

PLUM CREEK RIDGE AT CASTLE ROCK
SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

EXHIBIT 1

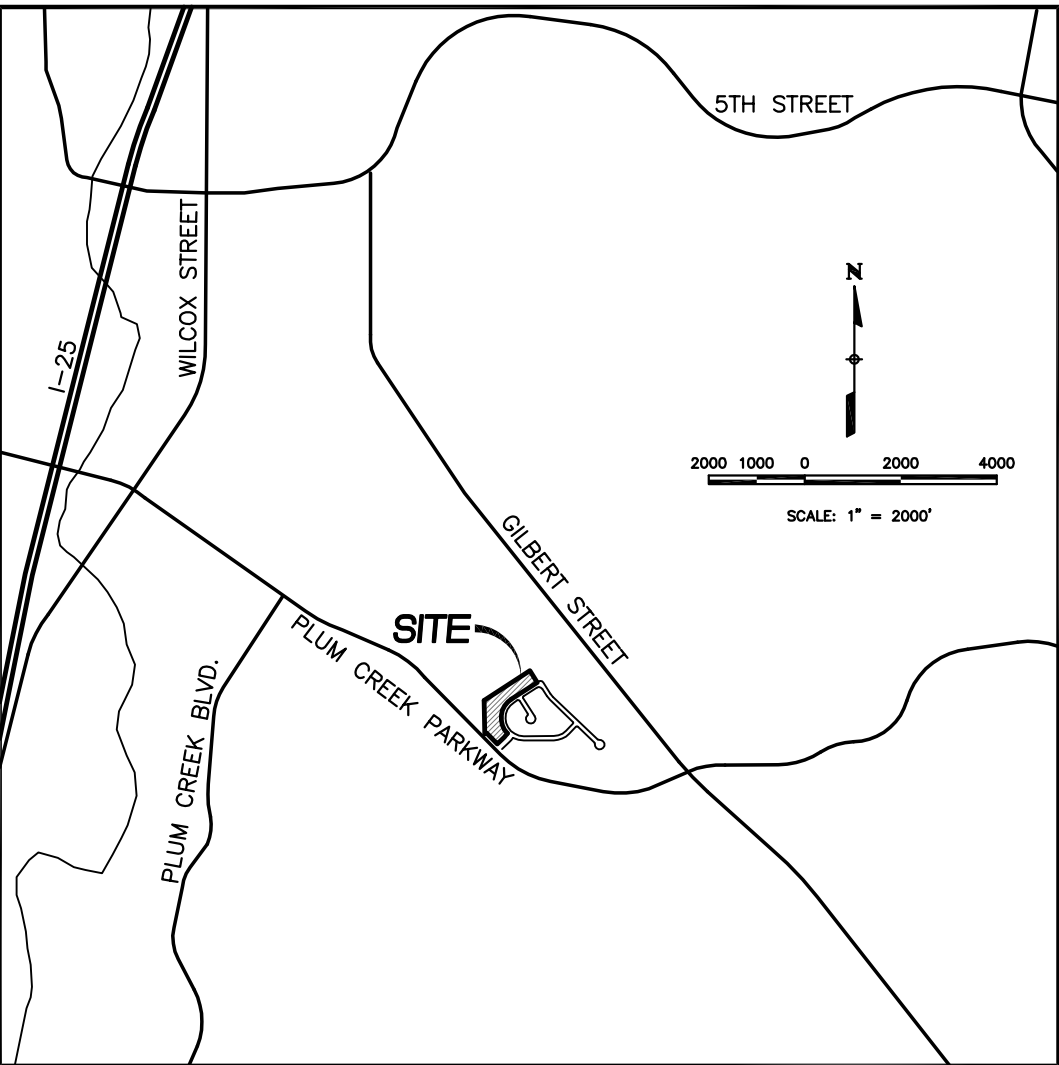
3.34 ACRES
LOCATED IN THE NW 1/4, SECTION 13, T. 8 S, R. 67 W, 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

GENERAL NOTES

- 1. DRAINAGE EASEMENTS: THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENT AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS SHALL BE ASSESSED TO THE PROPERTY OWNER. THE MAINTENANCE COSTS SHALL INCLUDE ALL COSTS FOR LABOR, EQUIPMENT AND MATERIALS, AND SHALL BE CHARGED AT 1.25 TIMES THE ACTUAL COST.
- 2. PURSUANT TO SECTION 3.3.4E5-7 AND 4.2.5 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- 3. THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- 4. A PORTION OF THIS SITE LIES WITHIN A 100-YEAR ZONE AE FLOODPLAIN ACCORDING TO FEMA FLOODPLAIN MAP 08035C0301G DATED MARCH 16, 2016.
- 5. ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CDS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- 6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK 'WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- 7. APPROVAL OF THE SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- 8. NO SOLID OBJECT (EXCEEDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS, SHALL BE PLACED IN SIGHT DISTANCE EASEMENTS.
- 9. THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THE SITE DEVELOPMENT PLAN. (NO TRACTS ARE PROPOSED AS A PART OF THIS DEVELOPMENT.)
- 10. ALL UTILITY, DRAINAGE AND EMERGENCY ACCESS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- 11. THIS SITE IS ZONED PLUM CREEK RIDGE PD AMENDMENT NO. 1..
- 11. ALL EMERGENCY ACCESS ROADS AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- 12. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- 13. RETAINING WALLS, SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
- 14. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- 15. WATER RIGHTS DEDICATION AGREEMENT
THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE AMENDED AND RESTATED PLUM CREEK RIDGE DEVELOPMENT AGREEMENT, RECORDED ON THE 4TH DAY OF SEPTEMBER, 2014 AT RECEPTION NO. 2014050338 AND ACCORDINGLY 33.5 SFE ARE DEBITED FROM THE WATER BANK.

FIRE NOTES

- 1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- 2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- 3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- 4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- 5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- 6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM 'ALL-WEATHER DRIVING CAPABILITIES' HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- 7. 'NO PARKING FIRE LANE' SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- 8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.



VICINITY MAP
SCALE: 1"=2000'

SHEET INDEX

- 1 COVER SHEET
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- 8 5- PLEX ELEVATIONS
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LEGAL DESCRIPTION

LOT 67, PLUM CREEK AT CASTLE ROCK, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

BENCHMARK

DOUGLAS COUNTY CONTROL MONUMENT 3020015. 3-1/4" ALUMINUM CAP LOCATED IN THE NORTHEAST CORNER, TOP OF STORM INLET, SOUTH ENTRANCE TO 959 PLUM CREEK BLVD. ELEVATION: 6255.22 (NAVD88)

OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS DESCRIBED HEREON IN THE TOWN OF CASTLE ROCK.

BY: PLUM CREEK ASSOCIATES, LLC, A COLORADO LIMITED LIABILITY COMPANY

NAME: _____

TITLE: _____

SIGNED THIS _____ DAY OF _____, 20_____

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____

20_____ BY _____ AS _____ OF _____

PLUM CREEK ASSOCIATES, LLC.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

TITLE CERTIFICATION

I, _____, AN AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE COMPANY, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE

SIGNED THIS _____ DAY OF _____, 20 _____

AUTHORIZED REPRESENTATIVE

TITLE COMPANY NAME

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20_____ BY _____

WITNESS MY HAND AND OFFICIAL SEAL.

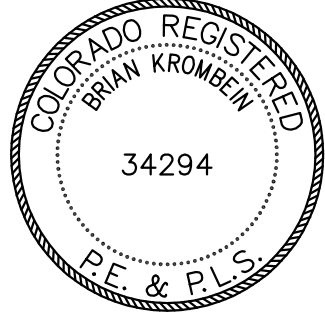
NOTARY PUBLIC
MY COMMISSION EXPIRES _____

CIVIL ENGINEER'S STATEMENT

I, BRIAN KROMBEIN, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED ENGINEER
BRIAN KROMBEIN, PE, PLS.
COLORADO PE NO. 34294

DATE

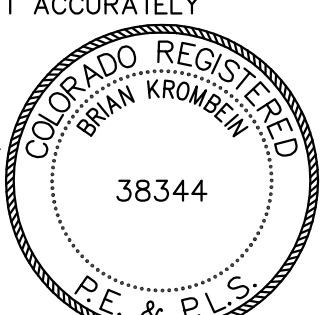


SURVEYOR'S CERTIFICATE

I, BRIAN KROMBEIN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY LOT 67, PLUM CREEK RIDGE WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THE SITE DEVELOPMENT PLAN AMENDMENT ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR
BRIAN KROMBEIN, PE, PLS.
COLORADO PLS NO. 38344

DATE



SITE DATA TABLE

ZONING		
ITEM	PD MIN.	PROPOSED
NUMBER OF UNITS		45
GROSS SITE AREA		3.34 ACRES
DENSITY	4.98-7.46 DU/AC FOR ENTIRE PA-1 AREA	13.5 DU/AC (PHASE 2 - THIS SDP) 4.5 DU/AC (PHASE 1 - SDP14-0012) 6.2 DU/AC (ENTIRE PA-1 AREA)
BUILDING SETBACKS		
FRONT	10'	12.0'
REAR	20'	43.4'
SIDE (INTERNAL)	5'	16.8'
SIDE (EMERALD DRIVE)	15'	33.5'
MF STRUCTURE TO OSD/OSP	15'	16.8'
BUILDING SEPARATION		
FRONT AND REAR SEPARATION	35'	35'
SIDE TO REAR SEPARATION	20'	N/A
SIDE TO SIDE SEPARATION (2 STORY)	10'	N/A
SIDE TO SIDE SEPARATION (3 STORY)	15'	N/A
BUILDING HEIGHT (3-STORY, PITCHED ROOF)	50'	36.73'
PD MIN.	N/A	36.73'
PARKING	2 SPACES/UNIT	90
OPEN SPACE	37,026 SF (0.85 AC.)	86,244 SF (1.98 AC.)

SITE COVERAGE

ITEM	S.F. COVERAGE	% OF TOTAL AREA
TOTAL SITE	145,416 SF (3.34 ACRES)	100%
RIGHT-OF-WAY DEDICATION	0 SF	0%
NET SITE AREA	145,416 SF	100%
BUILDING AREA	34,424 SF	23.7%
PARKING AND DRIVES	19,738 SF	13.6%
SIDEWALKS	5,010 SF	3.4%
LANDSCAPING	86,244 SF	59.3%

TOWN CERTIFICATION

PLANNING COMMISSION RECOMMENDATION:

THE SITE DEVELOPMENT PLAN AMENDMENT WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE _____ DAY OF _____, 20____.

CHAIR _____ DATE _____

DIRECTOR OF DEVELOPMENT SERVICES _____ DATE _____

TOWN COUNCIL APPROVAL

THE SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO ON THE _____ DAY OF _____, 20____.

MAYOR _____ DATE _____

TOWN CLERK _____ DATE _____

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT _____ O'CLOCK ON THE _____ DAY OF _____, 20_____ AT RECEPTION NO. _____

DOUGLAS COUNTY CLERK AND RECORDER

BY: _____
DEPUTY

CIVIL ENGINEER/LAND SURVEYOR

VERMILION PEAK ENGINEERING LLC
1745 SHEA CENTER DRIVE, 4TH FLOOR
HIGHLANDS RANCH, CO 80129
720-402-6070
CONTACT: BRIAN KROMBEIN, PE, PLS

LANDSCAPE ARCHITECT

STERLING DESIGN
2009 W. LITTLETON BLVD. #300
LITTLETON, CO 80120
303-794-4724
CONTACT: MIKE HAAF

OWNER/DEVELOPER

PLUM CREEK ASSOCIATES, LLC
10700 E. BETHANY DRIVE, #200
AURORA, COLORADO 80014
303-750-0800
CONTACT: ERIC HELWIG

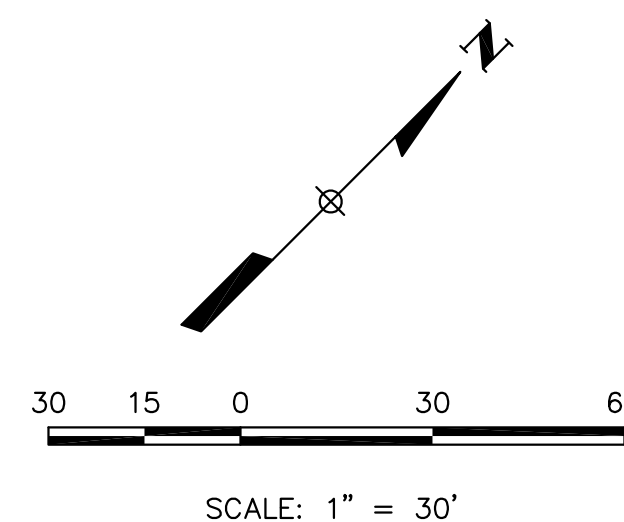
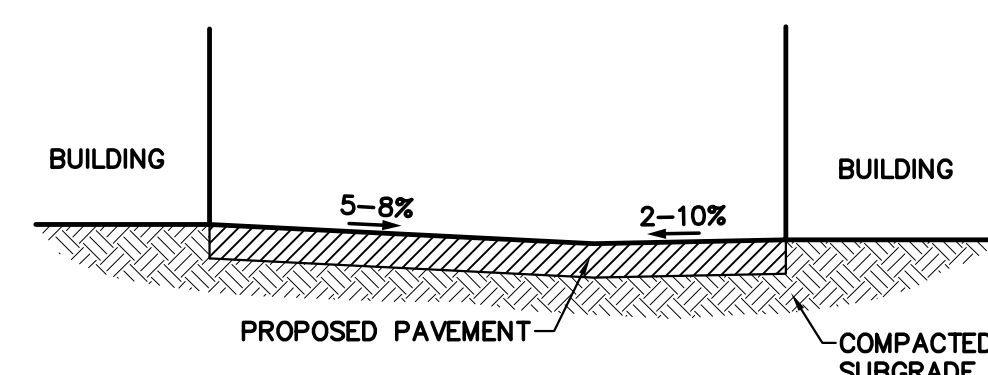
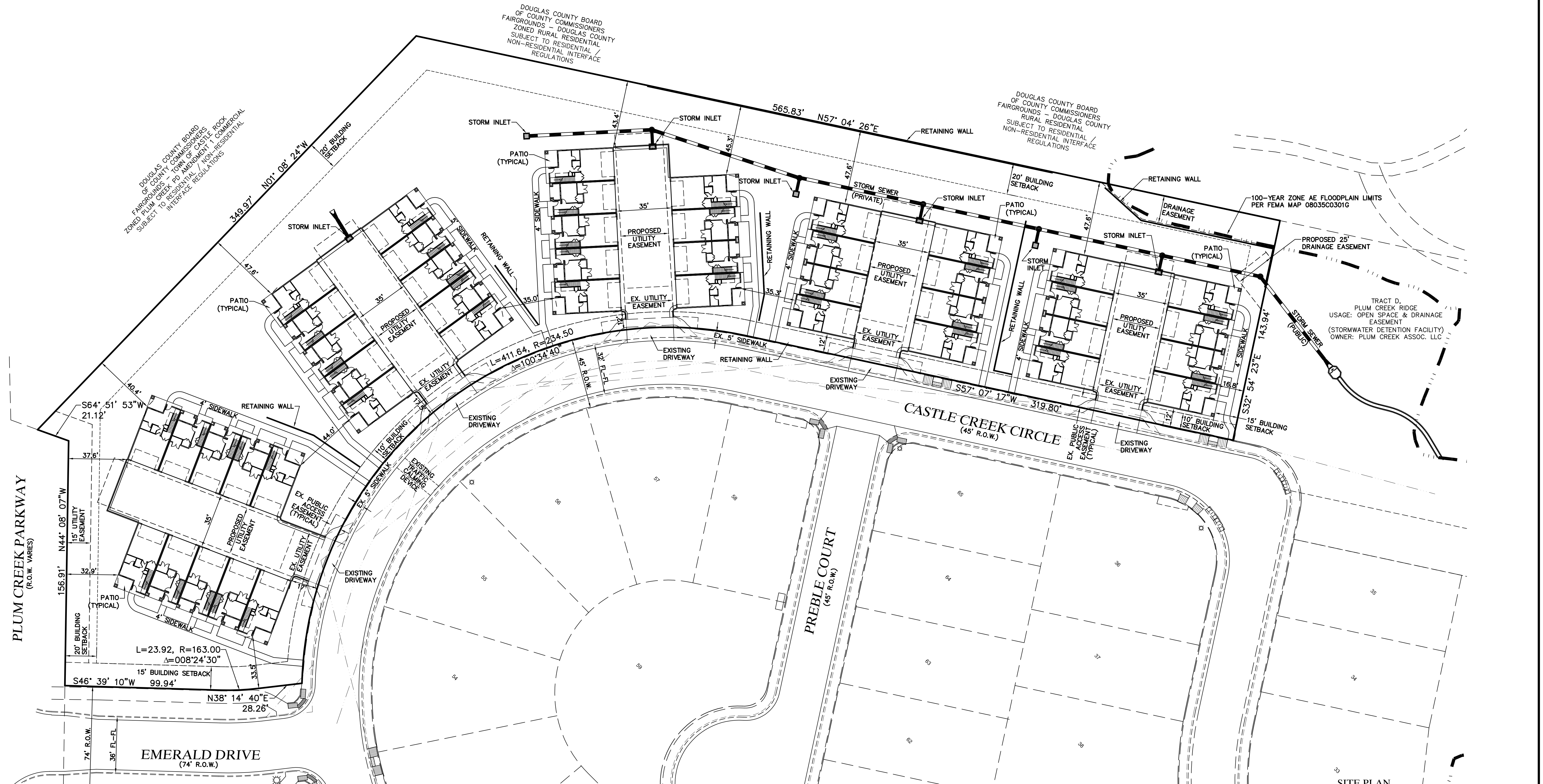
COVER SHEET
PLUM CREEK RIDGE AT CASTLE ROCK
SITE DEVELOPMENT PLAN, AMD. #1
PROJECT NO. SDP16-0009
DATE: JULY 15, 2016
SHEET 1 OF 10



PLUM CREEK RIDGE AT CASTLE ROCK SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

3.34 ACRES

LOCATED IN THE NW 1/4, SECTION 13, T. 8 S, R. 67 W, 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

- PROPERTY LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BUILDING SETBACK
- EXISTING LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- SIGHT DISTANCE LINE
- PROPOSED RETAINING WALL

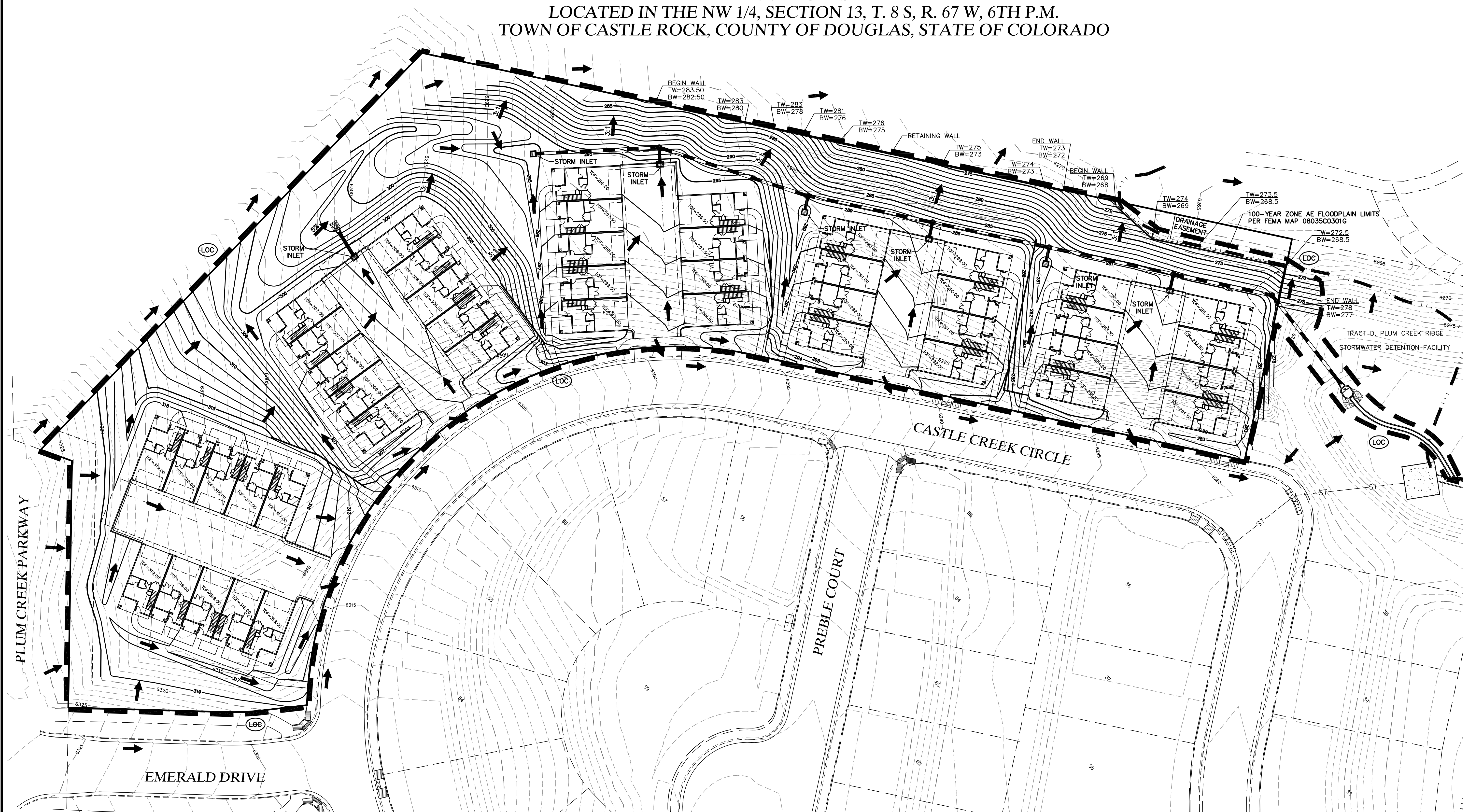
SITE PLAN
PLUM CREEK RIDGE AT CASTLE ROCK
SITE DEVELOPMENT PLAN, AMD. #1
PROJECT NO. SDP16-0009
DATE: MAY 10, 2016
SHEET 2 OF 8

Vermilion Peak Engineering
Civil Engineering & Land Surveying
1745 Shea Center Drive, 4th Floor
Highlands Ranch, CO 80129
720-402-6070 / www.vermilionpeak.com

PLUM CREEK RIDGE AT CASTLE ROCK SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

3.34 ACRES

LOCATED IN THE NW 1/4, SECTION 13, T. 8 S, R. 67 W, 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DRAINAGE FLOW DIRECTION
- EXISTING CURB & GUTTER
- 1' SPILL CURB
- 2' CATCH CURB
- PROPOSED RETAINING WALL
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- LIMITS OF CONSTRUCTION

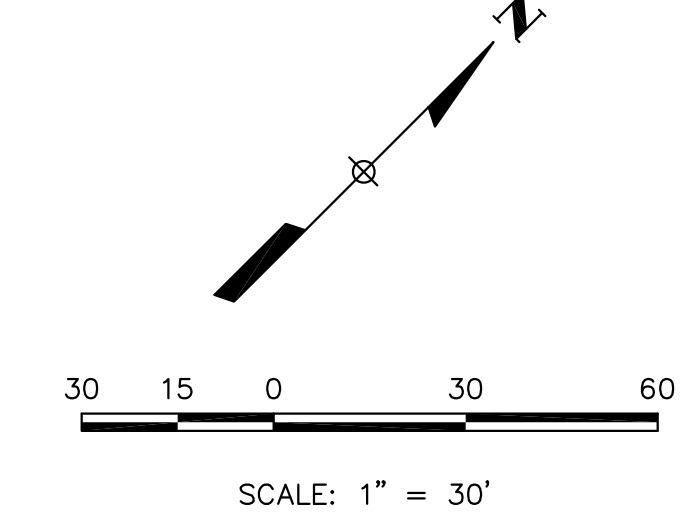
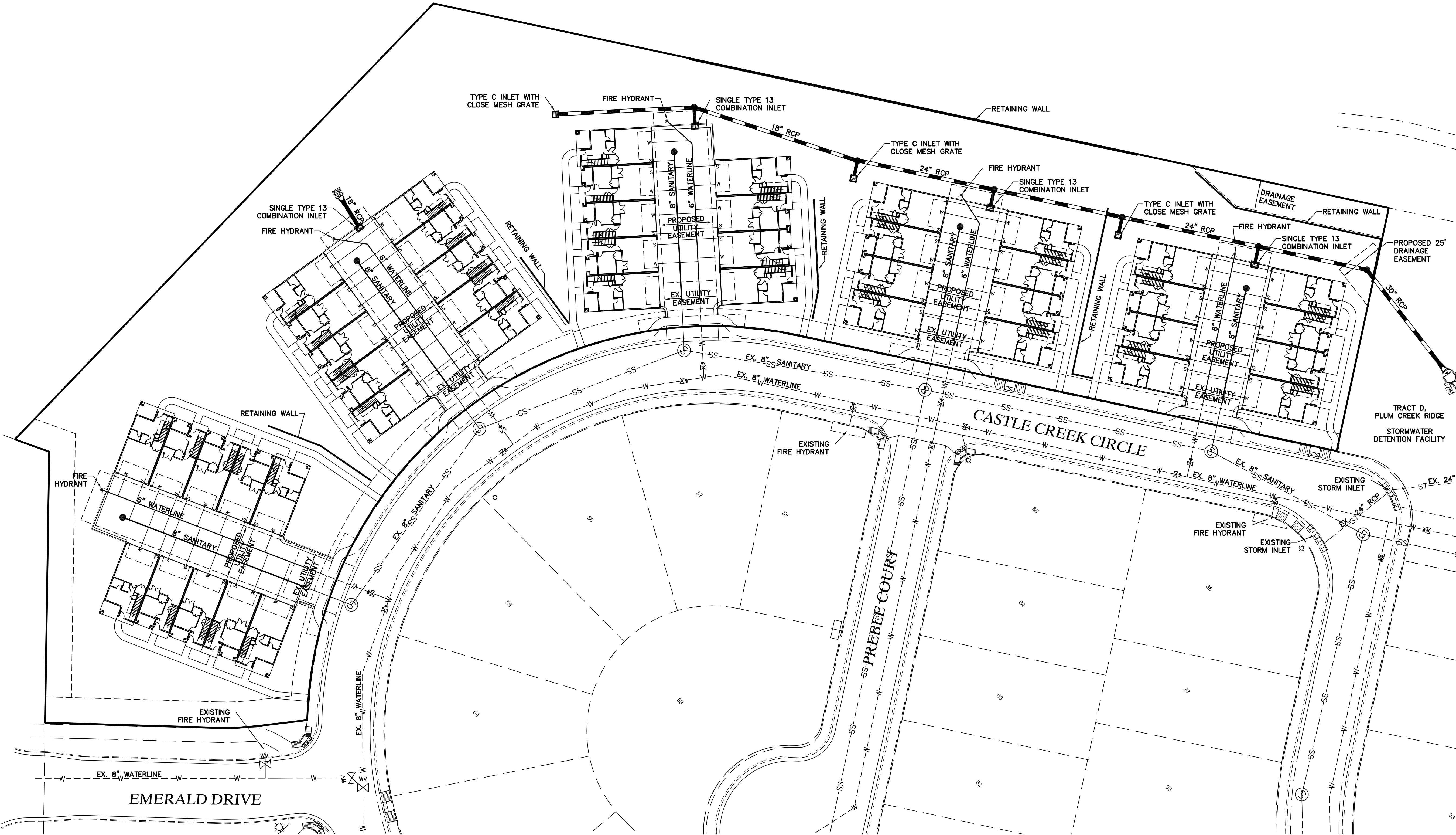
GRADING PLAN
PLUM CREEK RIDGE AT CASTLE ROCK
SITE DEVELOPMENT PLAN, AMD. #1
PROJECT NO. SDP16-0009
DATE: MAY 10, 2016
SHEET 3 OF 8

Vermilion Peak Engineering
Civil Engineering & Land Surveying
1745 Shea Center Drive, 4th Floor
Highlands Ranch, CO 80129
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PLUM CREEK RIDGE AT CASTLE ROCK SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

3.34 ACRES

LOCATED IN THE NW 1/4, SECTION 13, T. 8 S, R. 67 W, 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND	
	PROPERTY LINE
	EXISTING CURB & GUTTER
	1' SPILL CURB
	2' CATCH CURB
	EXISTING LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING SANITARY SEWER
	EXISTING WATERLINE
	EXISTING GAS PIPE
	EXISTING OVERHEAD UTILITY
	EXISTING STORM SEWER
	PROPOSED RETAINING WALL
	PROPOSED LIGHT POLE
	PROPOSED DOMESTIC WATER SERVICE
	PROPOSED FIRELINE
	PROPOSED SANITARY SERVICE
	PROPOSED STORM SEWER

- UTILITY NOTES**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK BLUE-EAST WATER PRESSURE ZONE.
 5. ELEVATIONS SHOWN ARE ON THE NAVD88 DATUM.

PLUM CREEK RIDGE AT CASTLE ROCK

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

3.34 ACRES

LOCATED IN THE NW 1/4, SECTION 13, T. 8 S, R. 67 W, 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

DOUGLAS COUNTY BOARD OF
COUNTY COMMISSIONERS
FAIRGROUNDS - DOUGLAS COUNTY
SUBJECT TO RESIDENTIAL /
NON-RESIDENTIAL INTERFACE
REGULATIONS

DOUGLAS COUNTY BOARD
OF COUNTY COMMISSIONERS
FAIRGROUNDS - TOWN OF CASTLE ROCK
ZONED PLUM CREEK PD AMENDMENT 1 COMMERCIAL
SUBJECT TO RESIDENTIAL / NON-RESIDENTIAL
INTERFACE REGULATIONS

DOUGLAS COUNTY BOARD OF
COUNTY COMMISSIONERS
FAIRGROUNDS - DOUGLAS COUNTY
SUBJECT TO RESIDENTIAL /
NON-RESIDENTIAL INTERFACE
REGULATIONS

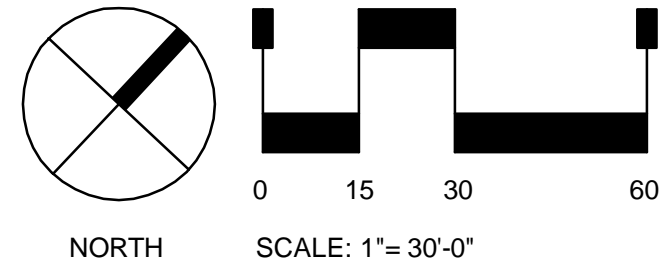


MATERIAL LEGEND

	DECIDUOUS SHADE TREE (LOW-MODERATE HYDROZONE) - 2" CAL.		ORNAMENTAL TREE (LOW-MODERATE HYDROZONE) - 1 1/2" CAL. OR 6' HT.		BUFFALO GRASS SOD (LOW HYDROZONE)
	EVERGREEN TREE (LOW HYDROZONE) 6' HT.		EVERGREEN AND DECIDUOUS SHRUBS (LOW-MODERATE HYDROZONE) - 5 GAL.		NATIVE SEED MIX - NON IRRIGATED (VERY LOW HYDROZONE)
			PERENNIALS (MODERATE HYDROZONE)		PHASE 1 VEGETATION TO REMAIN

PREPARED UNDER THE DIRECT SUPERVISION OF
MICHAEL HAAF, COLORADO LANDSCAPE ARCHITECT,
REGISTRATION NO. 854 FOR AND ON BEHALF OF
STERLING DESIGN ASSOCIATES, LLC

STERLING DESIGN ASSOCIATES, LLC © 2016
TOWN OF CASTLE ROCK - UTILITIES DEPT.
MICHAEL HAAF, REGISTERED LANDSCAPE PROFESSIONAL - DESIGN
REGISTRATION NO. 15-1105 ISSUED 04/14/15 EXPIRES 04/30/17



LANDSCAPE CONCEPT PLAN
PLUM CREEK RIDGE AT CASTLE ROCK
SITE DEVELOPMENT PLAN, AMD. #1
PROJECT NO. SDP16-0009
DATE: JUNE 9, 2016
SHEET 5 OF 10

Sterling Design Associates, llc
CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com

PLUM CREEK RIDGE AT CASTLE ROCK
SITE DEVELOPMENT PLAN, AMENDMENT NO. 1
3.34 ACRES
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE WORKSHEET



Multi-Family Landscape Site Inventory

Town of Castle Rock Registered Professional: Michael Haaf
Town of Castle Rock Registration #: 15-1105 State of Colorado License Landscape Architect #: 854
Company Name: Sterling Design Associates, llc Address: 2009 W. Littleton Blvd, #300, Littleton, CO 80120
Phone: 303-794-4727 x210 Email: Mike@SterlingDesignAssociates.com Date: 3/30/16
PROJECT NAME: Lot 67, Plum Creek Ridge

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
145,416 SF	86,244 SF	7,183 SF Buffalo Grass 50,685 SF seed mix	984 SF	58	58	120	120	4 yds/ 1,000 SF	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
19,738 SF	1,974 SF	N/A	0 SF	N/A	N/A	4	4	8	8

Revised April 2013

LANDSCAPE WORKSHEET

CLWUR Chart for the Town of Castle Rock								
Irrig. Zone	Plant Type	App Rate (inches/month)	Zone (VL, L, Mod, HW)	% of Total Area	IA (Irrigated area in sf for each zone)	LWUR (Landscape Water Use Rating)	TA (Total Area of all landscape Zones)	CLWUR (LWUR x IA/TA)
A	Drip Irrigated Shrubs, Trees & Perennials	1.43	L-Mod	0.29	24,945 sf	3.00	85,494 sf	3.0 x 24,945/85,494 = .88
B	Spray Irrigated Buffalo Grass Sod	1.21	L	0.09	8,042 sf	2.25	85,494 sf	2.25 x 8,042/85,494 = .22
C	Spray Irrigated Native Seed	1.00	VL	0.62	52,507 sf	1.00	85,494 sf	1 x 52,507/85,494 = .62
							Total of the CLWUR = 1.72	

LANDSCAPE NOTES

- COORDINATION
THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL AND IRRIGATION PLANS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
- COMPLIANCE
CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES.
- GUARANTEE
ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
- COMPLETION AND MAINTENANCE
A. FINAL ACCEPTANCE: WITHIN TEN DAYS OF CONTRACTOR'S NOTICE THAT THE ENTIRE PROJECT IS COMPLETE, THE L.A. SHALL REVIEW INSTALLATION. IF FINAL ACCEPTANCE IS NOT GIVEN, THE L.A. SHALL PREPARE A PUNCH LIST OF PENDING ITEMS. THE PUNCH LIST ITEMS SHALL BE COMPLETED BY THE CONTRACTOR WITHIN TEN CALENDAR DAYS FROM DATE ISSUED. SUBSEQUENT REVIEW AND APPROVAL SHALL SIGNIFY ACCEPTANCE.
B. MAINTENANCE: ALL LANDSCAPING SHALL BE MAINTAINED FROM INSTALLATION TO FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, ROLLING, REGRADING, REPLANTING, DISEASE AND INSECT PROTECTION.
- SITE CONDITIONS
LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS ARE CORRECTED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADES AND POSITIVE DRAINAGE IN LANDSCAPE AREAS.
- DAMAGE AND CLEANING
A. CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DUE TO THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
B. CONTRACTOR SHALL CLEAN ALL AREAS DUE TO THIS WORK AND PROPERLY REMOVE ALL UNUSED MATERIALS FROM SITE.
- RIGHT OF REJECTION
OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AT ANY TIME. ALL PLANT MATERIALS SHALL MEET THE MINIMUM CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. CONTRACTOR SHALL PROVIDE SAMPLES, SPECS, AND OR TAGS FOR ALL MATERIALS.
- SOIL PREPARATION
SOD AND SHRUB BED AREAS SHALL RECEIVE SIX INCHES OF APPROVED TOPSOIL. AMEND SOIL WITH FOUR CUBIC YARDS PER THOUSAND SQUARE FEET OF ORGANIC COMPOST. COMPOST TO HAVE A C:N RATIO BETWEEN 15:1 AND 30:1. LESS THAN 6 mmh2o/cm. SALT CONTENT, A pH BETWEEN 6.5 AND 8.5, AND OVER 30% ORGANIC MATTER. APPLY 1 LBS. OF 20-10-5 SLOW RELEASE COMMERCIAL FERTILIZER PER THOUSAND SF OR AS RECOMMENDED BY SOIL TEST. ROTOTILL AMENDMENTS AND TOPSOIL TO A MINIMUM DEPTH OF SIX INCHES.
- PLANTING
TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. STAKE AND GUY TREES PER DETAILS. TREE AND SHRUB BED LOCATIONS SHALL BE APPROVED PRIOR TO PLANTING. BACKFILL WITH 1/3 SOIL AMENDMENT AND 2/3 SITE SOIL, THOROUGHLY MIXED. FERTILIZE AS RECOMMENDED BY SOIL TEST.
- EDGING
INSTALL 4" RYERSON ROLLTOP STEEL EDGING (14 GAUGE WITH GREEN FINISH) OR EQUAL. INSTALL WITH STAKES AND SPLICERS PER MANUFACTURER'S RECOMMENDATIONS.
- MULCH
INSTALL WESTERN RED CEDAR MULCH A MINIMUM OF 4" DEEP (NO FABRIC) UNLESS OTHERWISE SHOWN.
- COBBLE
2"-4" ROUNDED COBBLE MINIMUM 2" DEEP OVER DEWITT PRO 5 FILTER FABRIC OR EQUAL.
- SIGHT TRIANGLES
ALL SHRUBS WITHIN SIGHT TRIANGLES MUST BE LESS THAN 30" TALL, TO BE DETERMINED IN DETAIL WITH THE CONSTRUCTION DOCUMENTS.
- MAINTENANCE
THE PROPERTY OWNER OF RECORD, THE OWNER'S AGENT OR TENANT SHALL KEEP ALL LANDSCAPING IN A WELL MAINTAINED AND HEALTHY GROWING CONDITION.

LANDSCAPE DATA

AREA	TOTAL AREA IN SF	REQUIRED AREA	REQUIRED TREES*	PROPOSED TREES	REQUIRED SHRUBS**	PROPOSED SHRUBS
Gross Site	145,416 sf	20% = 29,083 sf	(29,083 sf / 1,000 sf) x2 = 58 (min. 50% to be large canopy)	58	(29,083 sf / 1,000 sf) x 4= 116	120
Parking***	19,738 sf	10% = 1,974 sf	(1,974 sf / 1,000) x2 = 4 canopy trees	4	(1,974 sf / 1,000 sf) x4 = 8	8

* Required Trees = 2 trees per 1,000 sf of required landscape area.
**Required Shrubs = 4 shrubs per 1,000 sf of required landscape area.
*** Parking Area requirement is included in and counts towards the landscape requirements for the gross site.

AREA	MEASUREMENT	REQUIREMENT	REQUIRED TREES*	PROPOSED TREES	REQUIRED SHRUBS**	PROPOSED SHRUBS
Right of Way (Plum Creek Parkway)	178 lf	1 large tree & 4 shrubs per 40 lf. of r.o.w.	(178 lf / 40 lf) x1 = 5 large trees	5	(178 lf / 40 lf) x 4= 20	20
Street Trees	731 lf - 150 lf = 581 lf	1 canopy tree per 40 lf within 16' of back of curb	(731 lf - 150 lf driveways) / 40 = 15 canopy trees	15	--	--
Passive Use Areas*	2 areas = 4,474 sf	min. 3,000 sf w / min. 3 trees	(4,474 / 3,000) x 3 = 5 canopy trees	5	--	--
Interface Screening*	--	varied plant spacing, clustering & height	--	42 evergreen & deciduous trees	--	--

* Passive Use Areas and Interface Screening requirements are included in and count toward the landscape requirements for the gross site.

TOWN OF CASTLE ROCK NOTES

- STANDARDS
ALL WORK SHALL CONFORM TO THE CURRENT ADDITION OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA SECTION 4.2.3D5B AND WATER USE MANAGEMENT PLAN.
- INSTALLATION
ALL LANDSCAPE AND IRRIGATION SYSTEM INSTALLATIONS SHALL BE ACCOMPLISHED BY A LANDSCAPE PROFESSIONAL INSTALLER THAT IS REGISTERED WITH THE TOWN OF CASTLE ROCK.
- MAINTENANCE
LANDSCAPE MAINTENANCE SHALL MEET THE TOWN OF CASTLE ROCK REQUIREMENTS.
- EASEMENTS
NO TREES OR PERMANENT STRUCTURES ARE ALLOWED WITHIN UTILITY AND DRAINAGE EASEMENTS.

CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3. OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.

CONCEPTUAL LANDSCAPE PLAN IRRIGATION NOTES

- DECIDUOUS TREES TO BE IRRIGATED VIA DRIP AND OR SPRAY.
- EVERGREEN TREES TO BE IRRIGATED VIA DRIP AND OR SPRAY.
- SHRUBS TO BE IRRIGATED VIA DRIP
- NATIVE GRASS ON SLOPES LESS THAN 3:1 TO BE TEMPORARILY IRRIGATED VIA ROTOR AND OR SPRAY. SLOPES EQUAL TO 3:1 SHALL NOT BE IRRIGATED BY OVERHEAD SPRAY.
- TURF GRASS MIX TO BE IRRIGATED VIA SPRAY.

PREPARED UNDER THE DIRECT SUPERVISION OF
MICHAEL HAAF, COLORADO LANDSCAPE ARCHITECT.
REGISTRATION NO. 854 FOR AND ON BEHALF OF
STERLING DESIGN ASSOCIATES, LLC

STERLING DESIGN ASSOCIATES, LLC © 2016

TOWN OF CASTLE ROCK - UTILITIES DEPT.
MICHAEL HAAF, REGISTERED LANDSCAPE PROFESSIONAL - DESIGN
REGISTRATION NO. 15-1106, ISSUED 04/14/16, EXPIRES 04/30/17.

LANDSCAPE NOTES
PLUM CREEK RIDGE AT CASTLE ROCK
SITE DEVELOPMENT PLAN, AMD. #1
PROJECT NO. SDP16-0009
DATE: JUNE 9, 2016
SHEET 6 OF 10



CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com

PLUM CREEK RIDGE AT CASTLE ROCK
SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

3.34 ACRES

LOCATED IN THE NW 1/4, SECTION 13, T. 8 S, R. 67 W, 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



4 4-PLEX RIGHT ELEVATION
1/8" = 1'-0"



3 4-PLEX REAR ELEVATION
1/8" = 1'-0"



2 4-PLEX LEFT ELEVATION
1/8" = 1'-0"



1 4-PLEX FRONT ELEVATION
1/8" = 1'-0"

COLOR SCHEME*	
1	BODY 1: SHERWIN-WILLIAMS, OR SIM. COLOR: SW6073 PERFECT GREIGE
2	BODY 2: SHERWIN-WILLIAMS, OR SIM. COLOR: SW7514 FOOTHILLS
3	BODY 3: SHERWIN-WILLIAMS, OR SIM. COLOR: SW6250 GRANITE PEAK
4	TRIM: SHERWIN-WILLIAMS, OR SIM. COLOR: SW7675 SEALSKIN
5	SHINGLE ROOF: GAF, OR SIM. COLOR: WEATHERED WOOD
6	METAL ROOF: SHEFFIELD METALS, OR SIM. COLOR: ASH GRAY
7	STONE VENEER: EL DORADO, OR SIM. COLOR: CHAPEL HILL STACKED STONE

*ALL COLOR AND MANUFACTURER INFO IS PROVIDED AS
REFERENCE FOR GENERAL INFORMATION AND IS SUBJECT
TO CHANGE.

PLUM CREEK RIDGE AT CASTLE ROCK
SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

3.34 ACRES

LOCATED IN THE NW 1/4, SECTION 13, T. 8 S, R. 67 W, 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



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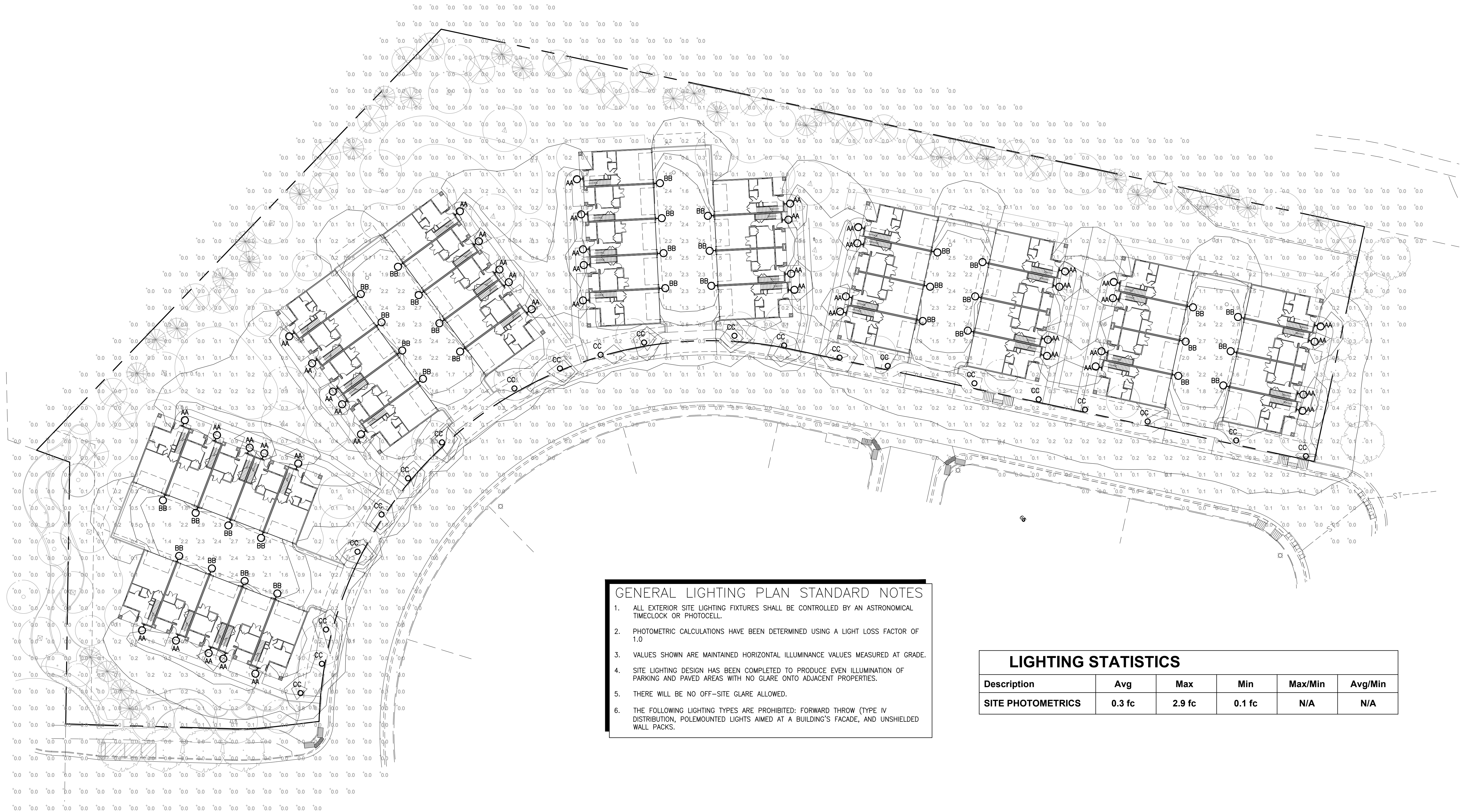
*ALL COLOR AND MANUFACTURER INFO IS PROVIDED AS REFERENCE FOR GENERAL INFORMATION AND IS SUBJECT TO CHANGE.

PLUM CREEK RIDGE AT CASTLE ROCK

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

3.34 ACRES

LOCATED IN THE NW 1/4, SECTION 13, T. 8 S, R. 67 W, 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



GENERAL LIGHTING PLAN STANDARD NOTES

1. ALL EXTERIOR SITE LIGHTING FIXTURES SHALL BE CONTROLLED BY AN ASTRONOMICAL TIMECLOCK OR PHOTOCCELL.
2. PHOTOMETRIC CALCULATIONS HAVE BEEN DETERMINED USING A LIGHT LOSS FACTOR OF 1.0
3. VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
4. SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS WITH NO GLARE ONTO ADJACENT PROPERTIES.
5. THERE WILL BE NO OFF-SITE GLARE ALLOWED.
6. THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV DISTRIBUTION, POLEMOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.

LIGHTING STATISTICS

Description	Avg	Max	Min	Max/Min	Avg/Min
SITE PHOTOMETRICS	0.3 fc	2.9 fc	0.1 fc	N/A	N/A


PLUM CREEK RIDGE AT CASTLE ROCK SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

3.34 ACRES

LOCATED IN THE NW 1/4, SECTION 13, T. 8 S, R. 67 W, 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

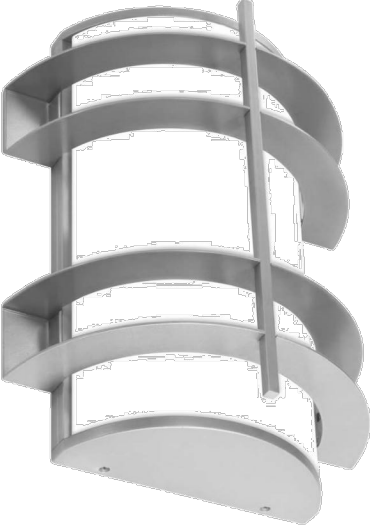
SITE LUMINAIRE SCHEDULE								
PLAN MARK	MOUNTING	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	VOLTAGE	NO. OF FIXTURES	LUMENS PER FIXTURE	LAMP TYPE	REMARKS
AA	WALL MOUNT	UNIT ENTRY WALL SCONCE	TERON LIGHTING GRDW-SAT-L18.0-LE500-WAL-30K	120/277	45	948	18W LED	6.5' AFG HEIGHT
BB	WALL MOUNT	GARAGE DOOR WALL SCONCE	TERON LIGHTING GRDW24-SAT-L36.5-LE500-WAL-30K	120/277	35	2441	36.5W LED	9' AFG HEIGHT
CC	BOLLARD	4' BOLLARD	FOCUS INDUSTRIES PL-22-LEDP12V	120/277	21	300	4W LED	4' BOLLARD

AA/BB



ARCHITECTURAL OUTDOOR

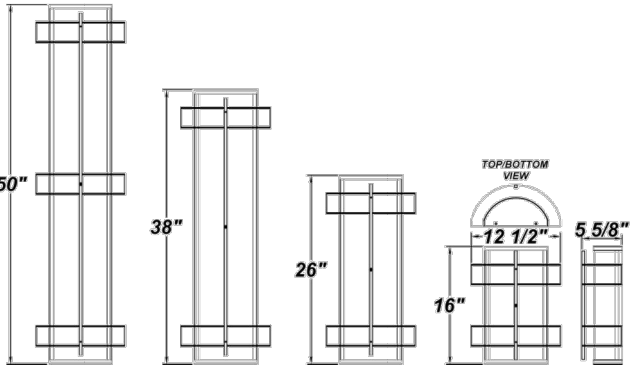
GUARDIAN W SAT LED



PROJECT :
TYPE :
ORDERING # :
COMMENTS :

FEATURES

- Extruded Aluminum Housing w/ Matte Silver Polyester Powder Coat Finish
- Aluminum Fascia w/ Matte Silver Polyester Powder Coat Finish
- Die Cast Aluminum End Caps w/ Matte Silver Polyester Powder Coat Finish
- High Impact White Acrylic Diffuser (50% DR Acrylic)
- Steel Reflector w/ Hi-Reflectance White Powder Coat Finish
- Recessed Steel Screws
- Fixture Mounts Directly to Surface w/ Two Wall Anchors (Not Included)
- Over-Voltage, Over-Current, and Short-Circuit Protection w/ Auto Recovery (For 33.6W Only)
- 120V - 277V
- Surge Protector (For L33.6 & L18.0 Only)
- CSA Listed Wet Location For Wall Mount Only
- Motion Sensor



ORDERING INFORMATION

Example : (GRDW - SAT - L33.6 - 120-277V - 12CV - WAL - TB - 51K) **Matte Silver is Standard Finish**

PRODUCT	SOURCE/WATTAGE	VOLTAGE	DRIVER OPTIONS	DIFFUSER	FINISH	OPTIONS
Guardian W SAT 16" (GRDW-SAT)	L33.6 - 33.6W LED Strip(s) L18.0 - 18W LED Strip(s)	120 - 277V (L18.0 is Dimmable From 120 - 230V)	12CV - 12V Constant Voltage Non-Dimming Electronic Driver (For L33.6) TE500 - 500mA ELV Low Voltage 2-Wire Electronic Driver (For L18.0) LE500 - 500mA Line Voltage 2-Wire Dimming Driver (For L18.0) (120V Only)	WAL - White Acrylic Lens	SM - Matte Silver TB - Textured Black AC - Antique Copper AS - Antique Silver BT - Bronze Mist CP - Copper KC - Karworth Chrome SN - Sand SW - Swedish Steel BZ - Textured Bronze TW - Textured White	30K - 3000K Color Temp. 35K - 3500K Color Temp. (L18.0 Only) 40K - 4000K Color Temp. 51K - 5100K Color Temp. (L33.6 Only) OEL - Single End Window TEL - Twin End Windows (Both Ends)
Guardian W SAT 2" (GRDW24-SAT)	L36.5 - 36.5W LED Strip(s) L46.5 - 46.5W LED Strip(s) L49.5 - 49.5W LED Strip(s)	(120 - 277V Dimmable From 0-10V)	ZE1050 - 1050mA Line Voltage 4-Wire Dimming Driver (For L36.5) (Dimmable 0 - 10V) ZE1100 - 1100mA Line Voltage 4-Wire Dimming Driver (For L46.5) (Dimmable 0 - 10V) ZE1150 - 1150mA Line Voltage 4-Wire Dimming Driver (For L49.5) (Dimmable 0 - 10V)		RAL Colors or Custom Match - Consult Factory	

REPLACEMENT PARTS

PART NO.	
38200	16" Acrylic LED Lens Assembly
38216	2" Acrylic LED Lens Assembly

NOTES


We reserve the right to revise the design or components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any products previously manufactured, and without notice.

ARRA 2009


BUY AMERICA ACT

33 DONALD DRIVE FAIRFIELD, OH 45014 PH: (513) 858-6004 FAX: (513) 858-6038 EMAIL: SALES@TERONLIGHT.COM WEB: TERONLIGHT.COM

CC



PATH LIGHTS
PL-22 SERIES



TYPE

SPECIFICATIONS

CONSTRUCTION: Extruded 2.25" square aluminum or brass.

LENS: High temperature white acrylic.

LAMP SUPPLIED: 18w S8 #1141; 1200 hours average rating (25w max).

LAMP OPTION: 10,000 hours average rating Xenon (X) or Halogen (H) or 3w, 50,000 hour Omni-3 LED (LED3).

SOCKET: Single contact bayonet, brass nickel plated lamp socket screw shell (Ba15d); double contact bayonet base (Ba15d) for 120v, both with 200° C silicone lead wires. No socket for LED Panel models.

LED OPTION: 12v, 4w, 300 lumen integrated LED flat panel, warm white 3000K (LEDP1); optional cool white 5200K 320 lumen available (modify part number to -LEDP52).

LED LIFETIME RATING: 50,000 Hours

LED INTERNAL DRIVER*: 4v 350mA output, 12v AC input, Voltage range of 9 to 18 volts with optimum operating range of 10 to 15 volts for consistent performance and brightness. For use with magnetic transformers only.

WIRING: Black 3 foot 16/2 zip cord from base of fixture (12v only)
For 25 foot 16/2 fixture lead wire add .25' to catalog number.
120v standard wiring

CONNECTION: FA-05 Quick Connector (not supplied) from fixture to main cable (12/2, 10/2 or 8/2 only) 12v only

MOUNTING: Angle cut post (PL-22)
FA-03 black 9" AISI stainless topped 1/2" NPS (PL-22-DM)


FINISH: Aluminum - Black texture polyester powder coat, Optional finishes available
Brass - Unfinished brass, Optional finishes available

***NOTE:** Optional 120v to 277v drivers available. Must use FA-26 mounting post or junction box

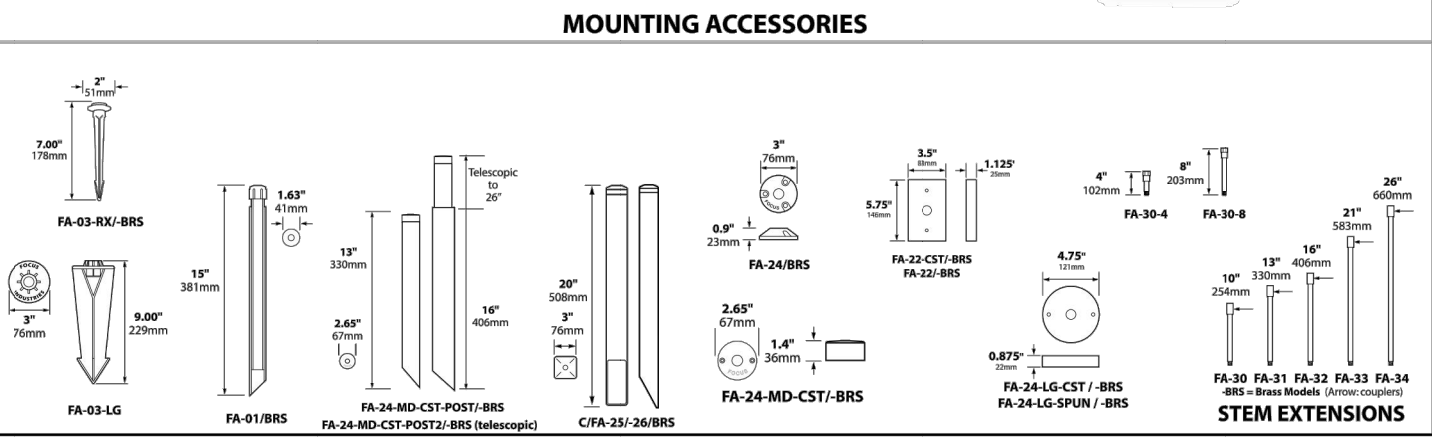
ORDERING INFORMATION

CATALOG NO.	DESCRIPTION	LAMP	SHIP WEIGHT
PL-22-BLT	Square Aluminum Bollard	18w S8 #1141	3.0 lbs.
PL-22-BRS	Square Brass Bollard	18w S8 #1141	6.0 lbs.
PL-22-DM-BLT	Square Aluminum Bollard, Deck Mount	18w S8 #1141	3.0 lbs.
PL-22-DM-BRS	Square Brass Bollard, Deck Mount	18w S8 #1141	6.0 lbs.

IP54



MOUNTING ACCESSORIES



JOB INFORMATION

Type: _____ Date: _____

Job Name: _____

Cat. No.: _____

Lamp(s): _____

Specifiers: _____

Contractor: _____

Notes: _____

FOCUS INDUSTRIES INC.
23301 COMMERCENTRE DRIVE
LAKE FOREST, CA 92650
(949) 830-1350 • FAX (949) 830-1390
www.focusindustries.com
info@focusindustries.com

Black Matte Standard	Antique Bronze	Bronze Texture	Cornel	White Texture	Hunter Texture	Rust	Weathered Black	Weathered Bronze	Stucco	Fluted Nickel	Chrome Plated	Acid Brass	Acid Nickel	Black Acid Treatment
-BLT	-ATV	-BRT	-CAM	-WTX	-HTX	-RST	-WIR	-WBR	-STU	-RBV	-CPR	-BAR/CAR	-BAV/CAV	-BAT

PL-22-CutSheet 082614

BRASS & COPPER ONLY

LIGHTING DETAILS
PLUM CREEK RIDGE AT CASTLE ROCK
SITE DEVELOPMENT PLAN, AMD. #1
PROJECT NO. SDP16-0009
DATE: JUNE 9, 2016
SHEET 10 OF 10