20-2018	ISSUED FOR PERMITS
06-20-2018	ISSUED FOR PERMITS
07-20-2018	ISSUED FOR PERMITS
08-20-2018	ISSUED FOR PERMITS
09-20-2018	ISSUED FOR PERMITS
10-20-2018	ISSUED FOR PERMITS
11-20-2018	ISSUED FOR PERMITS
12-20-2018	ISSUED FOR PERMITS

esg
ARCHITECTURE & DESIGN

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

KEYNOTES - EXTERIOR MATERIAL	
2A	CAST STONE COLOR #1, Bond Heavy Stone "FOUNDATION"
2AB	CAST STONE COLOR #1, Bond Heavy Stone "FOUNDATION"
3A	ARCHITECTURAL PRECAST COLOR #1
4C	EXTRUDED ALUMINUM SIDING: DOAL "CHERRY WOOD"
7A	STUCCO COLOR #1, ROY 208-208-208
8A	WINDOW - COLOR TALL BY FRAME WINDOWS
8E	ANODIZED ALUMINUM STOREFRONT SYSTEM
8F	SLIDING PATIO DOOR
8G	SLIDING PATIO DOOR
8H	8" OF OVERHEAD SECTIONAL DOOR
8I	8" OF OVERHEAD SECTIONAL DOOR
10A	PREFINISHED METAL COLOR DARK BRONZE
10B	PREFINISHED STEEL CHIMNEY CAP
10C	PREFINISHED STEEL CHIMNEY CAP
12A	TRIMMER COLUMN - SPECIES #1
12B	TRIMMER COLUMN - SPECIES #1
12C	TRIMMER GABLE TRUSS - SPECIES #1
12D	TRIMMER GABLE TRUSS - SPECIES #1
12E	WOOD SHUTTLE SPECIES #1
12F	WOOD SHUTTLE SPECIES #1



SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

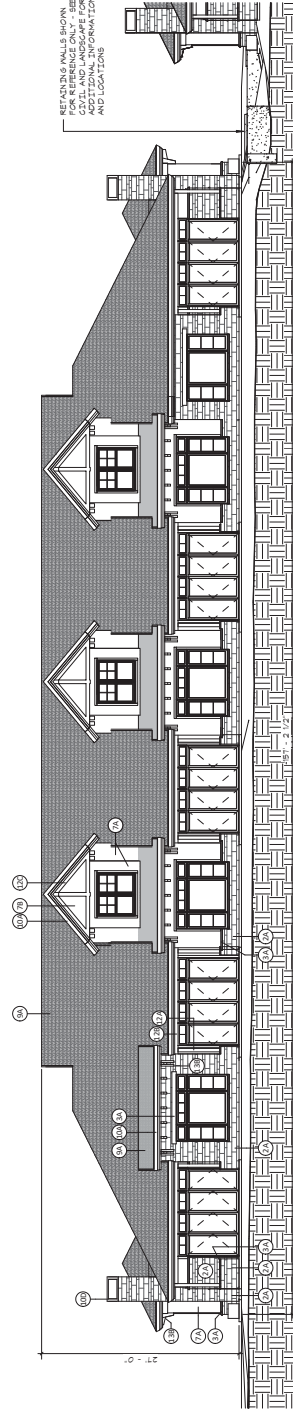
EXTERIOR LIGHT FIXTURES HAVE BEEN
TAGGED FOR REFERENCE - REFER TO
SHEETS 24-30 FOR ELECTRICAL
FIXTURE SCHEDULE AND SELECTIONS



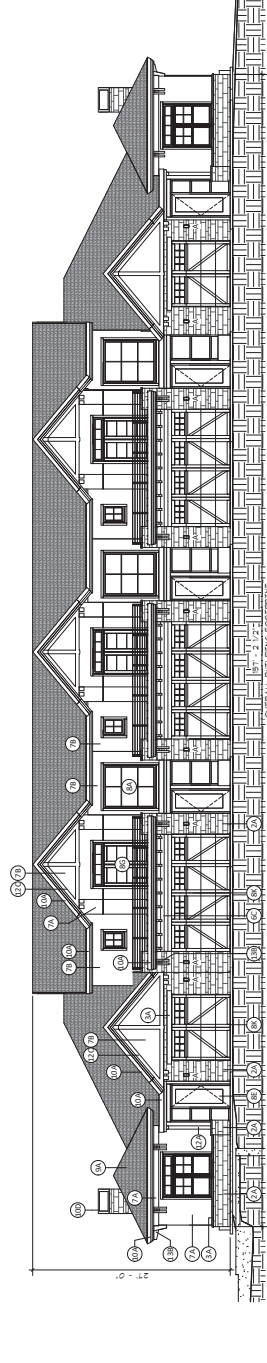
EXTERIOR ELEVATIONS - BLDG 4
SHEET 24 OF 31

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

3 BUILDING 5 - NORTHEAST ELEVATION



2 BUILDING 5 - NORTHWEST ELEVATION



1 BUILDING 5 - SOUTHEAST ELEVATION

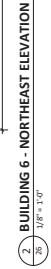
EXTERIOR ELEVATIONS - BLDG 5
SHEET 25 OF 31

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

EXTERIOR LIGHT FIXTURES HAVE BEEN
TAGGED FOR REFERENCE - REFER TO
SHEETS 24-30 FOR ELECTRICAL
FIXTURE SCHEDULE AND SELECTIONS

MECHANICAL UNITS WILL BE
SCREENED WITH LANDSCAPING -
SEE SHEET 16, DETAIL 3

MECHANICAL UNITS WILL BE
SCREENED WITH LANDSCAPING -
SEE SHEET '16, DETAIL 9



ISSUE DATE: 03-06-2018	PROJECT #: 161023
DATE	REVISION COMMENTS
05-03-2018	PERCITY COMMENTS
07-18-2018	REVISED PERCITY COMMENTS
09-10-2018	REVISED PERCITY COMMENTS
09-14-2018	REVISED PERCITY COMMENTS

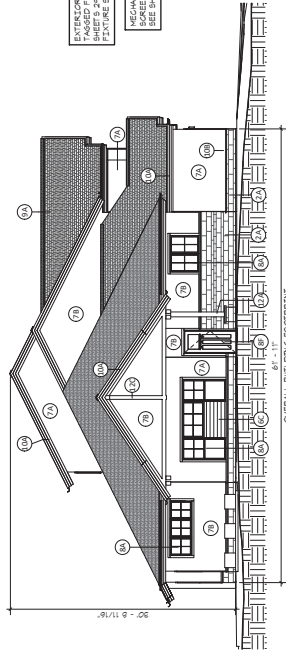
ESG
ARCHITECTURE & DESIGN

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0010
EXTERIOR ELEVATIONS - BLDG 6
SHEET 26 OF 31

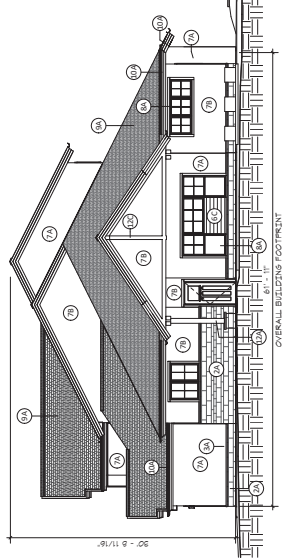
LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

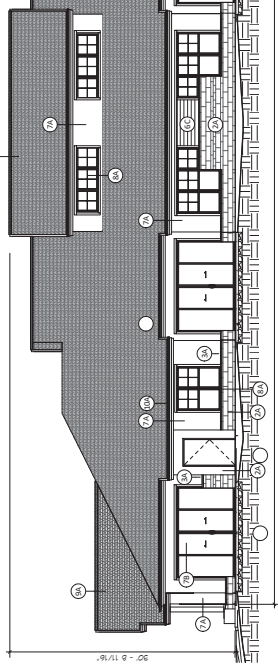
KEYNOTES - EXTERIOR MATERIAL	
2A	COST STONE COLOR #1, Royal River Stone "FOUNDATION"
2AB	COST STONE COLOR #1, Royal River Stone "FOUNDATION"
3A	ARCHITECTURAL PRECAST CONCRETE
3B	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3C	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3D	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3E	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3F	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3G	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3H	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3I	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3J	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3K	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3L	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3M	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3N	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3O	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3P	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3Q	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3R	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3S	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3T	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3U	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3V	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3W	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3X	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3Y	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"
3Z	ARCHITECTURAL PRECAST CONCRETE - DUAL "CHERRY WOOD"



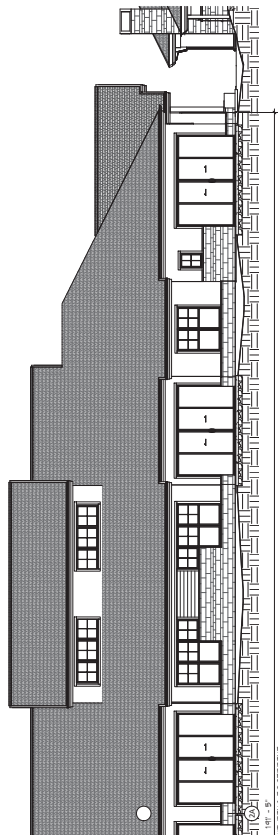
3. BUILDING 7 - SOUTHWEST ELEVATION
3/8" = 1'-0"



4. BUILDING 7 - NORTHEAST ELEVATION
3/8" = 1'-0"



2. BUILDING 7 - NORTHWEST ELEVATION
3/8" = 1'-0"



1. BUILDING 7 - SOUTHEAST ELEVATION
3/8" = 1'-0"

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMITS
2	ISSUED FOR PERMITS
3	ISSUED FOR PERMITS
4	ISSUED FOR PERMITS
5	ISSUED FOR PERMITS
6	ISSUED FOR PERMITS
7	ISSUED FOR PERMITS
8	ISSUED FOR PERMITS
9	ISSUED FOR PERMITS
10	ISSUED FOR PERMITS

esg
ARCHITECTURE & DESIGN

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0010
EXTERIOR ELEVATIONS - BLDG 7
SHEET 27 OF 31

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

[illegible]

This architectural drawing shows a side elevation of a building facade. The facade is composed of several distinct sections and features, each identified by a numbered callout:

- 1**: Points to the upper rectangular window units on the right side of the facade.
- 2**: Points to the lower rectangular window units on the right side of the facade.
- 3**: Points to the textured, dark grey wall section on the left side of the facade.
- 4**: Points to the central vertical section of the facade, which appears to be a recessed or projecting element.
- 5**: Points to the horizontal band of the facade, likely representing a cornice or a decorative frieze.
- 6**: Points to the lower rectangular window units on the right side of the facade, located below the horizontal band.
- 7**: Points to the central vertical section of the facade, located below the horizontal band.
- 8**: Points to the textured, dark grey wall section on the left side of the facade, located below the horizontal band.
- 9**: Points to the lower rectangular window units on the right side of the facade, located at the bottom of the facade.
- 10**: Points to the lower rectangular window units on the right side of the facade, located at the bottom of the facade.

This architectural drawing shows the exterior elevation of a building, oriented vertically. The structure features a complex roofline with multiple gables and dormers. The facade is composed of several levels and sections. At the top, there is a large gable with a dark, textured roof. Below this, a series of windows and decorative elements are visible. The drawing includes a north arrow in the upper left corner, indicating the orientation of the building. The overall style is that of a technical architectural drawing, with clear lines and shading to represent the building's form and materials.

ISSUE DATE: 03-06-2018		PROJECT #: 161023	
DATE	REVISION COMMENTS		
05-03-2018	PERCITY COMMENTS		
07-18-2018	REVISD PERCITY COMMENTS		
08-10-2018	REVISD PERCITY COMMENTS		
08-14-2018	REVISD PERCITY COMMENTS		

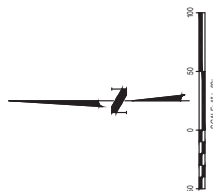
LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0010

EXTERIOR ELEVATIONS - BLDG 8
SHEET 28 OF 31

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

GENERAL NOTES:

1. VERIFY ALL BUILDING FIRE RISE/ROOFING HEIGHTS AND LOCATIONS WITH ARCHITECT.
2. REFER TO 9.01 TIE/CLIPPING PICTURE SCHEDULE FOR OBJECTIVES OF EACH LUMINARY TYPE, STYLE OF LUMINARY TYPES, MOUNTING HEIGHTS ABOVE GRADE OF LUMINAIRES, AND ADDITIONAL LUMINARY DETAILS.
3. REFER TO 9.01 TIE/CLIPPING CONTROL SCHEDULE FOR HOURS OF LIGHT OPERATION AND LUMINARY CONTROL DETAILS.
4. TRANSFORMER LOCATIONS, VOLTAGE, AND 9.01 ISS AROUND THE SITE ARE PROVIDED AND SHALL BE SUBJECT TO INSPECTION.
5. FIRE RISE SHALL BE IDENTIFIED SUCH THAT THE LIGHT SOURCE IS NOT VISIBLE.

[illegible][illegible][illegible]

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0010

ELECTRICAL SITE PLAN
SHEET 29 OF 31



**Jordan & Skala
Engineers**

4275 West 10th Avenue
Suite 200
Boulder, CO 80504-5990
Tel: 770.447.3541 • 1.770.446.0262
www.jordan-skala.com

Checked By: **David Payne**
 Date: **11/19/2018**



ARCHITECTURE & DESIGN

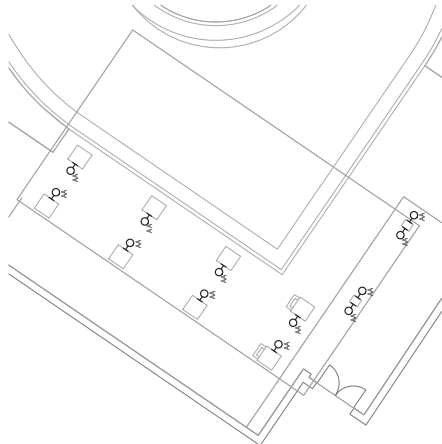
100 Washington Avenue South, Suite 1400
 Birmingham, AL 35203-4400
 Tel: 205.432.1000 | Fax: 205.432.3662
 www.escregion.com

Checked By: **David Payne**
 Date: **11/19/2018**

ISSUE DATE: 08/08/2018	PROJECT: 66-0229	
DATE:	REVISION/COMMENTS	
10/1/2018	1. REVISION COMMENTS	
10/1/2018	2. REVISION COMMENTS	
10/1/2018	3. REVISION COMMENTS	
10/1/2018	4. REVISION COMMENTS	
10/1/2018	5. REVISION COMMENTS	

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



ENLARGED CANOPY PLAN

SCALE: 1/8" = 1'-0"

GRAPHIC SCALE IN FEET



A horizontal graphic scale with tick marks at 0, 4, 8, and 16 feet. The scale is labeled "GRAPHIC SCALE IN FEET" above it.

[illegible]

NOTES:
1. ALL LIGHTING FIXTURES MAY NOT NECESSARILY BE USED

- [illegible]

[illegible]

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0010

ENLARGED PLAN, SCHEDULE, & SPEC SHEETS
SHEET 30 OF 31

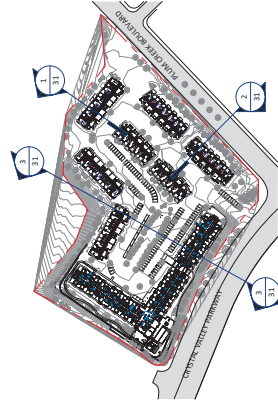
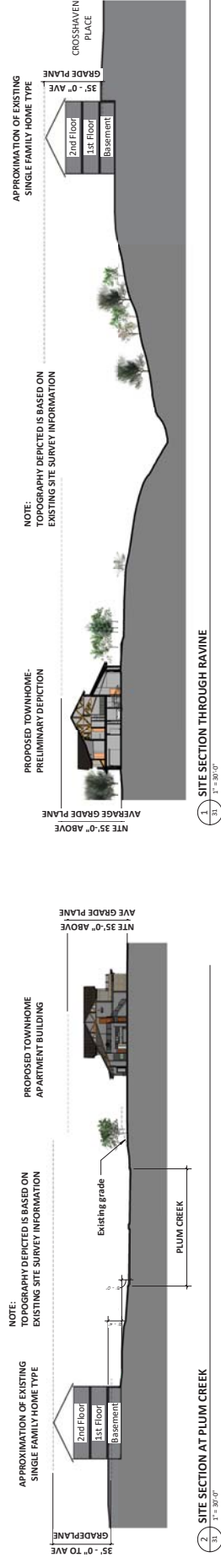
ISSUE DATE: 06/09/2010		PROJ. NO.: 461023	
DATE	REVISION/COMMENTS		
06/09/2010	PLOT COMMENTS		
06/09/2010	PLOT COMMENTS		
06/09/2010	PLOT COMMENTS		
06/09/2010	PLOT COMMENTS		
06/09/2010	PLOT COMMENTS		

LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3 SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



3 SITE SECTION THROUGH WHOLE SITE
1" = 30'-0"



LOT 1, HECKENDORF RANCH FILING NO. 2, AMENDMENT NO. 3
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0010

SITE SECTIONS
SHEET 31 OF 31

ISSUED: 03/02/2018	PROJECT # 18023
DATE	REVISION COMMENTS
03/02/2018	ISSUED FOR PERMIT
03/02/2018	REVISED PERMIT COMMENTS
03/02/2018	REVISED PERMIT COMMENTS
03/02/2018	REVISED PERMIT COMMENTS
03/02/2018	REVISED PERMIT COMMENTS
03/02/2018	REVISED PERMIT COMMENTS
03/02/2018	REVISED PERMIT COMMENTS
03/02/2018	REVISED PERMIT COMMENTS
03/02/2018	REVISED PERMIT COMMENTS

esg
ARCHITECTURE & DESIGN