

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK  
LOTS 1 THROUGH 5, BLOCK 23  
LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGAL DESCRIPTION:

LOTS 1 THROUGH 5, BOCK 23, TOWN OF CASTLE ROCK  
COUNTY OF DOUGLAS, STATE OF COLORADO

BASIS OF BEARINGS:

BEARINGS ARE BASED UPON THE CENTERLINE OF WILCOX STREET  
BETWEEN A FOUND NO. 8 REBAR IN RANGE BOX AT THE INTERSECTION OF  
FIRST STREET AND FOUND NO. 8 REBAR IN RANGE BOX AT THE  
INTERSECTION OF SECOND STREET, BEARING NORTH 00°44'00" EAST, A  
DISTANCE OF 759.96 FEET.

BENCHMARK:

FOUND 3 INCH DIAMETER ALUMINUM DISK IN CONCRETE STAMPED G23  
1929, DESIGNATED G23 BY THE NATIONAL GEODETIC SURVEY WITH A  
PUBLISHED NAVD '88 ELEVATION OF 6231.61.

SITE DEVELOPMENT PLAN GENERAL NOTES:

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- FLOOD ZONE DESIGNATION: BY GRAPHIC PLOTTING, THE SUBJECT PROPERTY LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% PERCENT ANNUAL CHANCE FLOODPLAIN), AS SHOWN ON FEMA MAP NUMBER 08035C0301G WITH AN EFFECTIVE DATE OF MARCH 16, 2016.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME. FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THIS SITE IS ZONED B - BUSINESS COMMERCIAL DISTRICT, AND RESIDES IN THE DOWNTOWN OVERLAY DISTRICT AND DOWNTOWN CORE DISTRICT.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS 4 FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

FIRE NOTES:

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

ADDITIONAL APPROVALS

FC018-0040:  
FIELD CHANGE ORDER 18-0040 WAS APPROVED BY LARRY HEAROLD, TOWN OF CASTLE ROCK DEVELOPMENT SERVICES, ON 3/30/2018 FOR THE INSTALLATION OF THE 2-INCH DOMESTIC SERVICE LINE, 6-INCH FIRE SERVICE LINE, AND 12" DIP MAIN AS SHOWN ON SHEET UTIL 1.0 (DATED 03-26-18).

SHEETS INDEX (SDP)

Sheet Number	Sheet Name
SHEET 1	COVER SHEET
SHEET 2	SITE PLAN
SHEET 3	GRADING PLAN
SHEET 4	UTILITY PLAN
SHEET 5	BUILDING ELEVATIONS
SHEET 6	BUILDING ELEVATIONS
SHEET 7	BIRDSEYE PERSPECTIVES
SHEET 8	STREET PERSPECTIVES
SHEET 9	STREET SECTIONS
SHEET 10	LANDSCAPE SITE PLAN
SHEET 11	PLANTING PLAN
SHEET 12	LANDSCAPE DETAILS
SHEET 13	LANDSCAPE DETAILS
SHEET 14	PHOTOMETRIC PLAN
SHEET 15	PHOTOMETRIC DETAILS



VICINITY MAP

PROJECT TEAM

DEVELOPER	ARCHITECT	CIVIL ENGINEER	SURVEYOR	LANDSCAPE ARCHITECT
RIVERWALK II, LLC 430 INDIANA STREET, SUITE 200 GOLDEN, CO 80401 CONTACT: MR. TONY DE SIMONE PHONE: 303.643.5799	CRANE ARCHITECTURE 2490 WELTON STREET DENVER, CO 80205 CONTACT: MR. BRAD GASSMAN PHONE: 720.457.2012	2N CIVIL, LLC 6 INVERNESS COURT EAST, SUITE 125 ENGLEWOOD, CO 80122 CONTACT: MR. TODD WEST, P.E. PHONE: 303.925.0547	DOWNTOWN DESIGN SERVICES, INC. 1127 AURARIA PARKWAY, SUITE 203 DENVER, CO 80204 CONTACT: MR. JASON SCYOC, P.L.S. PHONE: 303.248.7722	STUDIO INSITE 3457 RINGSBY COURT, UNIT 223 DENVER, CO 80216 CONTACT: MR. WILLIAM BOWEN PHONE: 303.433.7100

VARIANCE REQUESTS

<b>CODE SECTION:</b> DOWNTOWN OVERLAY DISTRICT (TITLE 17.42.070)
<b>CODE SECTION DESCRIPTION:</b> BUILDING HEIGHT IN THE DOWNTOWN CORE DISTRICT IS LIMITED TO FOUR STORIES WITH A MAXIMUM HEIGHT OF 60-FEET. A BUILDING'S CROWN CANNOT EXCEED THE 60-FOOT BUILDING HEIGHT LIMITATION.
<b>VARIANCE REQUEST DESCRIPTION:</b> ADDITIONAL STORY AND ASSOCIATED ADDITIONAL HEIGHT IS REQUESTED FOR BUILDING LOCATED WITHIN DOWNTOWN CORE DISTRICT.
<b>CODE SECTION:</b> DOWNTOWN OVERLAY DISTRICT (TITLE 17.42.080.6)
<b>CODE SECTION DESCRIPTION:</b> ONE LARGE CANOPY TREE WILL BE REQUIRED FOR EVERY 22 LINEAR FEET OR ONE SMALL CANOPY TREE WILL BE REQUIRED FOR EVERY 15 LINEAR FEET OF PROPERTY FRONTING ALONG A PUBLIC ROADWAY.
<b>VARIANCE REQUEST DESCRIPTION:</b> SUFFICIENT RIGHT OF WAY AREA DOES NOT EXIST ON THIRD STREET FOR LOCATING TREES WITHOUT SUBSTANTIAL ROADWAY REDESIGN, REMOVAL OF STREET PARKING AND RECONSTRUCTION; EXISTING STORWATER INLET INTERFERES WITH POTENTIAL TREE PLANTING ON WILCOX STREET TO PROVIDE REQUIRED CLEARANCES.

SUMMARY TABLES

GENERAL ZONE LOT INFORMATION		SQ FT	ACRES
LOT AREA	16,250 SF	0.373 ACRES	
	PERMITTED	PROPOSED	
BUILDING GROUND COVERAGE	16,250 SF	14,074 SF	
BUILDING HEIGHT	PERMITTED	PROPOSED	
BUILDING HEIGHT, STORIES (MAX)	4	5	
BUILDING HEIGHT, FEET (MAX)	60'	62' - 5"	
PARKING	REQUIRED / PERMITTED	PROVIDED	
STANDARD	N/A	59	
ACCESSIBLE	3	3	
COMPACT	0	0	
TOTAL	N/A	62	
SETBACKS	REQUIRED (MIN)	PROVIDED	
FRONT YARD - NORTH	0	1' - 0"	
SIDE YARD - WEST	0	7' - 6"	
SIDE YARD - EAST	0	1' - 0"	
REAR YARD - SOUTH	0	2' - 0"	
MAXIMUM BUILDING SETBACK -	29' - 1 1/2"	116'-6"	
*MIN 25% FRONTAGE, SETBACK 0/20' (25% x 116' - 6" = 29' - 1")			
PROGRAM SUMMARY			
RESTAURANT		3,500 SF	
RETAIL		6,842 SF	
RESIDENTIAL		56,413 SF	
TOTAL DWELLING UNITS (DU)		39 DU	
DENSITY		104.56 DU / ACRE	
SINGLE FAMILY EQUIVALENT UNITS		103 SFE	
PARKING		31,254 SF	
LANDSCAPE SUMMARY (WITHIN PROPERTY LINE)			
BUILDING COVERAGE		12,832 SF	
PAVEMENT COVERAGE		2,754 SF	
LANDSCAPE COVERAGE		664 SF	
TOTAL		16,250 SF	

SURVEYOR'S CERTIFICATION:

I, \_\_\_\_\_, A REGISTERED PROFESSIONAL LAND  
SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY  
AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS  
MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY  
EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

JASON SCYOC, P.L.S.  
COLORADO LICENSE NUMBER 38497  
1127 AURARIA PARKWAY, SUITE 203  
DENVER, CO 80204  
(303) 248-7722

CIVIL ENGINEER'S STATEMENT

I, \_\_\_\_\_, BEING A REGISTERED PROFESSIONAL  
ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING,  
UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT  
PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL  
TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

TODD WEST, P.E.  
2N CIVIL, LLC  
6 INVERNESS COURT EAST, SUITE 125  
ENGLEWOOD, CO 80122  
303.925.0547

TITLE CERTIFICATION:

I, \_\_\_\_\_, AN AUTHORIZED REPRESENTATIVE OF \_\_\_\_\_, A TITLE INSURANCE COMPANY LICENSED TO DO  
BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF  
THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE \_\_\_\_\_ TITLE COMPANY \_\_\_\_\_ SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

**NOTARY BLOCK**  
SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_ AS AUTHORIZED  
REPRESENTATIVE OF \_\_\_\_\_.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES: \_\_\_\_\_.

DESIGN REVIEW BOARD APPROVAL:

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DESIGN REVIEW BOARD OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE \_\_\_\_\_ DAY OF  
\_\_\_\_\_, 20\_\_\_\_.

CHAIR \_\_\_\_\_ DATE \_\_\_\_\_ DEVELOPMENT SERVICES DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE:

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT \_\_\_\_\_ ON THE \_\_\_\_\_  
DAY OF \_\_\_\_\_, 20\_\_\_\_ AT RECEPTION NO. \_\_\_\_\_.

DOUGLAS COUNTY CLERK AND RECORDER

BY: \_\_\_\_\_  
DEPUTY

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK,  
COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON.

**RIVERWALK II, LLC, A COLORADO LIMITED LIABILITY COMPANY**

BY \_\_\_\_\_

**NOTARY BLOCK**  
SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_ AS  
OF RIVERWALK II, LLC.

WITNESS MY HAND AND OFFICIAL SEAL.

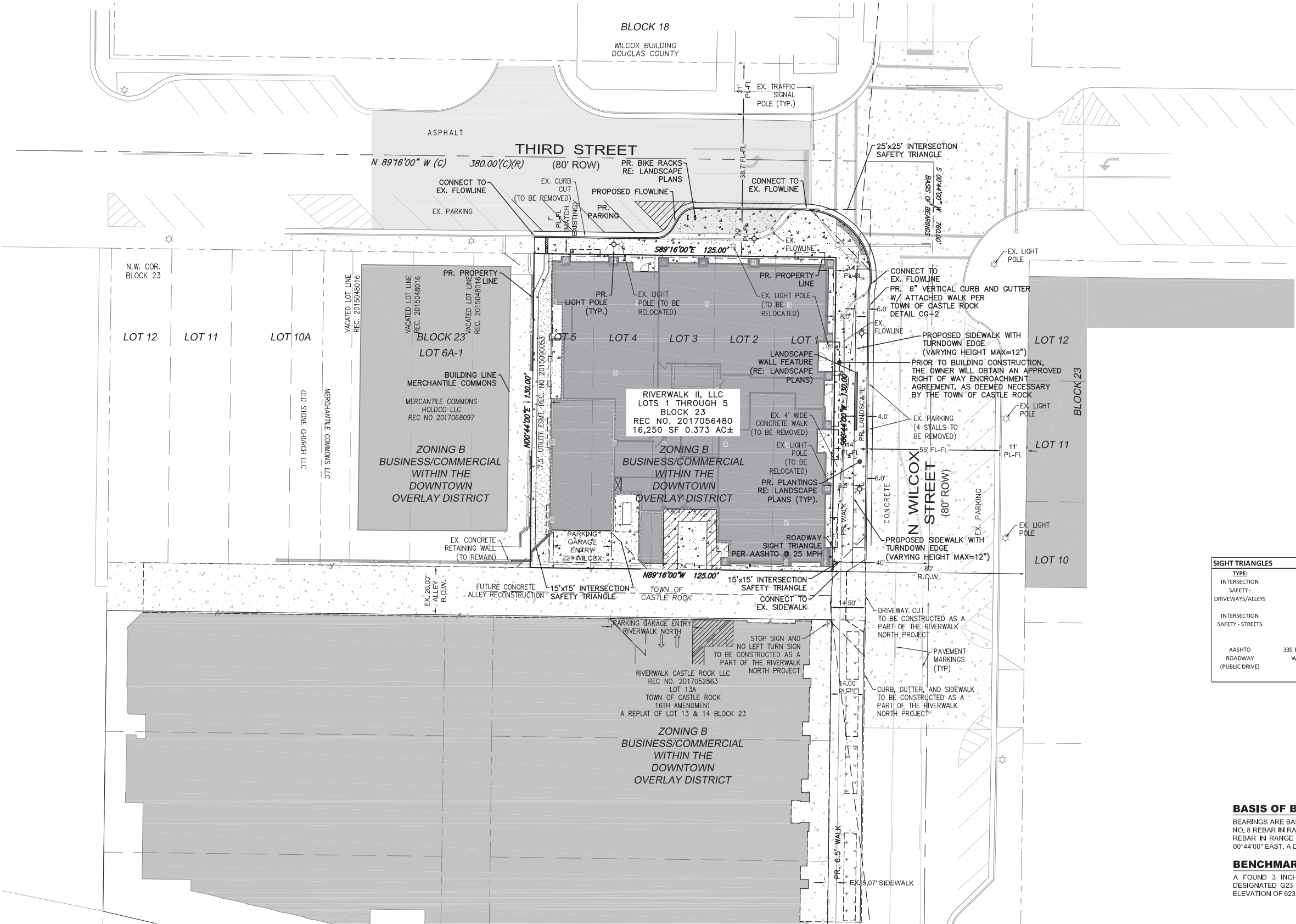
NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES: \_\_\_\_\_.

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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

0 20' 40'  
SCALE: 1" = 20'

LEGEND

- EX. GRAY CONCRETE PVMT., STANDARD
- EX. ASPHALT
- EX. BUILDING
- PR. GRAY CONCRETE PVMT., STANDARD
- PR. BUILDING
- PR. GRAVEL
- PR. LANDSCAPE ELEMENTS
- PROPERTY BOUNDARY
- EXISTING SIGN
- EXISTING CURB & GUTTER
- EXISTING HYDRANT
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE
- EXISTING PAVEMENT MARKING
- PROPOSED SIGN
- PROPOSED BIKE RACK (RE: LANDSCAPE PLAN FOR DETAILS)



SIGHT TRIANGLES		
TYPE:	SIZE:	RESTRICTIONS:
INTERSECTION SAFETY - DRIVEWAYS/ALLEYS	15' LEG x 15' LEG	WITHIN THESE SAFETY TRIANGLES THERE SHALL BE NO SOLID OBJECTS BETWEEN TWO AND ONE-HALF (2½) FEET AND TEN (10) FEET ABOVE STREET ELEVATION
INTERSECTION SAFETY - STREETS	25' LEG x 25' LEG	WITHIN THESE SAFETY TRIANGLES THERE SHALL BE NO SOLID OBJECTS BETWEEN TWO AND ONE-HALF (2½) FEET AND TEN (10) FEET ABOVE STREET ELEVATION
AASHTO ROADWAY (PUBLIC DRIVE)	335' LEG x 14.5' BEHIND FLOWLINE WILCOX POSTED AT 25 MPH	NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS AND TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET



Prepared by:  
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6 Inverness Court E, Suite 125  
Englewood, Colorado 80112  
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BASIS OF BEARINGS

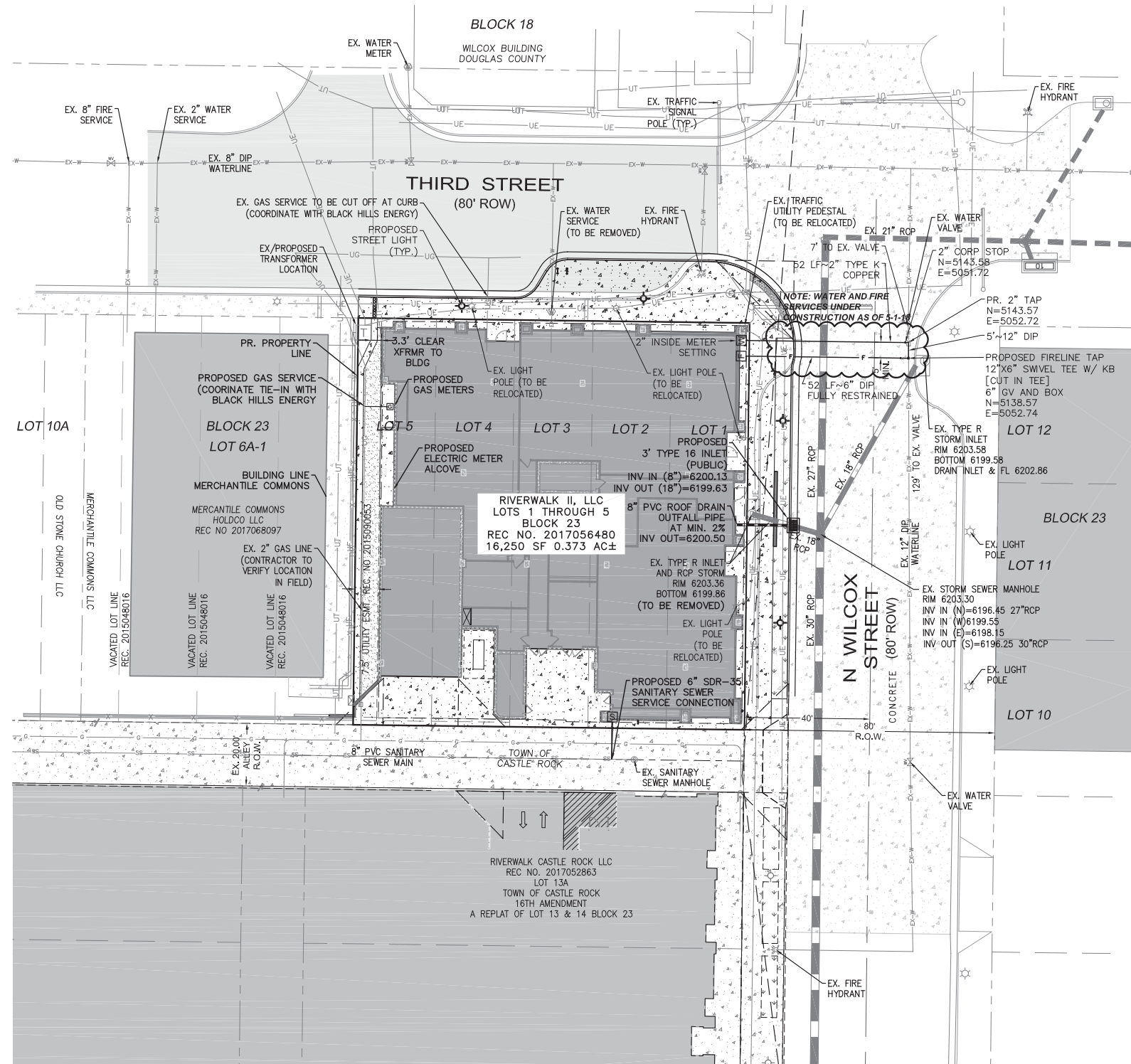
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BENCHMARK

A FOUND 3 INCH DIAMETER ALUMINUM CAP IN CONCRETE STAMPED G23 1929, DESIGNATED G23 BY THE NATIONAL GEODETIC SURVEY WITH A PUBLISHED NAVD88 ELEVATION OF 6231.61.



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0 20' 40'  
SCALE: 1" = 20'

LEGEND

EXISTING	EXISTING PROPERTY LINE	PROPOSED	PROPOSED PROPERTY LINE
EX-SS	SANITARY SEWER MAIN	BUILDING LINE	SANITARY SEWER SERVICE
SS	SANITARY SERVICE LINE	STORM SEWER MAIN	STORM SEWER MAIN
EX-ST	STORM SEWER MAIN	PERFORATED PIPE	STORM SEWER CLEANOUT
	STORM SEWER INLET		STORM SEWER INLET
	STORM SEWER MANHOLE		
EX-W	EXISTING WATER LINE	FIRE LINE	FIRE HYDRANT
	FIRE HYDRANT		WATER SERVICE & METER
	VALVE		WATER VALVE
	WATER SERVICE & METER		STREET LIGHT
OHU	OVERHEAD UTILITY LINE		
	ELECTRIC MANHOLE		
	LIGHT POLE		
	POWER POLE		
	ELECTRIC BOX		
	TRAFFIC BOX		
UT	BURIED COMM. LINE		
S	GAS LINE		
UE	BURIED ELECTRIC LINE		
GM	GAS METER		
CO	CLEANOUT		
FO	FIBER OPTIC		
	STREET LIGHT		

UTILITY NOTES

- All proposed easements must be recorded prior to issuance of construction permits.
- The minimum separation between waterlines, sanitary sewer and storm sewer lines is 10 feet.
- The minimum separation between water service lines is 5 feet.
- This site is located within the Town of Castle Rock YELLOW water pressure zone.

FIRE FLOW DATA:

TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS: 1,063 GPM

THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 1 FIRE HYDRANT

CODE USED FOR ANALYSIS: 2015 IFC APPENDIX B  
OCCUPANCY GROUP(S): A-2, R-2, S-2

FIRE FLOW CALCULATION AREA, CONSTRUCTION TYPE I-A: 43,327 SF  
FIRE FLOW CALCULATION AREA, CONSTRUCTION TYPE V-A: 55,188 SF

THIS BUILDING IS FULLY SPRINKLERED



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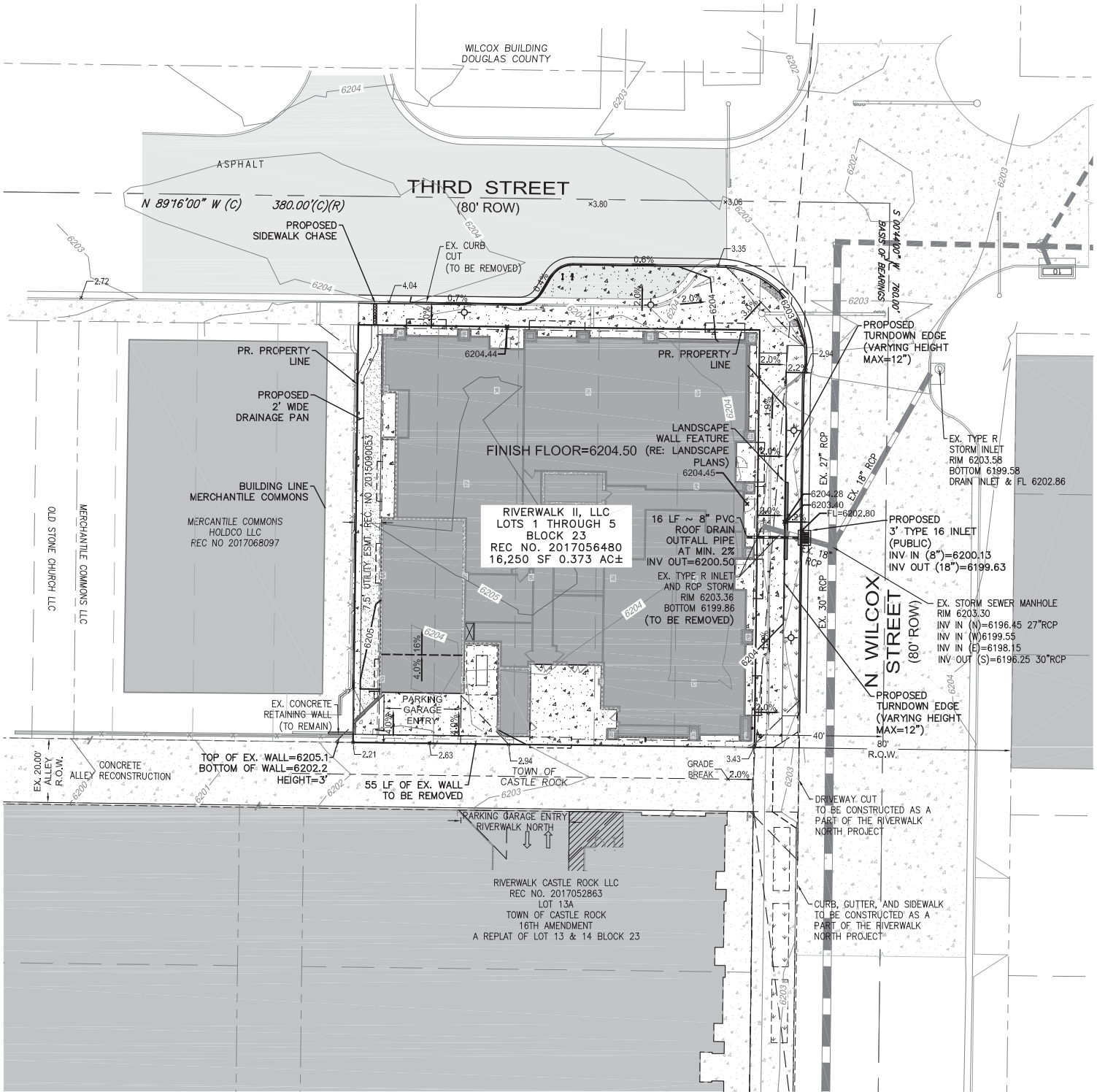
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0 20' 40'  
SCALE: 1" = 20'



LEGEND

EXISTING	EXISTING PROPERTY LINE	PROPOSED	PROPOSED PROPERTY LINE
	STORM SEWER MAIN		BUILDING LINE
	STORM SEWER INLET		STORM SEWER MAIN
	STORM SEWER MANHOLE		STORM SEWER MAHOLE
	STORM SEWER INLET		STORM SEWER INLET
	MAJOR CONTOUR		PROPOSED MAJOR CONTOUR
	MINOR CONTOUR		PROPOSED MINOR CONTOUR
	EXISTING SLOPE		PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION		PROPOSED SLOPE



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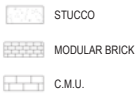
GRADING PLAN  
SHEET 4  
4/11/2018

LOTS 1 THROUGH 5, BLOCK 23  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0008



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LOTS 1 THROUGH 5, BLOCK 23  
LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATERIALS LEGEND:



EXTERIOR GENERAL NOTES:

- 1 PROVIDE STUCCO CONTROL JOINTS. STUCCO AREAS NOT TO EXCEED 144 SF OR 18' VERTICALLY OR HORIZONTALLY  
2 PROVIDE MASONRY EXPANSION JOINTS AT 20' MAX DISTANCE. INSTALL JOINTS IN CORNERS WHERE APPLICABLE.

KEYNOTE LEGEND

Keynote #	Keynote Text
101	ALUMINUM STOREFRONT WINDOW, BLACK
102	ALUMINUM STOREFRONT AND ENTRY SYSTEM, BLACK
112	STUCCO WALL ASSEMBLY, BEIGE
120	METAL ENTRY CANOPY, BLACK
122	METAL COPING AT PARAPET, BLACK
127	STAIR PENTHOUSE BEYOND
128	POTENTIAL BUILDING SIGNAGE, NOTE: ALL PROPOSED SIGNAGE TO BE SUBMITTED FOR REVIEW WITH THE SIGN PERMIT APPLICATION
131	PRECAST COPING AT PARAPET
132	SEMI-RECESSED METAL BALCONY ASSEMBLY, BLACK
133	MASONRY SOLDIER COURSE, SPRINGFIELD
134	MASONRY ROWLOCK SILL, SPRINGFIELD
135	STEEL CHANNEL, BLACK
136	MASONRY WALL ASSEMBLY, SPRINGFIELD
137	METAL PANEL WALL ASSEMBLY
138	GLAZED OVERHEAD ROLLING DOOR, BLACK
139	PRECAST CONCRETE BANDING
140	WINDOW ASSEMBLY AT MASONRY, BLACK
141	WINDOW ASSEMBLY AT STUCCO, BEIGE
142	MASONRY FLEMISH BOND, 1" RECESS, SPRINGFIELD
148	HUNG METAL BALCONY ASSEMBLY, BLACK
149	METAL GUTTER AND DOWNSPOUT PAINTED TO MATCH MASONRY



2 BUILDING ELEVATION - NORTH  
3/32" = 1'-0"



1 BUILDING ELEVATION - EAST  
3/32" = 1'-0"

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK  
LOTS 1 THROUGH 5, BLOCK 23  
LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATERIALS LEGEND:

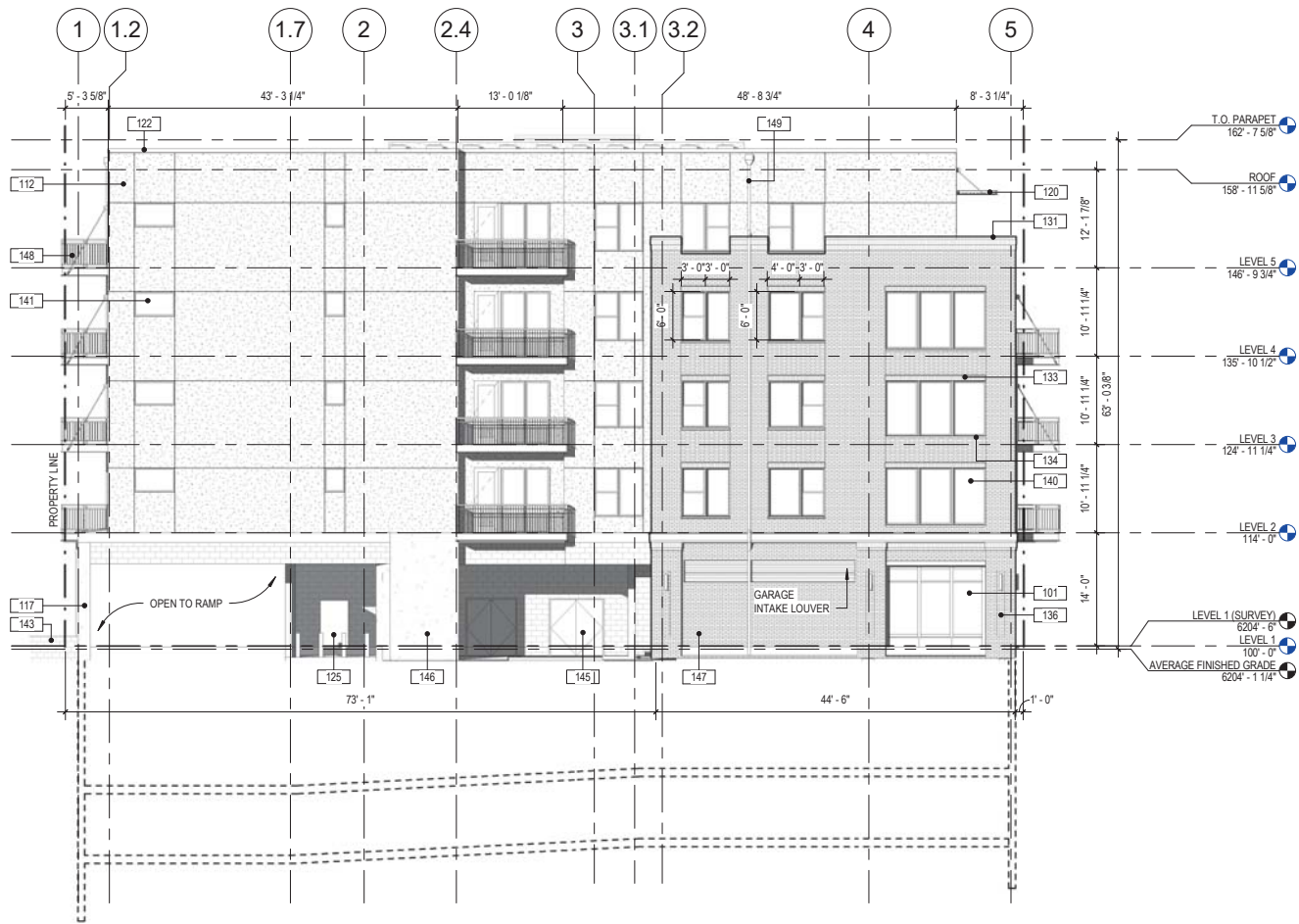
- STUCCO  
MODULAR BRICK  
C.M.U.

EXTERIOR GENERAL NOTES:

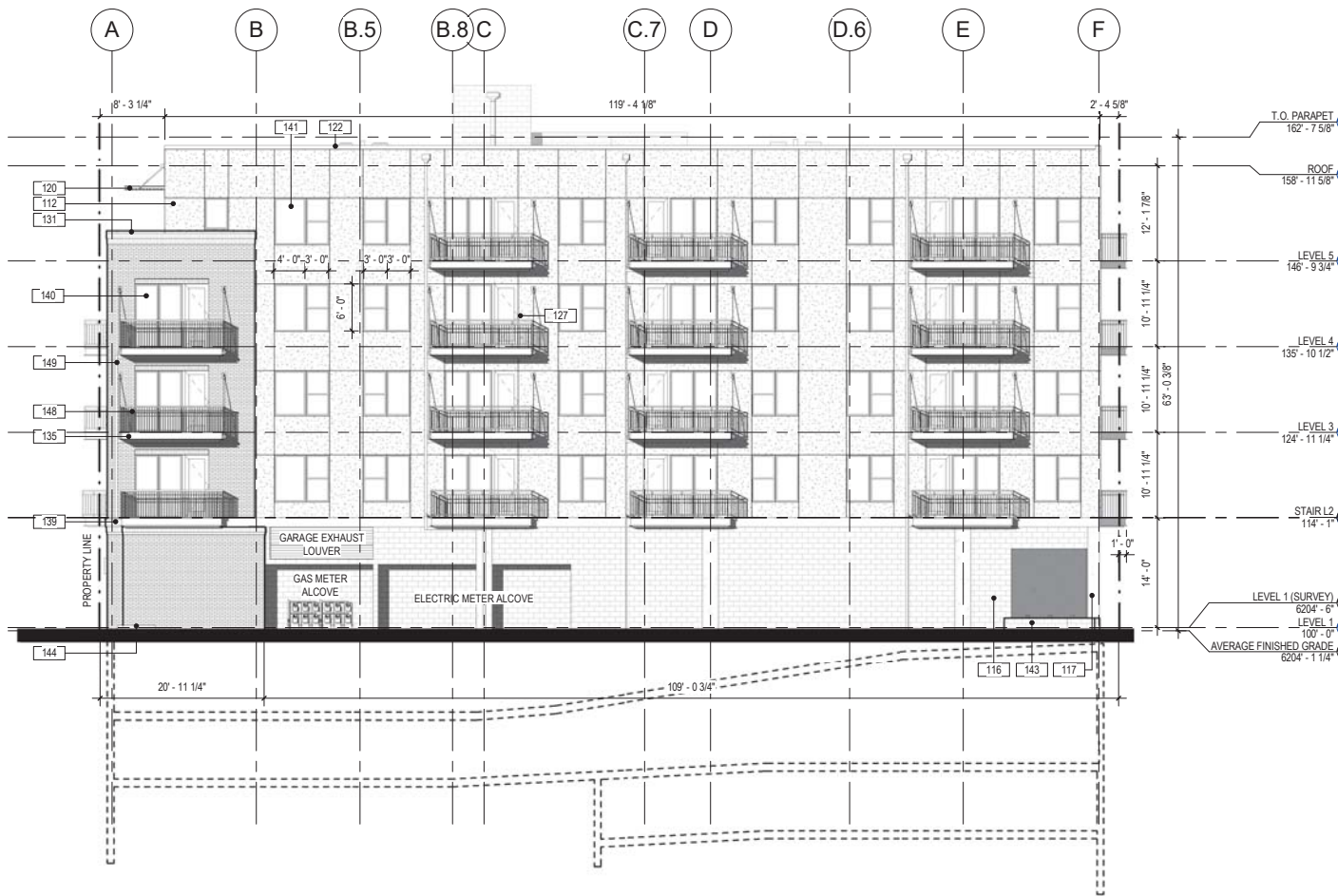
- 1 PROVIDE STUCCO CONTROL JOINTS. STUCCO AREAS NOT TO EXCEED 144 SF OR 18" VERTICALLY OR HORIZONTALLY  
2 PROVIDE MASONRY EXPANSION JOINTS AT 20' MAX DISTANCE. INSTALL JOINTS IN CORNERS WHERE APPLICABLE.

KEYNOTE LEGEND

Keynote #	Keynote Text
101	ALUMINUM STOREFRONT WINDOW, BLACK
112	STUCCO WALL ASSEMBLY, BEIGE
116	8"X8"X16" C.M.U.
117	CONCRETE COLUMN
120	METAL ENTRY CANOPY, BLACK
122	METAL COPING AT PARAPET, BLACK
125	GENERATOR WITH RATED ALCOVE
127	STAIR PENTHOUSE BEYOND
131	PRECAST COPING AT PARAPET
133	MASONRY SOLDIER COURSE, SPRINGFIELD
134	MASONRY ROWLOCK SILL, SPRINGFIELD
135	STEEL CHANNEL, BLACK
136	MASONRY WALL ASSEMBLY, SPRINGFIELD
139	PRECAST CONCRETE BANDING
140	WINDOW ASSEMBLY AT MASONRY, BLACK
141	WINDOW ASSEMBLY AT STUCCO, BEIGE
143	C.M.U. SITE RETAINING WALL
144	EXISTING TRANSFORMER PAD
145	HOLLOW METAL DOOR, COLOR SIMILAR TO C.M.U.
146	CONCRETE WALL ASSEMBLY
147	RECESSED BRICK, SPRINGFIELD
148	HUNG METAL BALCONY ASSEMBLY, BLACK
149	METAL GUTTER AND DOWNSPOUT PAINTED TO MATCH MASONRY



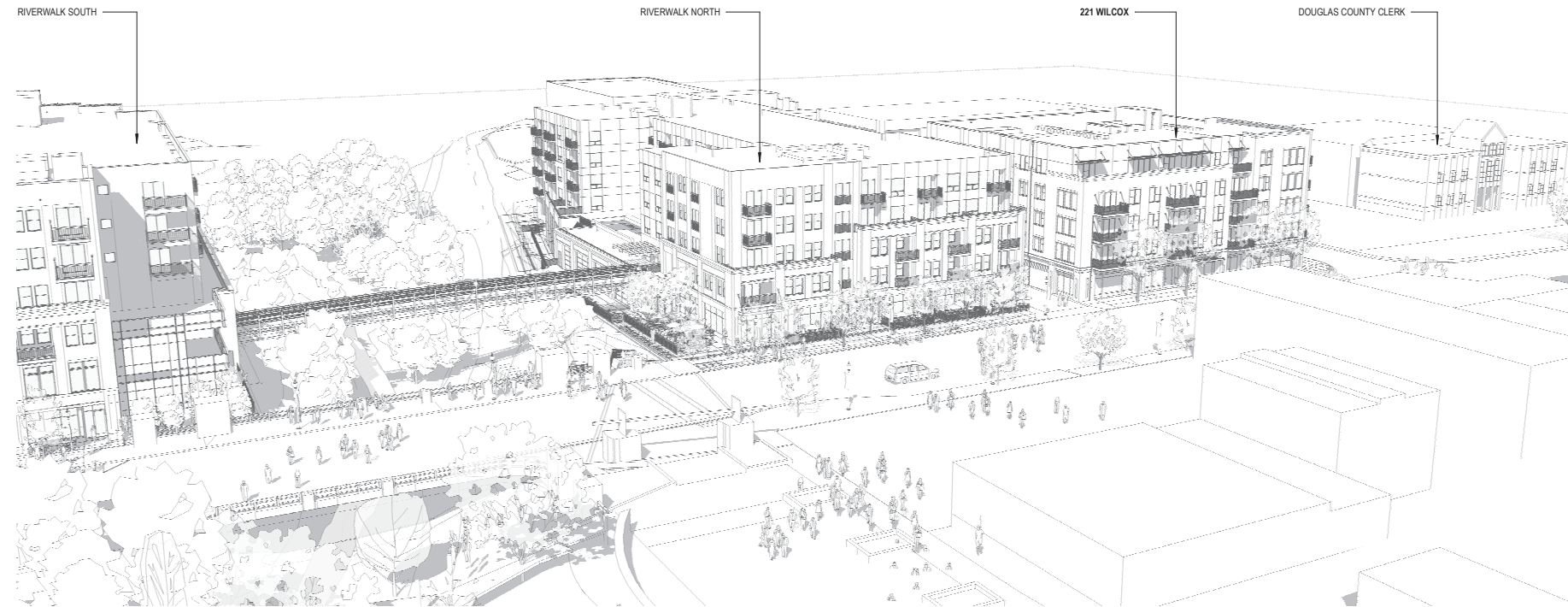
2 BUILDING ELEVATION - SOUTH  
3/32" = 1'-0"



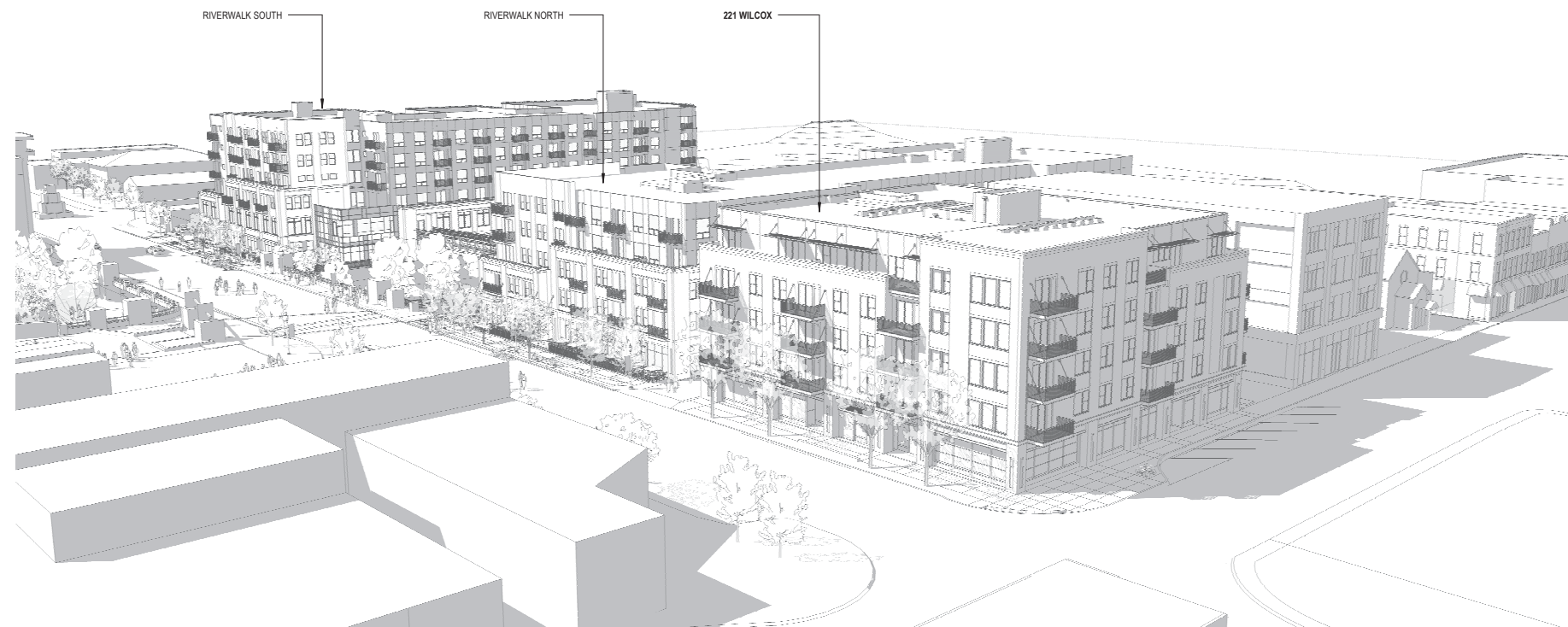
1 BUILDING ELEVATION - WEST  
3/32" = 1'-0"



SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK  
 LOTS 1 THROUGH 5, BLOCK 23  
 LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



2 AERIAL PERSPECTIVE - FROM FESTIVAL PARK  
 NTS



1 AERIAL PERSPECTIVE - FROM NORTHEAST  
 NTS



SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK  
 LOTS 1 THROUGH 5, BLOCK 23  
 LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



3 STREET VIEW - 2ND + WILCOX  
 NTS

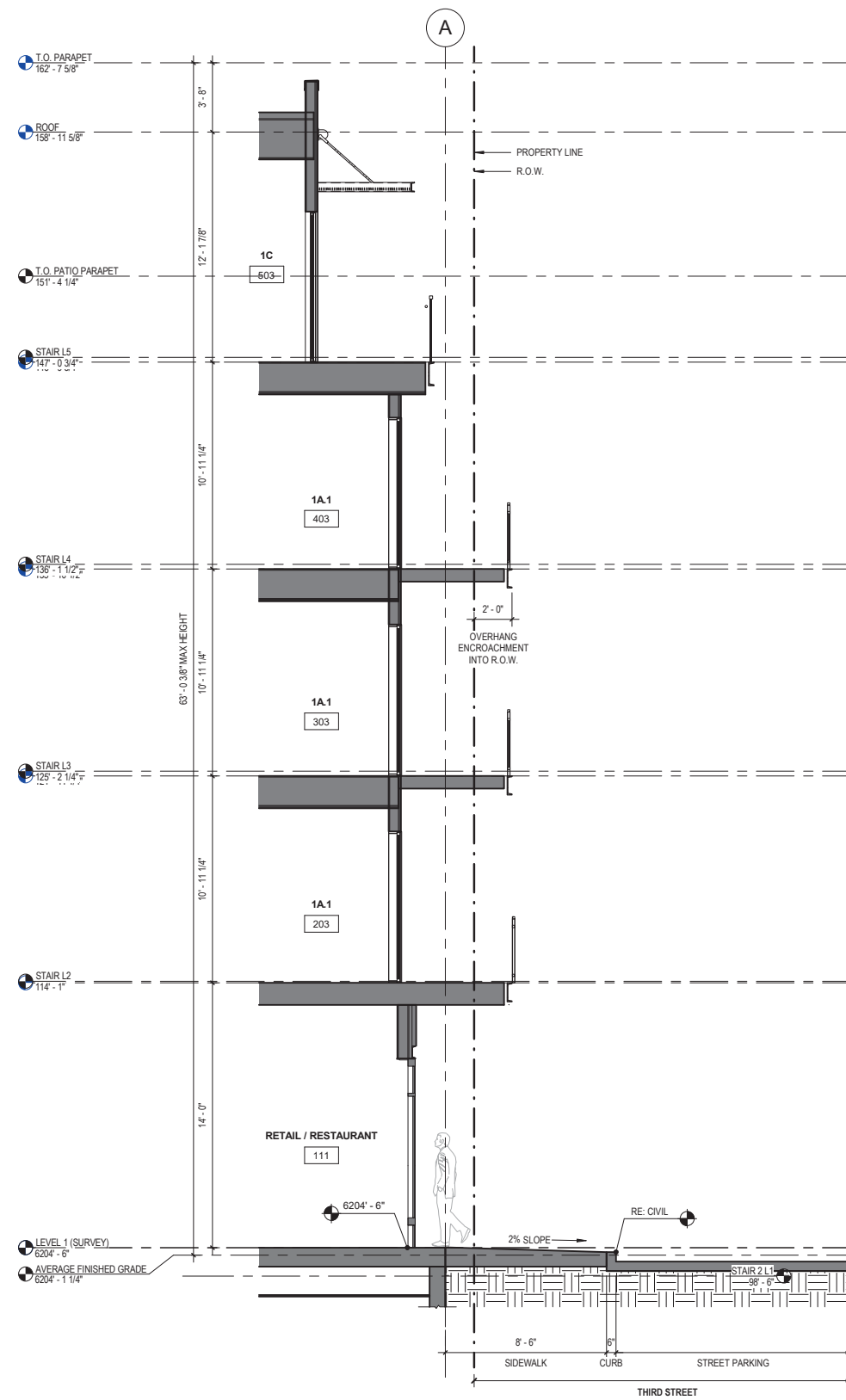


2 STREET VIEW - 3RD + JERRY  
 NTS

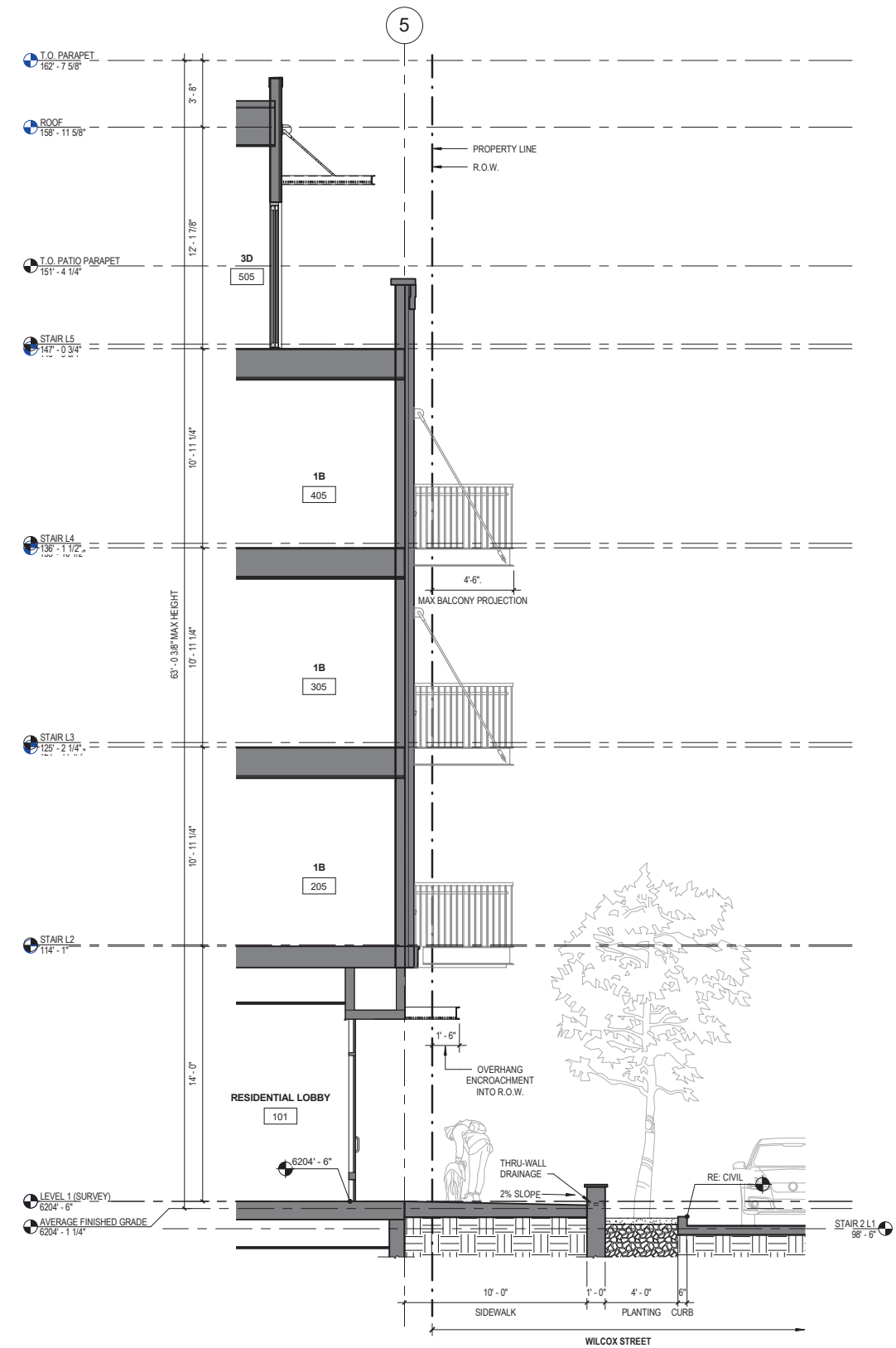


1 STREET VIEW - 3RD + WILCOX  
 NTS

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK  
LOTS 1 THROUGH 5, BLOCK 23  
LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

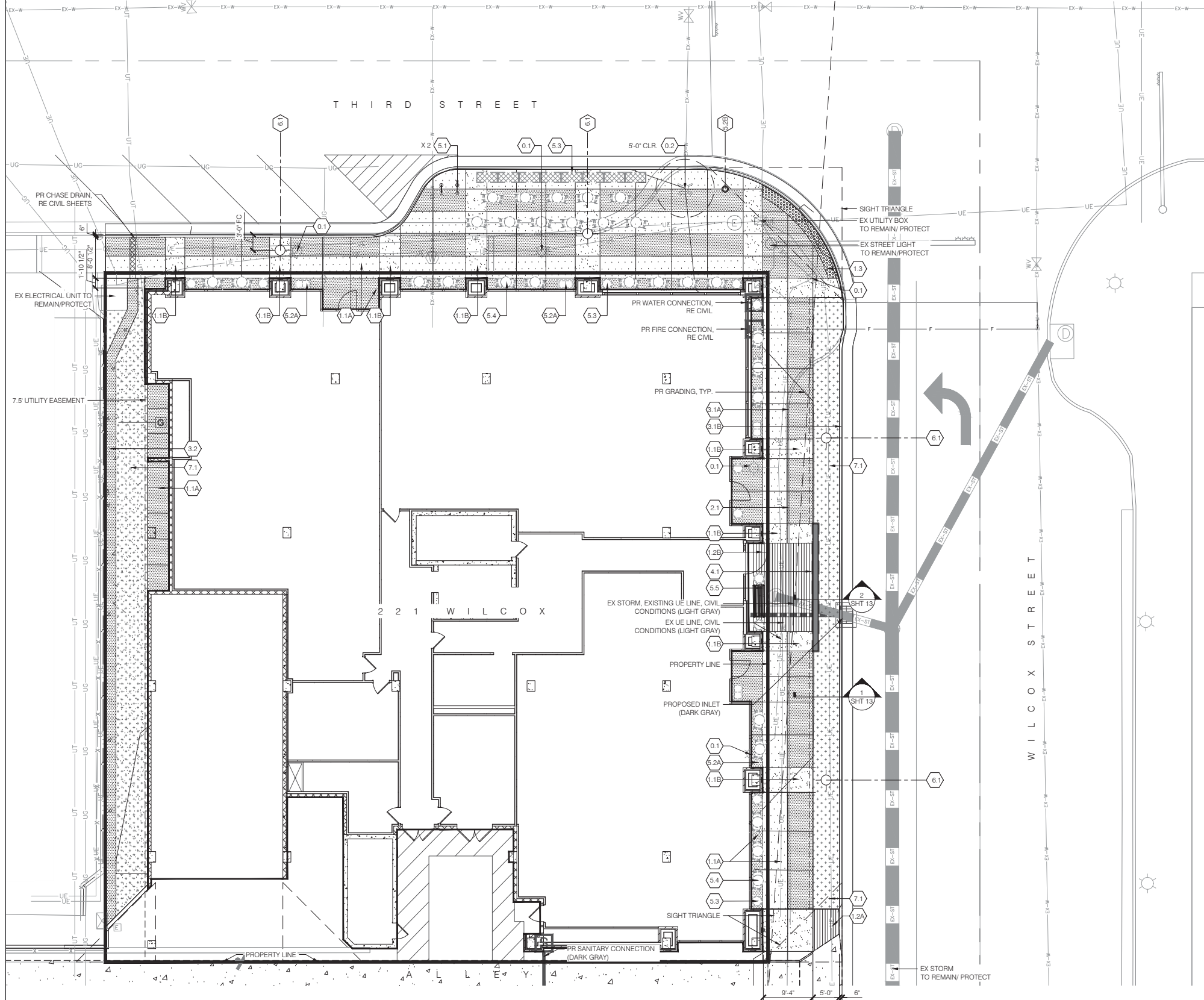


2 STREET SECTION - THIRD STREET  
1/4" = 1'-0"



1 STREET SECTION - WILCOX STREET  
1/4" = 1'-0"

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK  
LOTS 1 THROUGH 5, BLOCK 23  
LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



MATERIAL KEYNOTES

- 0.0 EXISTING CONDITIONS  
0.1 EXISTING STREET LIGHT TO BE REFURBISHED AND RELOCATED  
0.2 EXISTING FIRE HYDRANT TO REMAIN
- 1.0 PAVING  
1.1A CIP CONC PAVING, NATURAL COLOR, ALT. BROOM DIR.  
1.1B CIP CONC PAVING, INTEGRAL COLOR, SANDSCAPE FIN.  
1.2A CONCRETE UNIT PAVERS - TYPE A (MATCH RIVERWALK NORTH)  
1.2B CONCRETE UNIT PAVERS - TYPE B  
1.3 DETECTABLE WARNING PAVERS PER CITY STANDARD
- 2.0 JOINTING  
2.1 CONTROL/EXPANSION JOINTS
- 3.0 CURBS, EDGES, STEPS  
3.1A EXISTING CURB, RE CIVIL SHEETS  
3.1B PROPOSED CURB, RE CIVIL SHEETS  
3.2 CONCRETE GUTTER PAN, RE CIVIL SHEETS
- 4.0 WALLS  
4.1 CIP CONCRETE CURB/WALL
- 5.0 SITE FURNISHINGS & SITE ELEMENTS  
5.1 BIKE RACK  
5.2A LITTER/RECYCLING RECEPTACLE PER TENANT  
5.2B LITTER RECEPTACLE, REFURB AND RELOCATE  
5.3 PLANTER PER TENANT  
5.4 OUTDOOR SEATING PER TENANT  
5.5 BENCH
- 6.0 SITE LIGHTING  
6.1 REFURBISHED PEDESTRIAN STREET LIGHT, RE ELECT SHEETS
- 7.0 PLANTING  
7.1 MULCHED PLANTING BED

NOTE:

MAINTENANCE OF ALL CONCRETE AND HARDSCAPE WITHIN THE PUBLIC ROW THAT DOES NOT MATCH TOWN STANDARD CRITERIA WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR HOA.



DENNIS RUBBA  
PROFESSIONAL LANDSCAPE  
ARCHITECT COLORADO: LA-230

LANDSCAPE SITE PLAN  
SHEET 10

APRIL 11, 2018

LOTS 1 THROUGH 5, BLOCK 23  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0008



THIRD STREET

WILCOX STREET

221 WILCOX

PROPERTY LINE

EX ELECTRICAL UNIT TO REMAIN/PROTECT (216) WCE

7.5' UTILITY EASEMENT

PR WATER CONNECTION, RE CIVIL

PR FIRE CONNECTION, RE CIVIL

CU STRUCTURAL SOIL EXTENT

PR GRADING, TYP.

PR SANITARY CONNECTION (DARK GRAY)

EXISTING UTILITY BOX TO REMAIN/PROTECT

EXISTING STREET LIGHT TO REMAIN/PROTECT

(12) PMN

(8) MFG

(11) MLD

(6) LBD

(17) HRD

(6) LBD (7) MLD

(9) PMN

(13) FGO

(6) LBD

(15) HRD

(6) LBD

(37) MFG (11) PMN

EX STORM TO REMAIN/PROTECT

(1) PRL

(1) PRL

(1) CHB

(1) CHB

0.0	EXISTING CONDITIONS
0.1	EXISTING STREET LIGHT TO BE REFURBISHED AND RELOCATED
0.2	EXISTING FIRE HYDRANT TO REMAIN
1.0	PAVING
1.1A	CIP CONC PAVING, NATURAL COLOR, ALT. BROOM DIR.
1.1B	CIP CONC PAVING, INTEGRAL COLOR, SANDSCAPE FIN.
1.2A	CONCRETE UNIT PAVERS - TYPE A (MATCH RIVERWALK NORTH)
1.2B	CONCRETE UNIT PAVERS - TYPE B
1.3	DETECTABLE WARNING PAVERS PER CITY STANDARD
2.0	JOINTING
2.1	CONTROL/EXPANSION JOINTS
3.0	CURBS, EDGES, STEPS
3.1A	EXISTING CURB, RE CIVIL SHEETS
3.1B	PROPOSED CURB, RE CIVIL SHEETS
3.2	CONCRETE GUTTER PAN, RE CIVIL SHEETS
4.0	WALLS
4.1	CIP CONCRETE CURB&WALL
5.0	SITE FURNISHINGS & SITE ELEMENTS
5.1	BIKE RACK
5.2A	LITTER/RECYCLING RECEPTACLE PER TENANT
5.2B	LITTER RECEPTACLE, REFURB AND RELOCATE
5.3	PLANTER PER TENANT
5.4	OUTDOOR SEATING PER TENANT
5.5	BENCH
6.0	SITE LIGHTING
6.1	REFURBISHED PEDESTRIAN STREET LIGHT, RE ELECT SHEETS
7.0	PLANTING
7.1	MULCHED PLANTING BED

•  N 0' 5' 10' 20'



APRIL 11, 2018

LOTS 1 THROUGH 5, BLOCK 23  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0008

## LANDSCAPE COVERAGE SUMMARY

[illegible]

Count	SYM	COMMON NAME	BOTANICAL NAME	PLANTING SIZE	HYDRO	NOTES	SPACING
<b>DECIDUOUS TREES</b>							
2	CHB	Hackberry, Common	<i>Celtis occidentalis</i>	3" CAL	2-3	B&B	As shown
2	PRL	Locust, Purple Robe	<i>Robinia 'Purple Robe'</i>	3" CAL	1-2	B&B	As shown
<b>EVERGREEN SHRUBS</b>							
32	PMN	Panchito Manzanita	<i>Arctostaphylos 'Panchito'</i>	5 GAL	2	CONT	As shown
216	WCE	Wintercreeper	<i>Euonymus fortunei 'coloratus'</i>	5 GAL	3	CONT	As shown
<b>ORNAMENTAL GRASSES</b>							
13	FGO	Fountain Grass, Oriental	<i>Pennisetum Orientale</i>	5 GAL	2-3	CONT	As shown
45	MFG	Mexican Feather Grass	<i>Nassella tenuissima</i>	5 GAL	2-3	CONT	As shown
<b>PERENNIAL / GROUND COVER</b>							
32	HRD	Daylily, Happy Returns	<i>Hemerocallis 'Happy Returns'</i>	1 GAL	1-2	CONT	As shown
24	LBD	Daylily, Little Business	<i>Hemerocallis 'Little Business'</i>	1 GAL	1-2	CONT	As shown
18	MLD	Daylily, Mauna Loa	<i>Hemerocallis 'Mauna Loa'</i>	1 GAL	1-2	CONT	As shown

1. SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
2. QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
3. ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
4. DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPE AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
6. DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
7. IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
8. IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.

1. ALL PLANTED AREAS SHALL BE MULCHED WITH 4" ORGANIC SHREDDED HARDWOOD MULCH.
2. ALL DISTURBED LANDSCAPED AREAS SHALL BE SEEDDED WITH A DROUGHT TOLERANT NATIVE SEED GRASS MIX OR DROUGHT TOLERANT TURF MIX AS RECOMMENDED IN THE TOWN OF CASTLE ROCK RECOMMENDED PLANT LIST. THESE AREAS SHALL RECEIVE INITIAL SPRAY IRRIGATION TO ESTABLISH PLANT MATERIAL AND SHALL DECREASE IRRIGATION VOLUME AND FREQUENCY AS PLANTS BECOME ESTABLISHED.
3. ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND TREE AREAS SHALL BE DRIP IRRIGATED UNLESS OTHERWISE SPECIFIED.
4. CORNELL UNIVERSITY (CU) STRUCTURAL SOIL REQUIRED FOR ALL STREETScape PLANTING AREAS LESS THAN 8'-0" IN WIDTH.
5. TOWN MINIMUM IS 4 CU YDS OF ORGANIC MATTER PER 1,000 SF OF LANDSCAPE AREA. THIS IS TO BE ROTOTILLED TO A DEPTH OF 6 INCHES. CLASS I OR II COMPOST IS REQUIRED.

**Note:**

- a. Lack of frontage on Third Street prohibits tree planting
- b. Existing inlet on Wilcox limits tree planting
- c. See cover for variance request



## 1 TCR TREE PLANTING

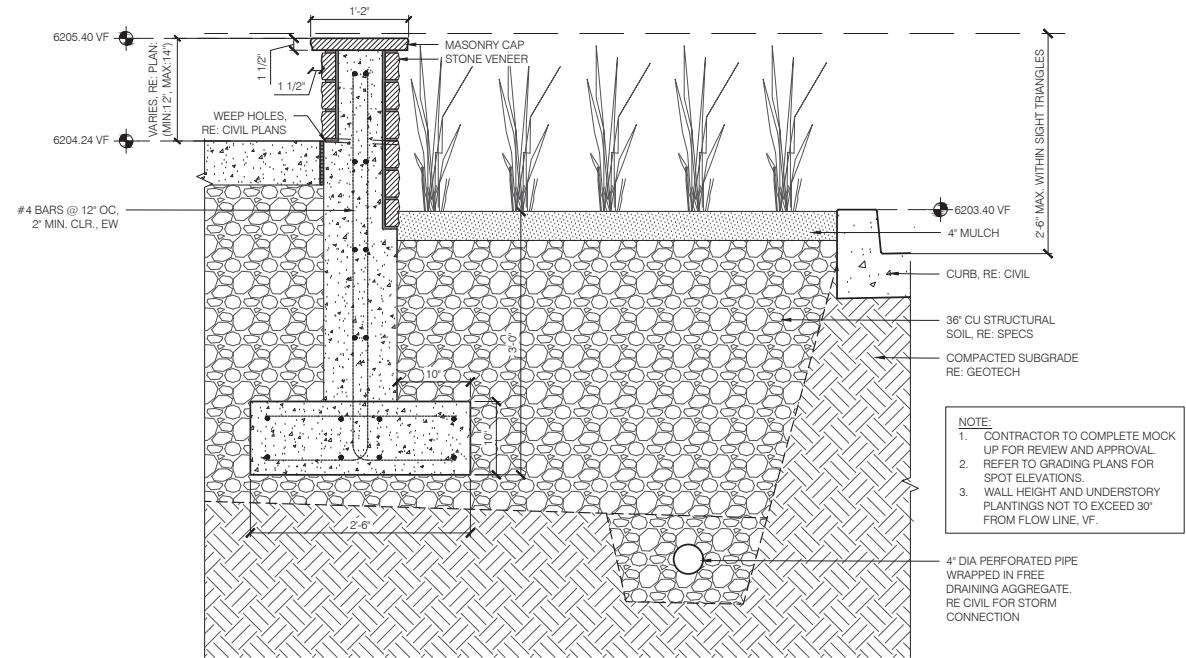
SCALE: NTS

LANDSCAPE DETAILS  
SHEET 12

APRIL 11, 2018

LOTS 1 THROUGH 5, BLOCK 23  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0000

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK  
LOTS 1 THROUGH 5, BLOCK 23  
LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

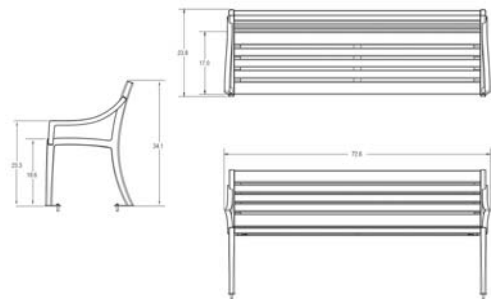


2 TURNED DOWN CONCRETE CURB AT PLANTING AREA  
SCALE: 1" = 1'-0"



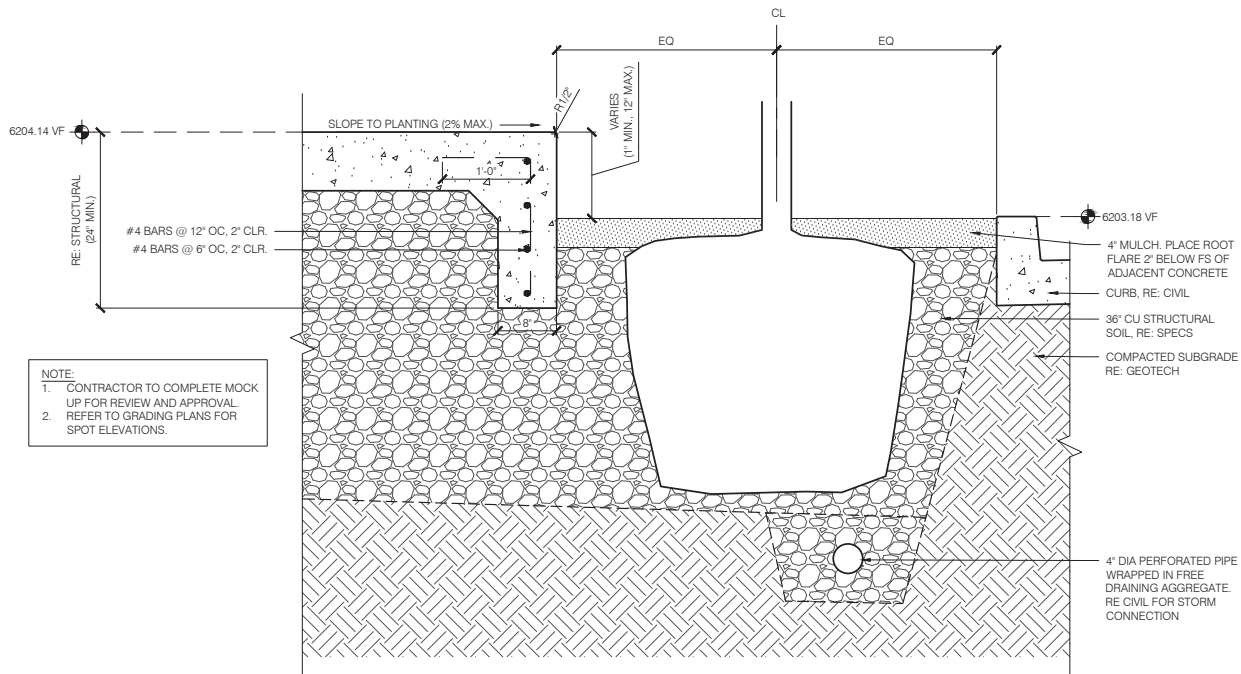
MANUFACTURER: DERO  
MODEL: HOOP RACK HEAVY DUTY  
FINISH: MATCH CITY STANDARD  
OR APPROVED EQUAL

4 BIKE RACK  
SCALE: NTS



MANUFACTURER: FORMS + SURFACES  
MODEL: CORDIA  
MATERIAL: ALUMINUM W/ WOOD  
SIZE: 24" X 73" X 34"  
MOUNT: SURFACE  
OR APPROVED EQUAL

3 STREETSCAPE BENCH  
SCALE: 1/2" = 1'-0"



1 TURNED DOWN CONCRETE WALK AT PLANTING AREA  
SCALE: 1" = 1'-0"



DENNIS RUBBA  
PROFESSIONAL LANDSCAPE  
ARCHITECT COLORADO: LA-230

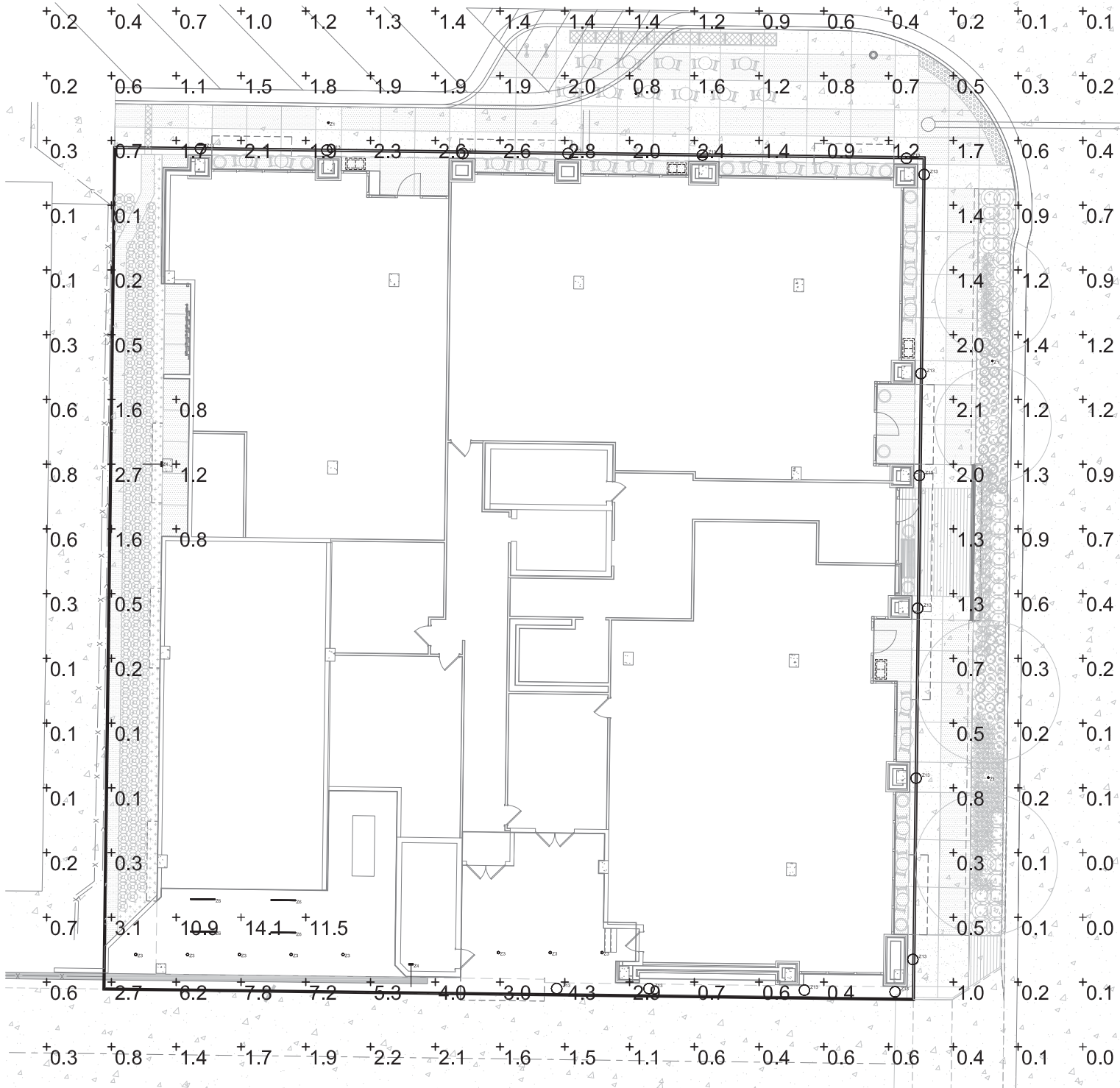
LANDSCAPE DETAILS  
SHEET 13

APRIL 11, 2018

LOTS 1 THROUGH 5, BLOCK 23  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0008



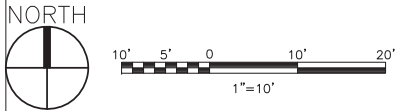
SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK,  
LOTS 1 THROUGH 5, BLOCK 23  
LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



- GENERAL LIGHTING NOTES**
1. REFER TO LUMINAIRE SCHEDULE FOR LIGHTING USES/OBJECTIVES.
  2. EXTERIOR LIGHTING OPERATION IS DUSK TO DAWN, WITH PHOTOCELL & TIMESWITCH CONTROL.
  3. MITIGATION TO ADJACENT PROPERTIES:
    - A. FIXTURE TYPES Z3-Z6 ARE FULL CUT-OFF OR DOWNLIGHT ONLY.
    - B. TYPE Z1 IS PER THE TOWN STANDARD.
    - C. TYPE Z2 FESTOON LIGHTING IS UNSHIELDED, LOW-OUTPUT LED; EFFECTS ARE MINIMAL AT PROPERTY LINE. ADJACENT PROPERTY TO THE SOUTH IS PART OF THIS PROJECT.
  4. NO FORWARD THROW (TYPE IV), POLE-MOUNTED FACADE, OR UNSHIELDED WALL PACKS ARE UTILIZED HEREIN.

Statistics	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Description						
Calc. Zone #1	+	1.4 fc	14.1 fc	0.0 fc	N/A	N/A

LUMINAIRE SCHEDULE												
PLAN MARK	QTY	MOUNTING	HEIGHT	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	VOLTAGE	NO. OF LAMPS	LAMP TYPE	COLOR TEMP	LUMENS	LLF	REMARKS
Z1	3	POST TOP	+11'-0"	TO MATCH EXISTING DOWNLIGHT	PT-B750 W/ 09L45T5-MDL14 SOURCE	120-277	-	44W LED	4500K	3,865	1.0	VERIFY HEIGHT, POLE, AND OPTIONS WITH CITY
Z3	12	SURFACE	+10'-0"	CONTECH LIGHTING SMTR530KCMVD2-x		120-277	-	11W LED	3000K	860	1.0	COLOR SELECTED BY ARCHITECT/OWNER
Z4	10	WALL	+10'-0"	WALL PACK SMALL	H.E. WILLIAMS WWMV-L20/730-T3-x-SDGL-PC-DIM-UNV	120-277	-	25W LED	3000K	2,022	1.0	COLOR SELECTED BY ARCHITECT/OWNER
Z6	2	RECESSED	+10'-0"	CEILING LINEAR	MARK ARCHITECTURAL LIGHTING FINL-6FT-3D-H30AD-277-CF-DL	120-277	-	72W LED	3000K	2,880	1.0	
Z13	4	WALL	+6'-6"	SCONCE	MODERN FORMS WS-W37622	120	-	15W LED	3000K	528	1.0	
												USE
												STREET-SIDE TO MATCH EXISTING
												STORE FRONT & ENTRANCE SOFFITS
												NARROW WALKS/ DRIVES EXIT DOORS
												GARAGE ENTRY
												BUILDING ENTRIES



**GIVEN**  
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Lakewood, Colorado 80228  
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Fax: 303.716.1272  
www.givenandassociates.com  
Project # 18005

**PHOTOMETRIC PLAN  
SHEET 14**  
4/10/2018 10:29:01 AM