

THE MEADOWS FILING NO. 18 SITE DEVELOPMENT PLAN, AMENDMENT NO. 11,  
AN AMENDMENT TO THE PRELIMINARY PLAT AND FINAL PD SITE PLAN  
TRACT GG, THE MEADOWS FILING NO. 18  
SITUATED IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67  
WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE  
OF COLORADO

PURPOSE OF AMENDMENT

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN IS TO SHOW THE LOT, TRACT, AND STREET LAYOUT THAT FORMS THE BASIS FOR THE MEADOWS FILING NO. 18, AMENDMENT NO. 12 PLAT.

LEGAL DESCRIPTION

TRACT GG, THE MEADOWS FILING NO. 18, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, PER PLAT RECORDED AT RECEPTION NO. 2005055505, LOCATED WITHIN SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, SAID COUNTY AND STATE.

CONTAINING 20.151 ACRES (877,758 SQUARE FEET), MORE OR LESS.

TITLE CERTIFICATION

I, \_\_\_\_\_, AN AUTHORIZED REPRESENTATIVE OF \_\_\_\_\_, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE. 20\_\_\_\_, SIGNED THIS DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
AUTHORIZED REPRESENTATIVE

\_\_\_\_\_  
TITLE INSURANCE COMPANY

COUNTY OF DOUGLAS )  
STATE OF COLORADO )

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY \_\_\_\_\_ AS AUTHORIZED REPRESENTATIVE

OF \_\_\_\_\_.

\_\_\_\_\_  
WITNESS MY HAND AND OFFICIAL SEAL

\_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

CERTIFICATE OF OWNERSHIP

THE UNDERSIGNED ARE ALL OF THE OWNERS OF THE ABOVE DESCRIBED PROPERTY IN THE TOWN OF CASTLE ROCK.

CASTLE ROCK DEVELOPMENT COMPANY, A COLORADO CORPORATION

BY: JAMES M. RILEY TITLE: PRESIDENT

SIGNED THIS \_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

COUNTY OF DOUGLAS )  
STATE OF COLORADO )

NOTARY BLOCK

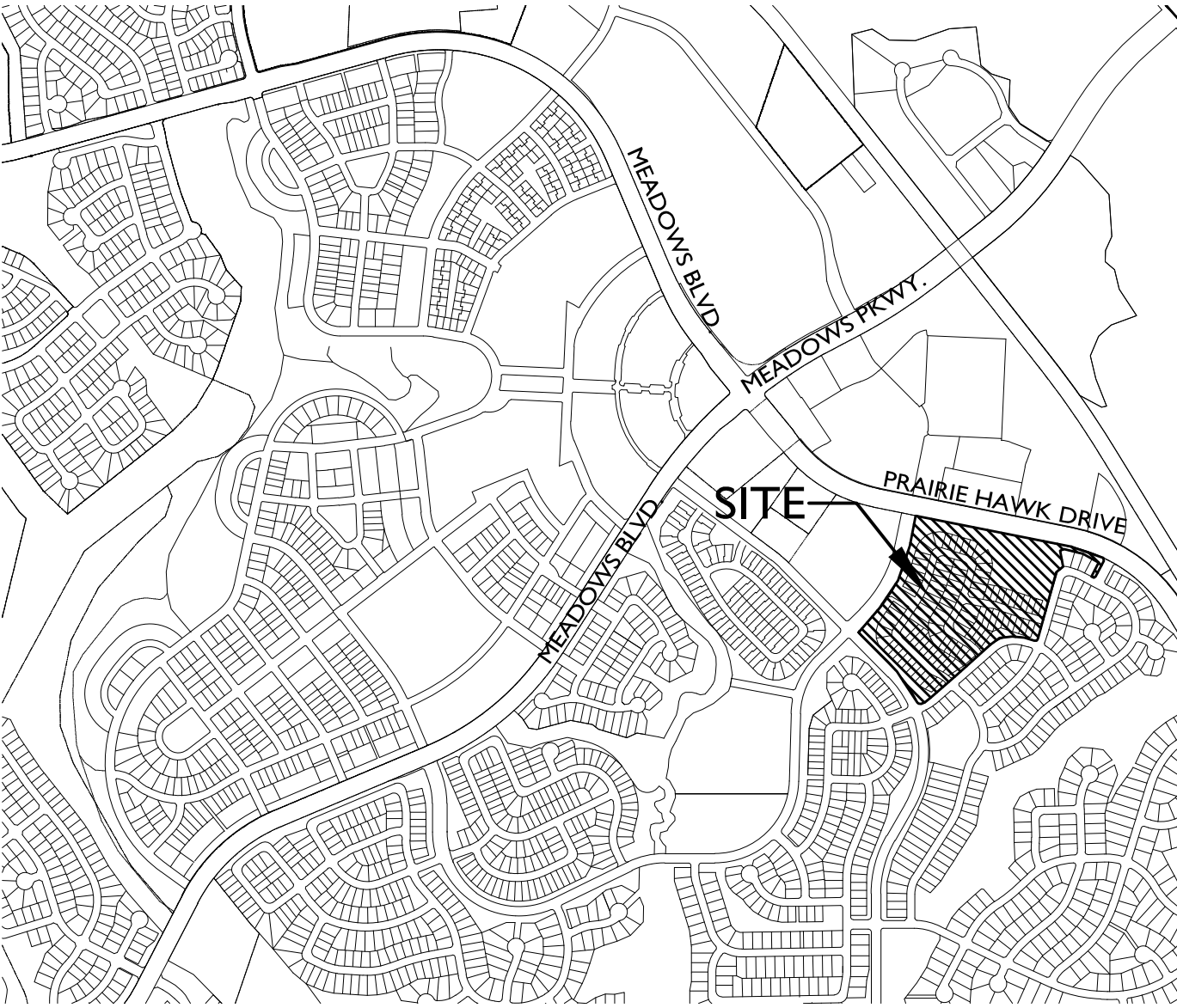
SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY

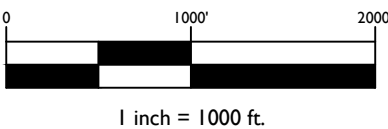
\_\_\_\_\_  
WITNESS MY HAND AND OFFICIAL SEAL

\_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_



VICINITY MAP



SHEET INDEX

- 1 COVER SHEET
- 2 GENERAL NOTES AND DETAILS
- 3-4 SITE PLAN
- 5-6 GRADING PLAN
- 7-8 UTILITY PLAN
- 9-11 LANDSCAPE PLANS

CIVIL ENGINEER'S STATEMENT

I, MARTIN METSKER, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY, AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

\_\_\_\_\_  
REGISTERED PROFESSIONAL ENGINEER

\_\_\_\_\_  
DATE

SURVEYOR'S STATEMENT

I, DEREK BROWN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE SITE DEVELOPMENT PLAN AMENDMENT FOR THIS SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN AMENDMENT ACCURATELY REPRESENTS THAT SURVEY.

\_\_\_\_\_  
DEREK BROWN  
PROFESSIONAL LAND SURVEYOR COLORADO PLS NO. XXXXX  
FOR AND ON BEHALF OF AZTEC CONSULTANTS

\_\_\_\_\_  
DATE

PLANNING COMMISSION APPROVAL

THIS SITE DEVELOPMENT PLAN AMENDMENT FOR WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE \_\_\_\_\_ DAY OF 20\_\_\_\_.

\_\_\_\_\_  
CHAIR

ATTEST:

\_\_\_\_\_  
DATE

\_\_\_\_\_  
DIRECTOR OF DEVELOPMENT SERVICES

\_\_\_\_\_  
DATE

TOWN COUNCIL APPROVAL

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
DATE

\_\_\_\_\_  
TOWN CLERK

\_\_\_\_\_  
DATE

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF 20\_\_\_\_ AT RECEPTION NO. \_\_\_\_\_.

\_\_\_\_\_  
DOUGLAS COUNTY CLERK AND RECORDER

BY:

\_\_\_\_\_  
DEPUTY

OWNERS

CASTLE ROCK DEVELOPMENT COMPANY  
3033 EAST FIRST AVENUE, STE 410  
DENVER, CO 80206  
CONTACT: JON FREISEM 303-394-5500

LAND PLANNER

VOGEL AND ASSOCIATES  
475 WEST 12TH AVE., STE E  
DENVER, CO 80204  
CONTACT: JEFF VOGEL 303-893-4288

ENGINEER

CORE CONSULTANTS, INC.  
1950 S. LITTLETON BLVD. STE. 109  
LITTLETON, CO 80120  
CONTACT: MARTIN METSKER 303-703-4444

LAND SURVEYOR

AZTEC CONSULTANTS  
8000 SOUTH LINCOLN ST., STE 201  
LITTLETON, CO 80122  
CONTACT: DEREK BROWN 303-713-1898

UTILITY PROVIDERS

WATER

TOWN OF CASTLE ROCK  
UTILITIES DEPARTMENT  
175 KELLOGG COURT  
CASTLE ROCK, CO 80104  
PHONE: (720) 733-6000  
FAX: (303) 688-0437

SEWER

TOWN OF CASTLE ROCK  
UTILITIES DEPARTMENT  
175 KELLOGG COURT  
CASTLE ROCK, CO 80104  
PHONE: (720) 733-6000  
FAX: (303) 688-0437

GAS

BLACK HILLS ENERGY  
1515 WYNKOOP ST., 5TH FLOOR  
DENVER, CO 80202  
PHONE (888) 890-5554

ELECTRIC

IREA  
5496 N. U.S. HWY 85  
P.O. DRAWER A  
SEDALIA, CO 80135  
PHONE: (303) 688-3100

CABLE

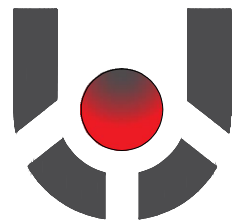
COMCAST  
118 WILCOX ST., UNIT B  
CASTLE ROCK, CO 80104  
PHONE (303) 930-2000

PHONE

CENTURY LINK  
1801 CALIFORNIA ST.  
DENVER, CO 80202  
PHONE: (303) 296-2787

CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
LAND SURVEYING  
303.703.4444  
1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120

CORE  
CONSULTANTS



CALL 24 HOURS IN ADVANCE BEFORE YOU  
DIG, GRADE OR EXCAVATE FOR THE MARKING OF  
UNDERGROUND UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY  
UTILITIES SHOWN ON THE DRAWING HAVE BEEN FLOTTED  
THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY  
THE ACCURACY OF THE INFORMATION FOR THE  
COMPLETION OF ANY CONSTRUCTION ACTIVITIES.  
811  
Know what's below.  
Call before you dig.

REVISIONS

#	DESCRIPTION	DATE	BY

THE MEADOWS FILING 18 SITE DEVELOPMENT PLAN,  
AMENDMENT NO. 11  
COVER SHEET  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
RELEASE: 02/22/2016  
DESIGNED BY: MRM  
DRAWN BY: MRM  
CHECKED BY: MRM

JOB NO.  
14-003-001

SHEET  
1 OF 11

THE MEADOWS FILING NO. 18  
SITE DEVELOPMENT PLAN, AMENDMENT NO. 11  
PROJECT# SDP16-0012  
COVER SHEET



THE MEADOWS FILING NO. 18 SITE DEVELOPMENT PLAN, AMENDMENT NO. 11,  
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OF COLORADO

SITE DEVELOPMENT PLAN GENERAL NOTES:

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS, AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
2. PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS, THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THIS SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
5. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
6. APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
7. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
8. THE PURPOSE/USE OF ALL TRACTS AND THE DEDICATION OF ALL TRACTS WILL BE FOR OPEN SPACE, UTILITIES, AND DRAINAGE, AND SHALL BE OWNED AND MAINTAINED BY THE HOA.
9. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
10. TRACT GG IS ZONED AS R-SF PER THE MEADOWS PD, 4TH AMENDMENT.
11. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNER'S ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
12. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 7' UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS OF WAY AND SHALL HAVE 3' UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES. ALLOWABLE ENCRoACHMENTS INTO SIDE YARD EASEMENTS WILL INCLUDE BUT NOT LIMITED TO WINDOW WELLS, EAVES, CANTILEVERS.
13. SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO ISSUANCE OF THE PUBLIC WORKS PERMIT.
14. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
15. THE 100-YEAR ZONE A FLOODPLAIN DOES NOT ENCRoACH ONTO THE SITE PER THE FEMA FIRM MAP PANEL NUMBERS 08035C0169F.
16. A PORTION OF THIS DEVELOPMENT IS IMPACTED BY THE TOWN OF CASTLE ROCK SKYLINE/RIDGELINE PROTECTION REGULATIONS. SKYLINE/RIDGELINE AREAS MUST ADHERE TO CHAPTER 17.48 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE REGARDING MITIGATION PROCEDURES.

BENCHMARK

BENCHMARK: NGS POINT K-23  
FOUND BRASS DISK SET IN CONCRETE POST 0.4' ABOVE THE GROUND. LOCATED 0.15 MILES NORTHWEST OF THE INTERSECTION OF HAPPY CANYON ROAD AND US HIGHWAY 85. STATION IS ±75 FEET SOUTH OF THE CENTERLINE OF HIGHWAY 85.

ELEVATION = 5984.91 (NAVD 88 DATUM).

BASIS OF BEARINGS

BASIS OF BEARINGS: THE SOUTH LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 5 BEARS SOUTH 89°36'04" WEST.

LEGEND

LAND USE	PROPOSED ACREAGE	PROPOSED DWELLING UNITS/SFE's	PROPOSED % OF SITE ACREAGE	NET DENSITY	MIN. LOT AREA	AVG. LOT AREA	MAX LOT AREA	SETBACKS FRONT TO GARAGE	SETBACKS FRONT TO LIVING AREA	SETBACKS REAR BACK TO LOT	SETBACKS SIDE INTERIOR	SETBACKS SIDE TO STREET	MAX. BLDG. HEIGHT
R-SF SF DETACHED	10.73 AC	98	53.3%	4.86	4,000 SF	4,770 SF	6,931 SF	15/18'	10'	15'	5'	15'	35'
OSP OPEN SPACE DEDICATION PRIVATE	5.93 AC	-	29.4%	-	-	-	-	-	-	-	-	-	-
ROW PROPOSED LOCAL STREETS***	3.49 AC	-	17.3%	-	-	-	-	-	-	-	-	-	-
	20.15 AC	98	100%	4.86 DU/AC									

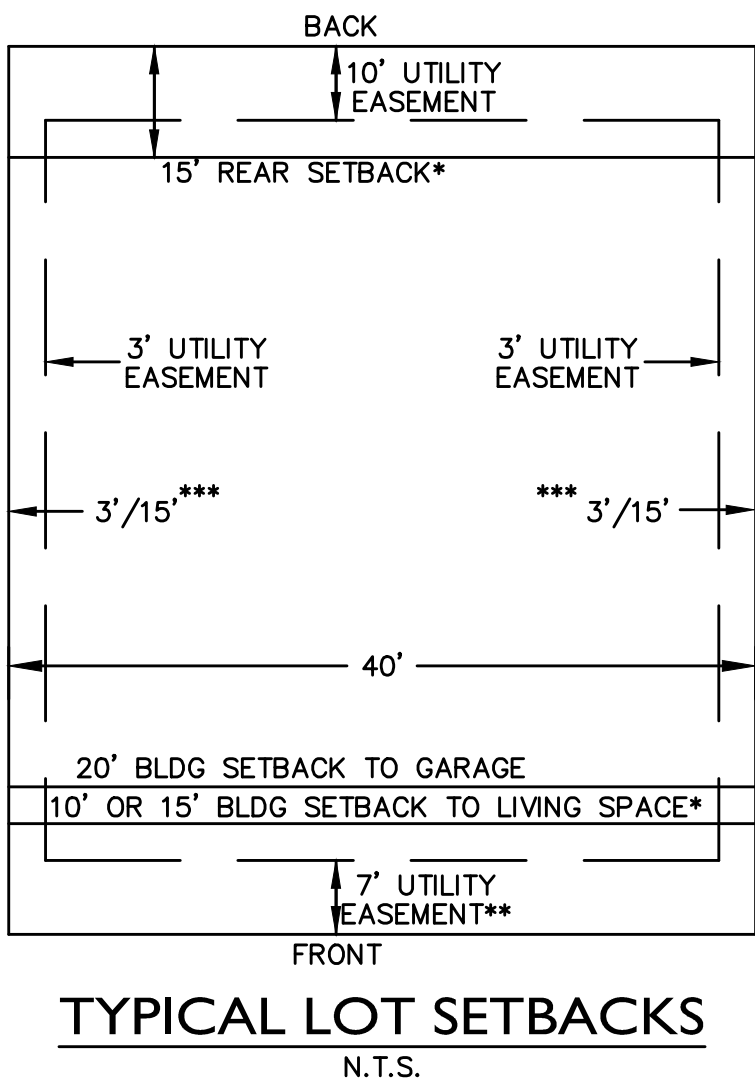
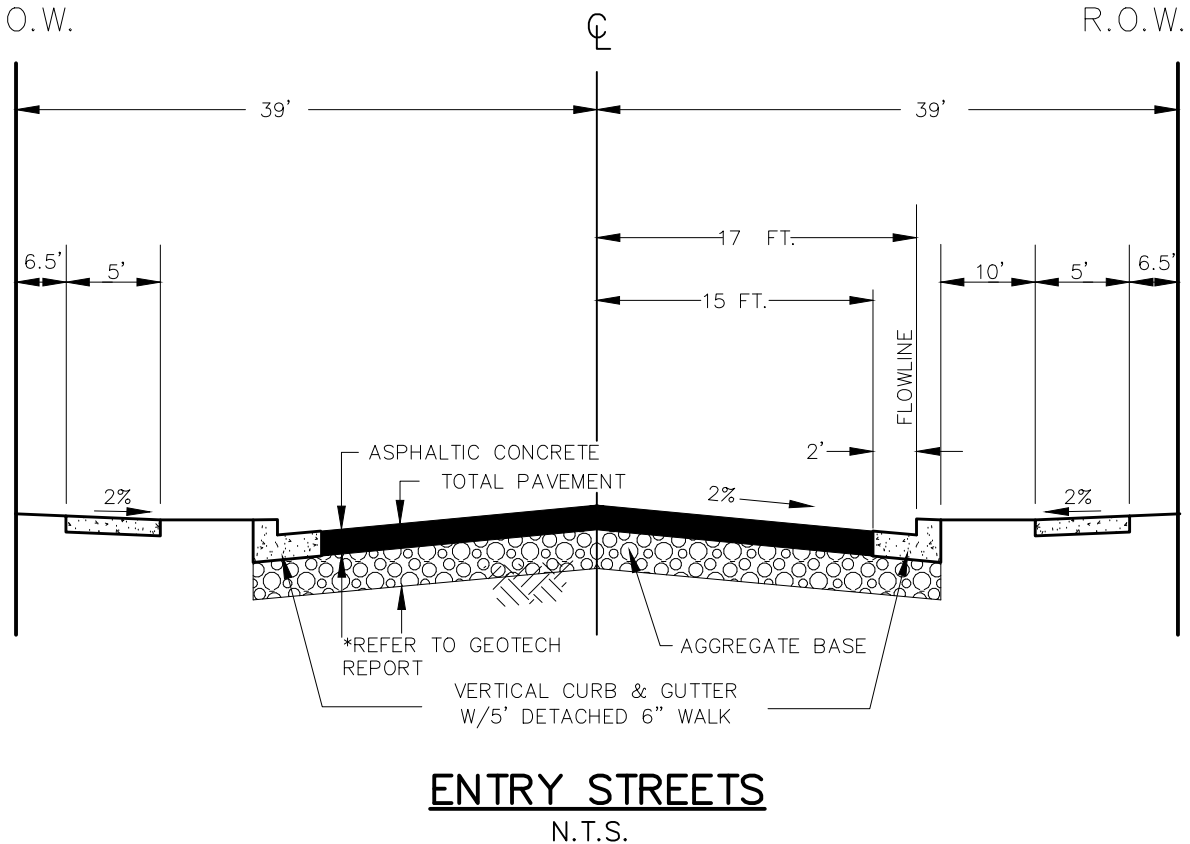
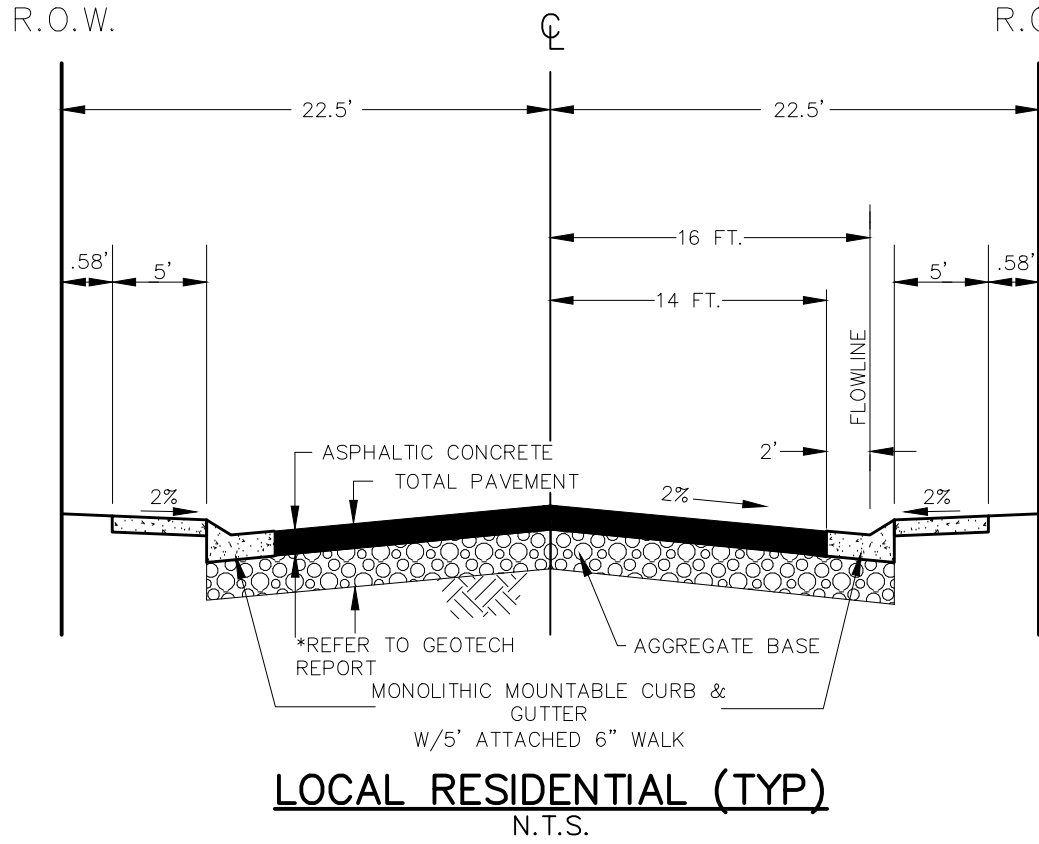
LAND USE SUMMARY

FIRE NOTES:

1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR A PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
4. DEAD END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NO LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13 FEET, 6 INCHES.
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PROTECTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS, AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY IF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS, AND DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS, OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

RESIDENTIAL DEVELOPMENT STANDARDS:

1. THE FOLLOWING ENCRoACHMENTS WILL BE PERMITTED IN THE SETBACKS:  
A. BOX OR BAY WINDOWS, FIREPLACES, EAVES, ROOF OVERHANGS, CANTILEVERS, SIDE, REAR AND FRONT COVERED PORCHES, ETC. MAY OCCUR UP TO 24" IN ANY SIDE SETBACK, AND UP TO 48" IN ANY FRONT & REAR SETBACKS.  
B. REAR YARD DECKS (COVERED AND UNCOVERED) AND PORCHES AT GRADE OR UP TO 30" ABOVE GRADE MAY ENCRoACH IN THE REAR SETBACK UP TO 12'.  
C. REAR YARD DECKS (COVERED AND UNCOVERED) AND PORCHES ELEVATED GREATER THAN 30" ABOVE THE GROUND MAY ENCRoACH 6' INTO THE REAR YARD SETBACK.
2. MINIMUM BUILDING SETBACKS SHALL BE AS FOLLOWS:  
A. FRONT - 15': MAY BE REDUCED TO 10' IF ALL OF THE BUILDING IN THE FRONT 20' OF THE LOT IS SINGLE STORY OR IF THERE IS A SIDE LOADED GARAGE ORIENTATION. AT NO TIME SHALL THE MINIMUM FOR A FRONT LOADED GARAGE BE LESS THAN 18'.  
B. REAR - 18': IF THE GARAGE IS LOCATED AT THE REAR OF THE LOT, THE REAR SETBACK FOR THE GARAGE MAY BE REDUCED TO A MINIMUM OF 3' IF AN ALTERNATIVE UTILITY EASEMENT IS PROVIDED.  
C. SIDE - 3' PROVIDED THAT THERE IS A MINIMUM 10' SEPARATION BETWEEN THE FOUNDATION OF ADJACENT BUILDINGS. SIDE ABUTTING PUBLIC RIGHT OF WAY - 15'.  
D. ALL SINGLE FAMILY PLOT PLANS AND LANDSCAPING PLANS MUST SECURE WRITTEN APPROVAL BY THE CASTLE ROCK DEVELOPMENT COMPANY ARCHITECTURAL REVIEW COMMITTEE PRIOR TO SUBMITTAL FOR A BUILDING PERMIT FOR ANY LOT INCLUDED IN FILING NO. 18. THE ARCHITECTURAL REVIEW COMMITTEE SHALL BE RESPONSIBLE FOR CERTIFYING TO THE TOWN THAT THE FOLLOWING ITEMS HAVE BEEN COMPLIED WITH:  
A. FENCING TO BE PROVIDED AS SHOWN ON THESE SITE DEVELOPMENT PLANS.  
B. STREET TREES AS SHOWN ON THESE SITE DEVELOPMENT PLANS ARE TO BE INSTALLED BY THE INITIAL BUILDER OF THE HOME ON THE LOT AND MAINTAINED BY THE OWNER OF THE LOT. THESE TREES ARE IN ADDITION TO THE TREES REQUIRED BY TOWN MUNICIPAL CODE TITLE 17, CHAPTER 17.62.  
C. LOTS DESIGNATED WITH AN © SYMBOL REPRESENT "REAR CONDITION" LOTS AND ARE REQUIRED TO HAVE ENHANCED REAR ELEVATION ARCHITECTURAL DETAILS INCLUDING A MINIMUM OF AT LEAST TWO ARCHITECTURAL DETAILS WHICH BREAK THE MAIN PLANE OF THE REAR ELEVATION.  
D. LOTS DESIGNATED WITH A © SYMBOL REPRESENT "CORNER CONDITION" LOTS AND ARE REQUIRED TO HAVE ENHANCED CORNER ARCHITECTURAL DETAILS INCLUDING AN ARCHITECTURAL FEATURE, SUCH AS A WRAP-AROUND FRONT PORCH DETAIL, BAY WINDOW, ETC. ON BOTH THE FRONT AND SIDE ELEVATIONS FACING BOTH STREETS.  
E. NOT MORE THAN TWO FRONT BUILDING ELEVATIONS MAY BE THE SAME IF SIDE BY SIDE OR ACROSS THE STREET FROM EACH OTHER. NO TWO REAR ELEVATIONS MAY BE THE SAME IF SIDE-BY-SIDE AND VISIBLE FROM A COLLECTOR STREET OR OPEN SPACE TRACT.  
F. IF MASONRY IS PROVIDED ON THE FRONT ELEVATION OF A BUILDING, MASONRY SHALL EXTEND AND WRAP AROUND THE SIDE ELEVATIONS BY AT LEAST 2 FEET.  
G. HOUSES ADJACENT TO EACH OTHER AND DIRECTLY ACROSS THE STREET FROM EACH OTHER SHALL NOT USE THE SAME COLOR OF PAINT FOR THE BODY OF THE HOUSE.  
H. NOT MORE THAN THREE ADJACENT HOMES SHALL HAVE THE SAME FRONT SETBACK AND SAID FRONT SETBACK WHERE VARIED, WILL BE VARIED BY AT LEAST 3 FEET.
4. RETAINING WALLS AND FENCES ARE PERMITTED WITHIN ALL SETBACKS.
5. ALL STRUCTURES THAT ARE NOT CONSIDERED PART OF THE PRIMARY STRUCTURE (WITH THE EXCEPTION OF DETACHED GARAGES) (E.G. DOG HOUSES, STORAGE SHEDS, PLAY EQUIPMENT) ARE PERMITTED WITHIN THE REAR AND SIDE SETBACKS.



\* REFER TO LAND USE CHART ABOVE FOR CLARIFICATION  
\*\* TO INCLUDE SIGNAGE AND LIGHTING  
\*\*\* SIDE TO INTERIOR/SIDE TO STREET

TRACT SUMMARY

TRACT	AC	LAND USE	OWNERSHIP	MAINTENANCE
TRACT A	4.58 AC	OSP/DR	HOA	HOA
TRACT B	1.35 AC	OSP/DR	HOA	HOA

MONUMENT LEGEND

- FOUND ALIQUOT MONUMENT AS NOTED
- FOUND MONUMENT AS NOTED.

LEGEND:

PROPOSED	EXISTING	
SANITARY SEWER	BOUNDARY LINE	
PIPE with MANHOLE	PROPOSED MAJOR CONTOUR	
PIPE with PLUG	PROPOSED MINOR CONTOUR	
WATER PIPELINE	EXISTING MAJOR CONTOUR	
WATER VALVE	EXISTING MINOR CONTOUR	
FIRE HYDRANT	STREET GRADE	
BEND and TEE	HIGH POINT	
BLOWOFF ASSEMBLY	LOW POINT	
AIR RELEASE VALVE	HANDICAPPED RAMP	
ARV VENT	SPOT ELEVATION	
IRRIGATION TAP/METER	PROPOSED STREET LAMP	
STORM DRAIN	EXISTING INDIVIDUAL 6" OR LARGER TREES OUTSIDE OF TREE STAND	
MANHOLE and PIPE		
INLET		
FLARED END SECTION		
EASEMENT		
CENTER LINE		

CALL BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRADE OR EXCAVATE FOR THE MARKING OF UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY UTILITIES SHOWN ON THE DRAWING HAVE BEEN PLOTTED FROM RECORD DRAWINGS. THE CONTRACTOR TO FIELD VERIFY THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE RESPONSIBILITY OF ANY CONSTRUCTION ACTIVITIES.

REVISIONS

#	DESCRIPTION	DATE	BY

THE MEADOWS FILING 18 SITE DEVELOPMENT PLAN,  
AMENDMENT NO. 11  
STANDARD NOTES AND DETAILS  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
RELEASE: 02/22/2016  
DESIGNED BY: MRM  
DRAWN BY: MRM  
CHECKED BY: MRM

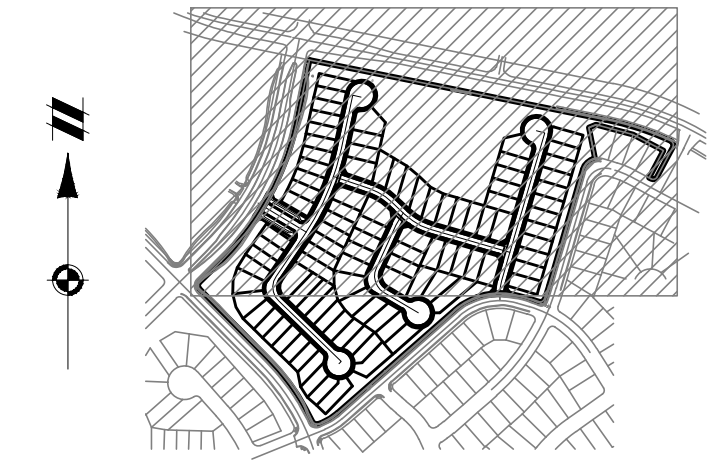
JOB NO.  
14-003-001  
SHEET  
2 OF 11

THE MEADOWS FILING NO. 18  
SITE DEVELOPMENT PLAN, AMENDMENT NO. 11  
PROJECT# SDP16-0012  
GENERAL NOTES AND DETAILS

CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
LAND SURVEYING  
303.703.4444  
1850 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120  
CORE  
CONSULTANTS



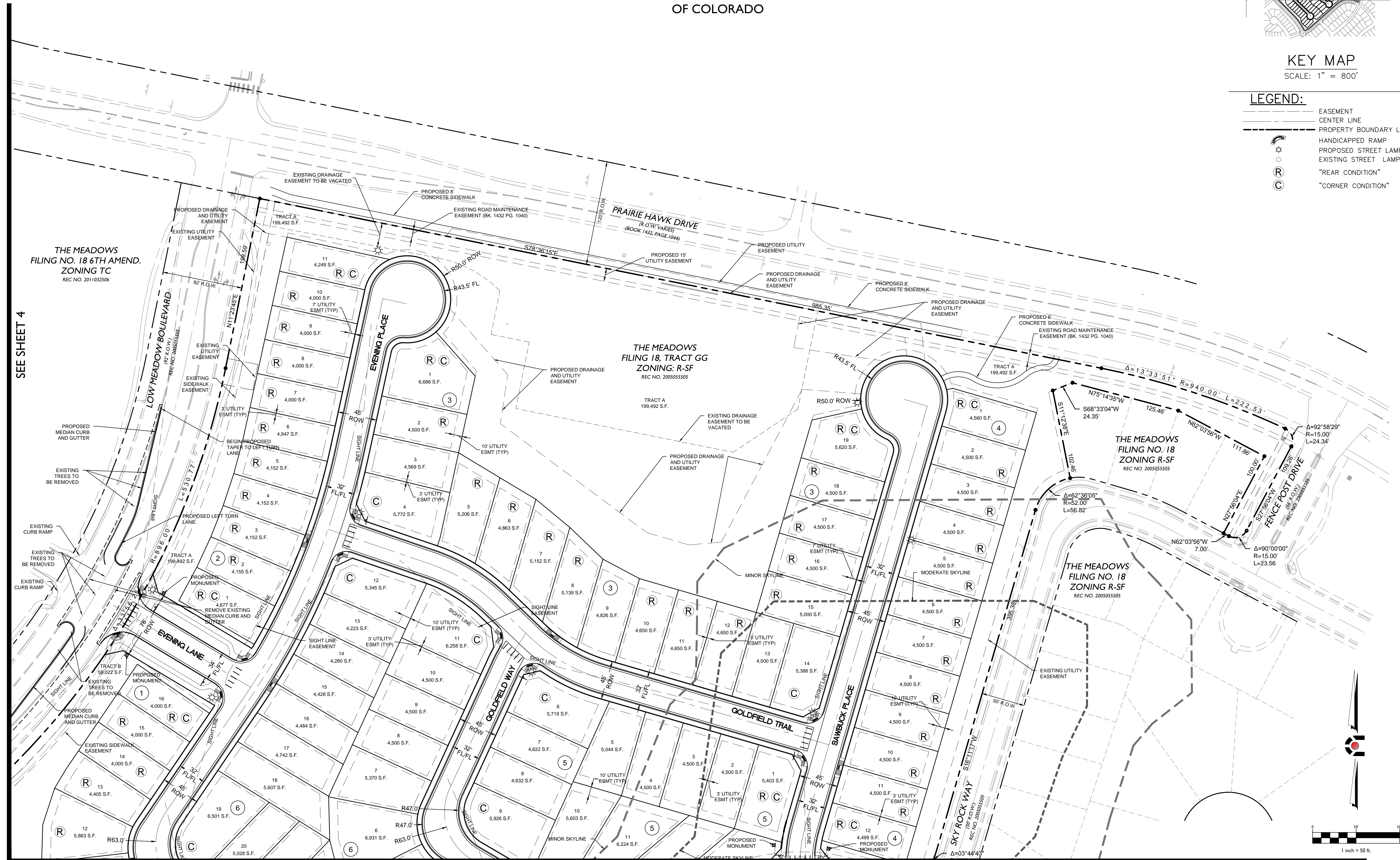
THE MEADOWS FILING NO. 18 SITE DEVELOPMENT PLAN, AMENDMENT NO. 11,  
AN AMENDMENT TO THE PRELIMINARY PLAT AND FINAL PD SITE PLAN  
TRACT GG, THE MEADOWS FILING NO. 18  
SITUATED IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67  
WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE  
OF COLORADO



KEY MAP  
SCALE: 1" = 800'

LEGEND:

- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP
- "REAR CONDITION"
- "CORNER CONDITION"



SEE SHEET 4

THE MEADOWS FILING NO. 18  
SITE DEVELOPMENT PLAN, AMENDMENT NO. 11  
PROJECT# SDP16-0012  
SITE PLAN

CALL BUSINESS DAYS IN ADVANCE BEFORE YOU  
DIG, GRADE OR EXCAVATE FOR THE MARKING OF  
UNDERGROUND UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY  
UTILITIES SHOWN ON THE DRAWING HAVE BEEN FLOTTED  
THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY  
COMPLETION OF ANY CONSTRUCTION ACTIVITIES.

REVISIONS	
#	DESCRIPTION

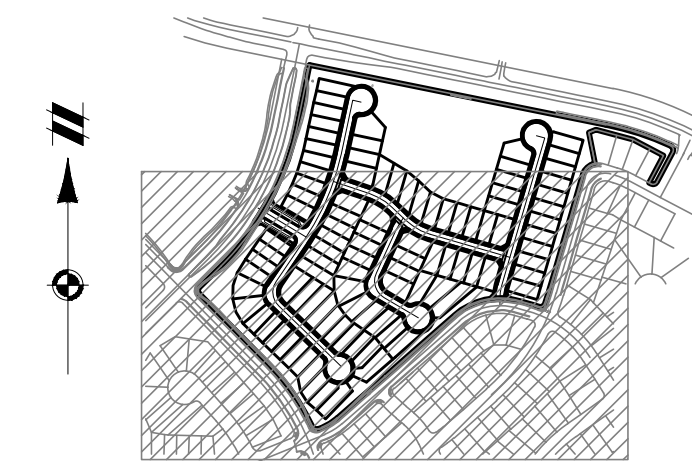
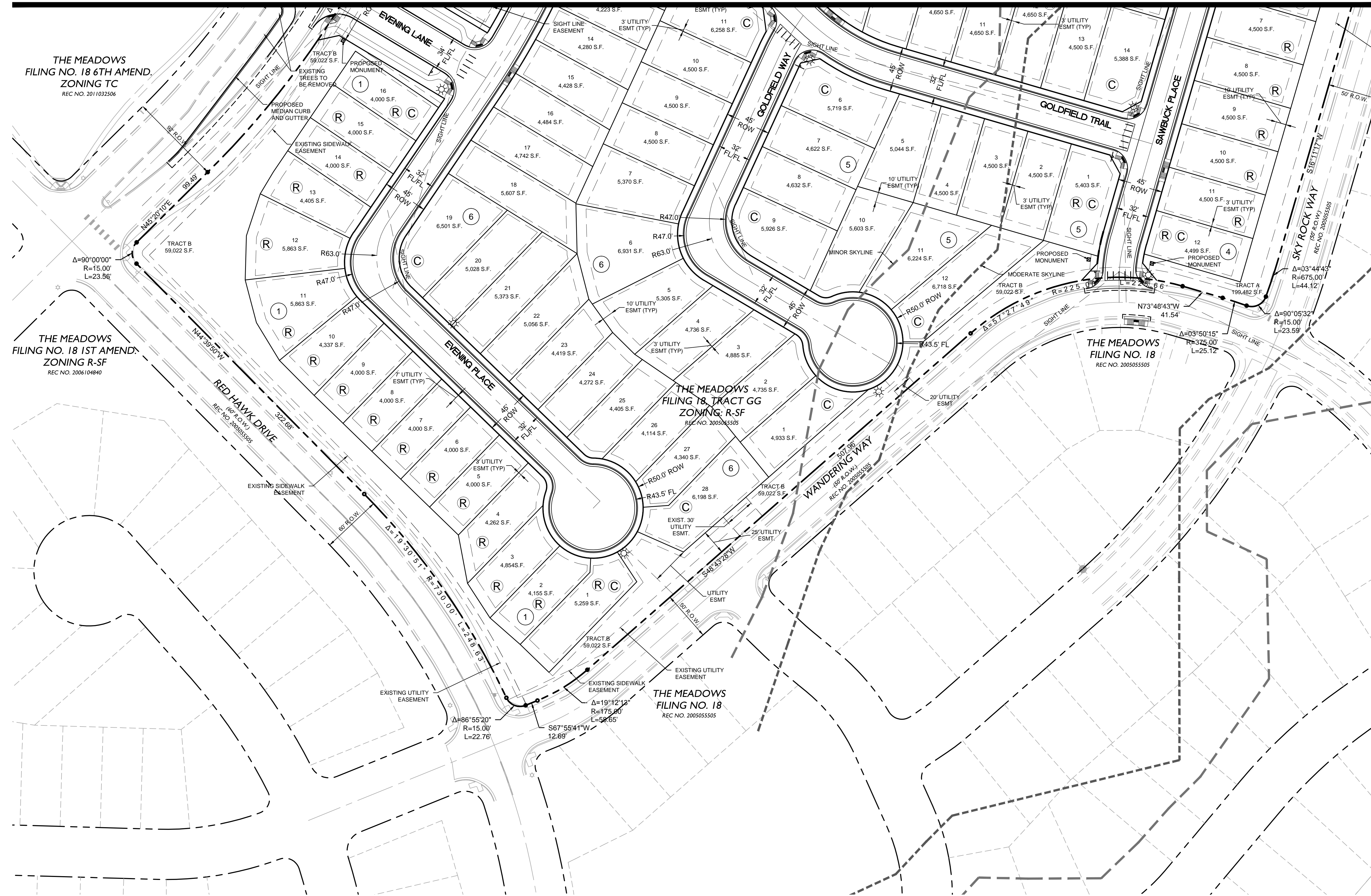
THE MEADOWS FILING NO. 18 SITE DEVELOPMENT PLAN,  
AMENDMENT NO. 11  
SITE PLAN  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
RELEASE: 02/22/2016  
DESIGNED BY: MRM  
DRAWN BY: MRM  
CHECKED BY: MRM  
JOB NO.  
14-003-001  
SHEET  
3 OF 11



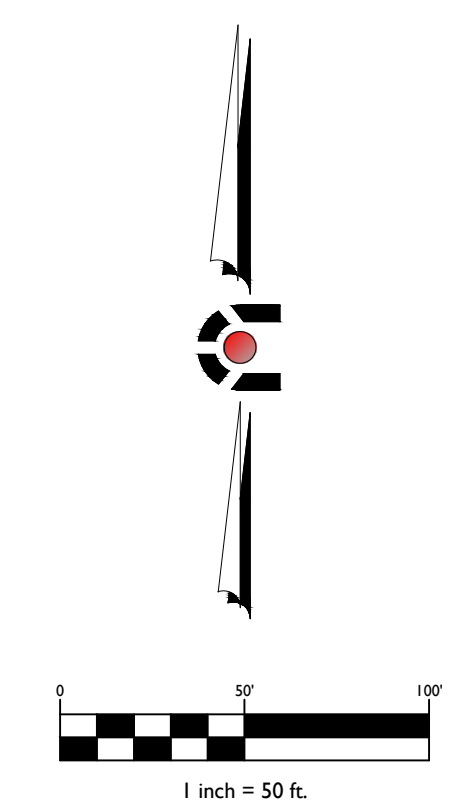
THE MEADOWS FILING NO. 18 SITE DEVELOPMENT PLAN, AMENDMENT NO. 11,  
AN AMENDMENT TO THE PRELIMINARY PLAT AND FINAL PD SITE PLAN  
TRACT GG, THE MEADOWS FILING NO. 18  
SITUATED IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67  
WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE  
OF COLORADO

SEE SHEET 3



KEY MAP  
SCALE: 1" = 800'

- LEGEND:**
- EASEMENT
  - CENTER LINE
  - PROPERTY BOUNDARY LINE
  - HANDICAPPED RAMP
  - PROPOSED STREET LAMP
  - EXISTING STREET LAMP
  - "REAR CONDITION"
  - "CORNER CONDITION"



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DEVELOPMENT CONSULTING  
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1850 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120



CALL BUSINESS DAYS IN ADVANCE BEFORE YOU  
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UNDERGROUND UTILITIES.  
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UTILITIES SHOWN ON THE DRAWING HAVE BEEN PLOTTED  
THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY  
COMPONENTS OF ANY CONSTRUCTION ACTIVITIES.

REVISIONS	
#	DESCRIPTION

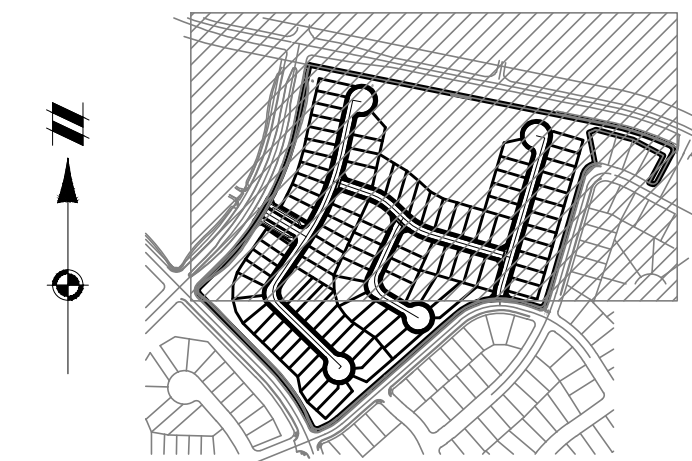
THE MEADOWS FILING 18 SITE DEVELOPMENT PLAN,  
AMENDMENT NO. 11  
SITE PLAN  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN	RELEASE: 02/22/2016
DESIGNED BY: MRM	DRAWN BY: MRM
CHECKED BY: MRM	JOB NO. 14-003-001
SHEET 4 OF 11	

THE MEADOWS FILING NO. 18  
SITE DEVELOPMENT PLAN, AMENDMENT NO. 11  
PROJECT# SDP16-0012  
SITE PLAN



THE MEADOWS FILING NO. 18 SITE DEVELOPMENT PLAN, AMENDMENT NO. 11,  
AN AMENDMENT TO THE PRELIMINARY PLAT AND FINAL PD SITE PLAN  
TRACT GG, THE MEADOWS FILING NO. 18  
SITUATED IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67  
WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE  
OF COLORADO



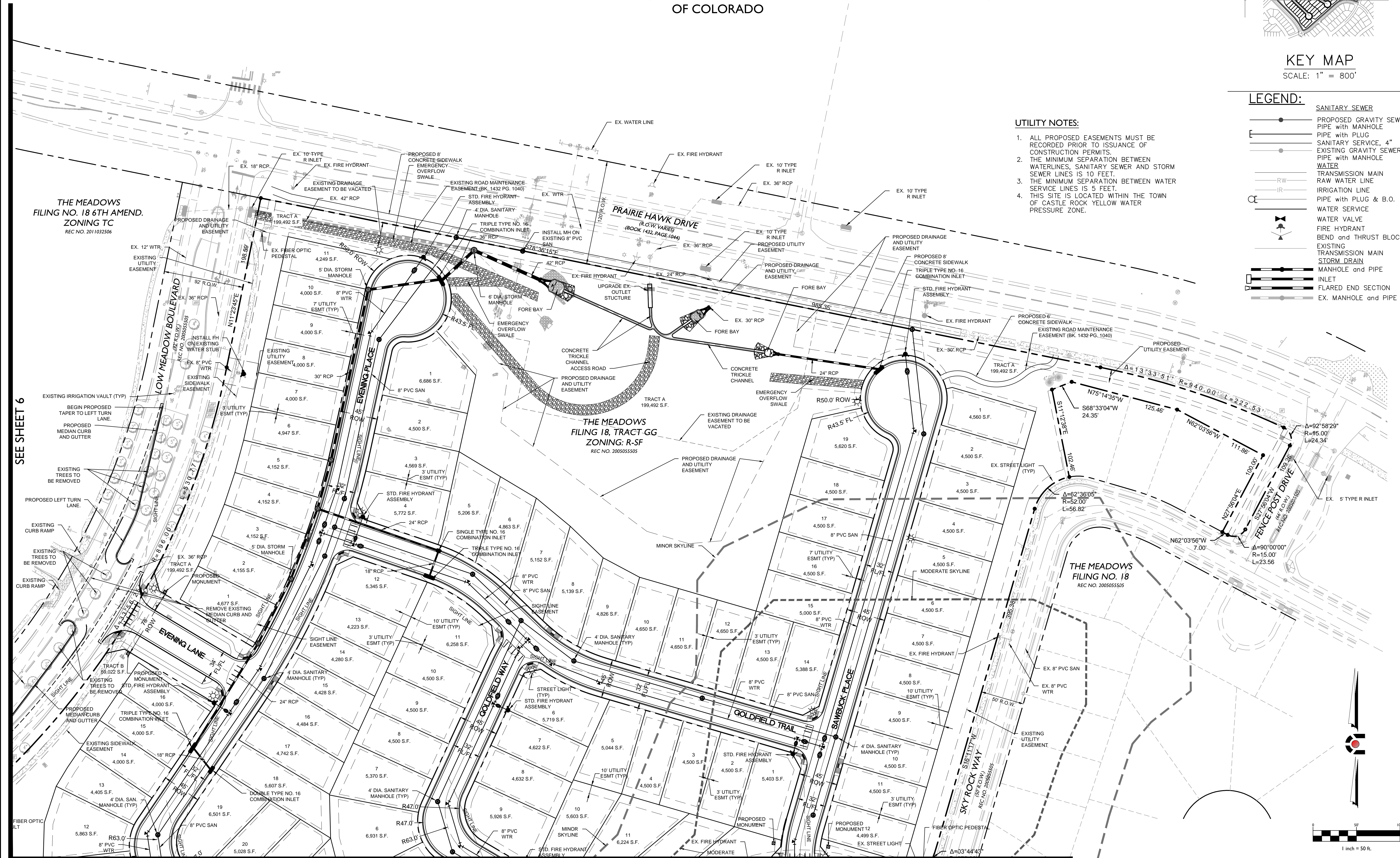
KEY MAP  
SCALE: 1" = 800'

LEGEND:

- SANITARY SEWER  
PROPOSED GRAVITY SEWER  
PIPE with MANHOLE  
PIPE with PLUG  
SANITARY SERVICE, 4"  
EXISTING GRAVITY SEWER  
PIPE with MANHOLE  
WATER  
TRANSMISSION MAIN  
RAW WATER LINE  
IRRIGATION LINE  
PIPE with PLUG & B.O.  
WATER SERVICE  
WATER VALVE  
FIRE HYDRANT  
BEND AND THRUST BLOCK  
EXISTING  
TRANSMISSION MAIN  
STORM DRAIN  
MANHOLE and PIPE  
INLET  
FLARED END SECTION  
EX. MANHOLE and PIPE

UTILITY NOTES:

1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.



SEE SHEET 6

SEE SHEET 6

THE MEADOWS FILING NO. 18  
SITE DEVELOPMENT PLAN, AMENDMENT NO. 11  
PROJECT# SDP16-0012  
UTILITY PLAN

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Littleton, CO 80120

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CONSULTANTS

CALL BUSINESS DAYS IN ADVANCE BEFORE YOU  
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UNDERGROUND UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY  
UTILITIES SHOWN ON THE DRAWING HAVE BEEN PLOTTED  
THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY  
THE LOCATION AND DEPTH OF ALL UTILITIES.  
COMPROMISEMENT OF ANY CONSTRUCTION ACTIVITIES.

REVISIONS	DATE	BY
#	DESCRIPTION	

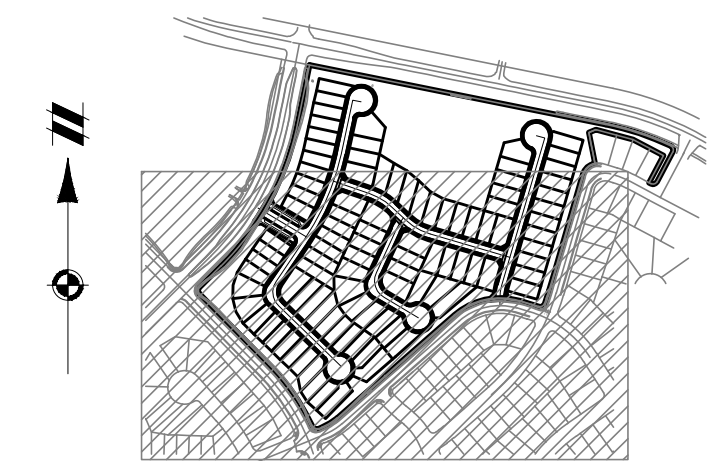
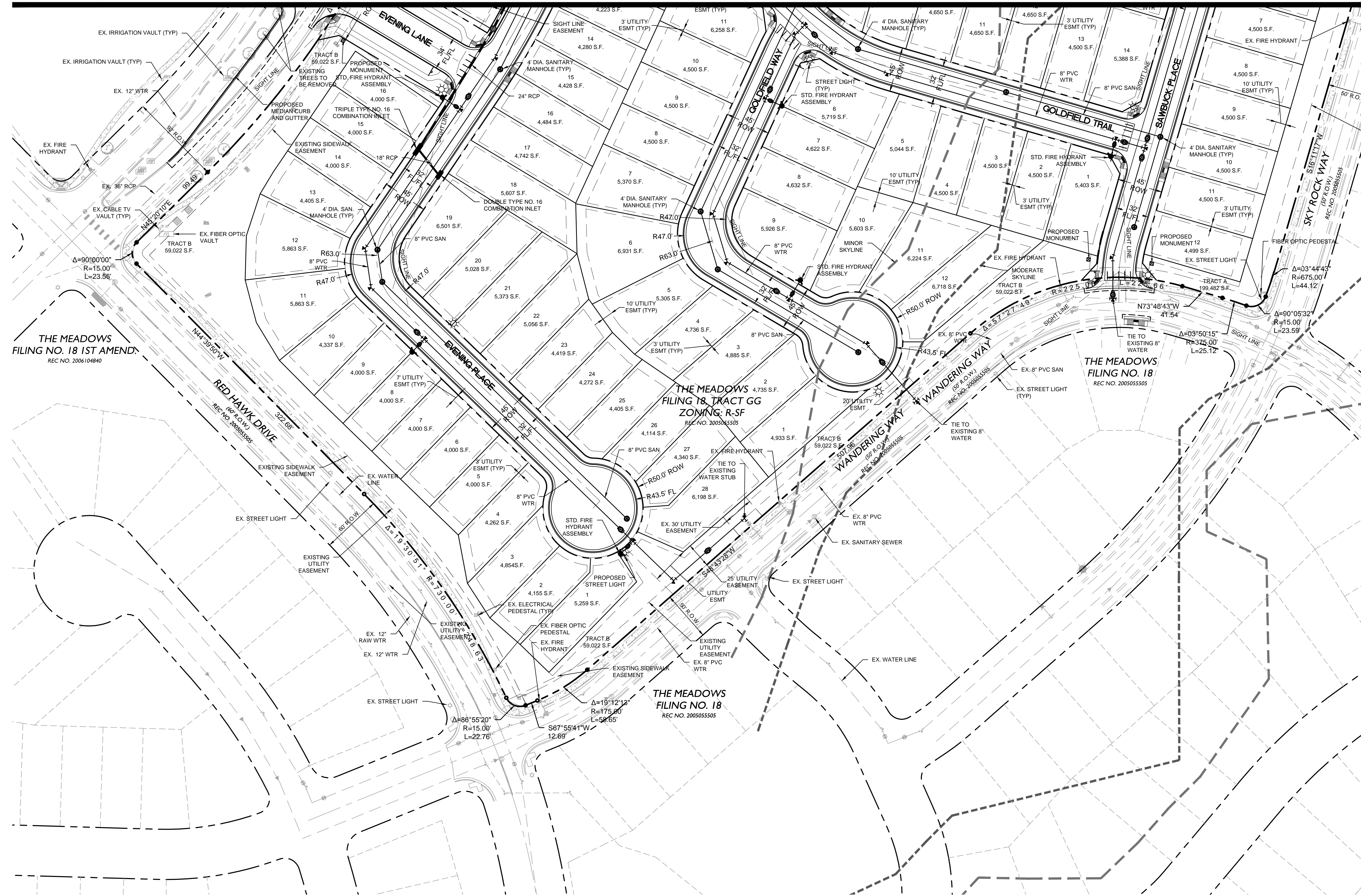
THE MEADOWS FILING 18 SITE DEVELOPMENT PLAN,  
AMENDMENT NO. 11  
UTILITY PLAN  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
RELEASE: 02/22/2016  
DESIGNED BY: MRM  
DRAWN BY: MRM  
CHECKED BY: MRM  
JOB NO.  
14-003-001  
SHEET  
5 OF 11



THE MEADOWS FILING NO. 18 SITE DEVELOPMENT PLAN, AMENDMENT NO. 11,  
AN AMENDMENT TO THE PRELIMINARY PLAT AND FINAL PD SITE PLAN  
TRACT GG, THE MEADOWS FILING NO. 18  
SITUATED IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67  
WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE  
OF COLORADO

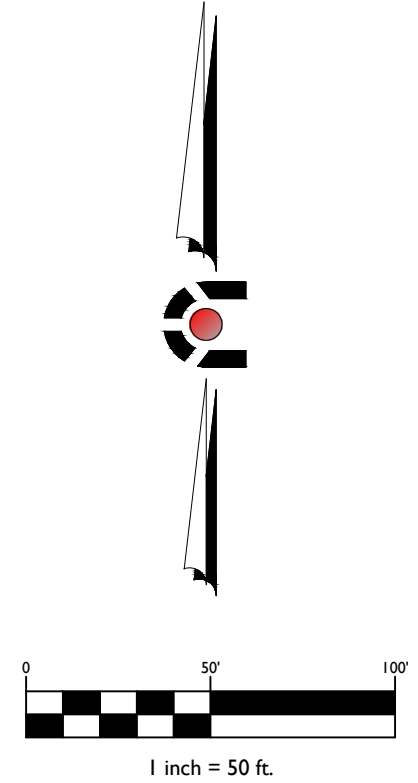
SEE SHEET 5



KEY MAP  
SCALE: 1" = 800'

- LEGEND:**
- SANITARY SEWER
  - PROPOSED GRAVITY SEWER
  - PIPE with MANHOLE
  - PIPE with PLUG
  - SANITARY SERVICE, 4"
  - EXISTING GRAVITY SEWER
  - PIPE with MANHOLE
  - WATER
  - TRANSMISSION MAIN
  - RAW WATER LINE
  - IRRIGATION LINE
  - PIPE with PLUG & B.O.
  - WATER SERVICE
  - WATER VALVE
  - FIRE HYDRANT
  - BEND and THRUST BLOCK
  - EXISTING TRANSMISSION MAIN
  - STORM DRAIN
  - MANHOLE and PIPE
  - INLET
  - FLARED END SECTION
  - EX. MANHOLE and PIPE

- UTILITY NOTES:**
- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
  - THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
  - THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
  - THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.



SEE SHEET 5

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LAND SURVEYING  
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CONSULTANTS

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THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY  
THE LOCATION AND DEPTH OF ALL UTILITIES.

811

REVISIONS	
#	DESCRIPTION

THE MEADOWS FILING 18 SITE DEVELOPMENT PLAN,  
AMENDMENT NO. 11  
UTILITY PLAN  
TOWN OF CASTLE ROCK, COLORADO

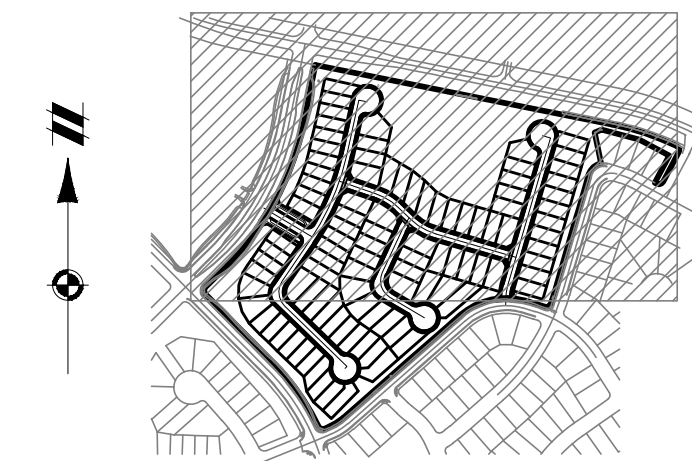
INITIAL PLAN  
RELEASE: 02/22/2016  
DESIGNED BY: MRM  
DRAWN BY: MRM  
CHECKED BY: MRM

JOB NO.  
14-003-001

SHEET  
6 OF 11



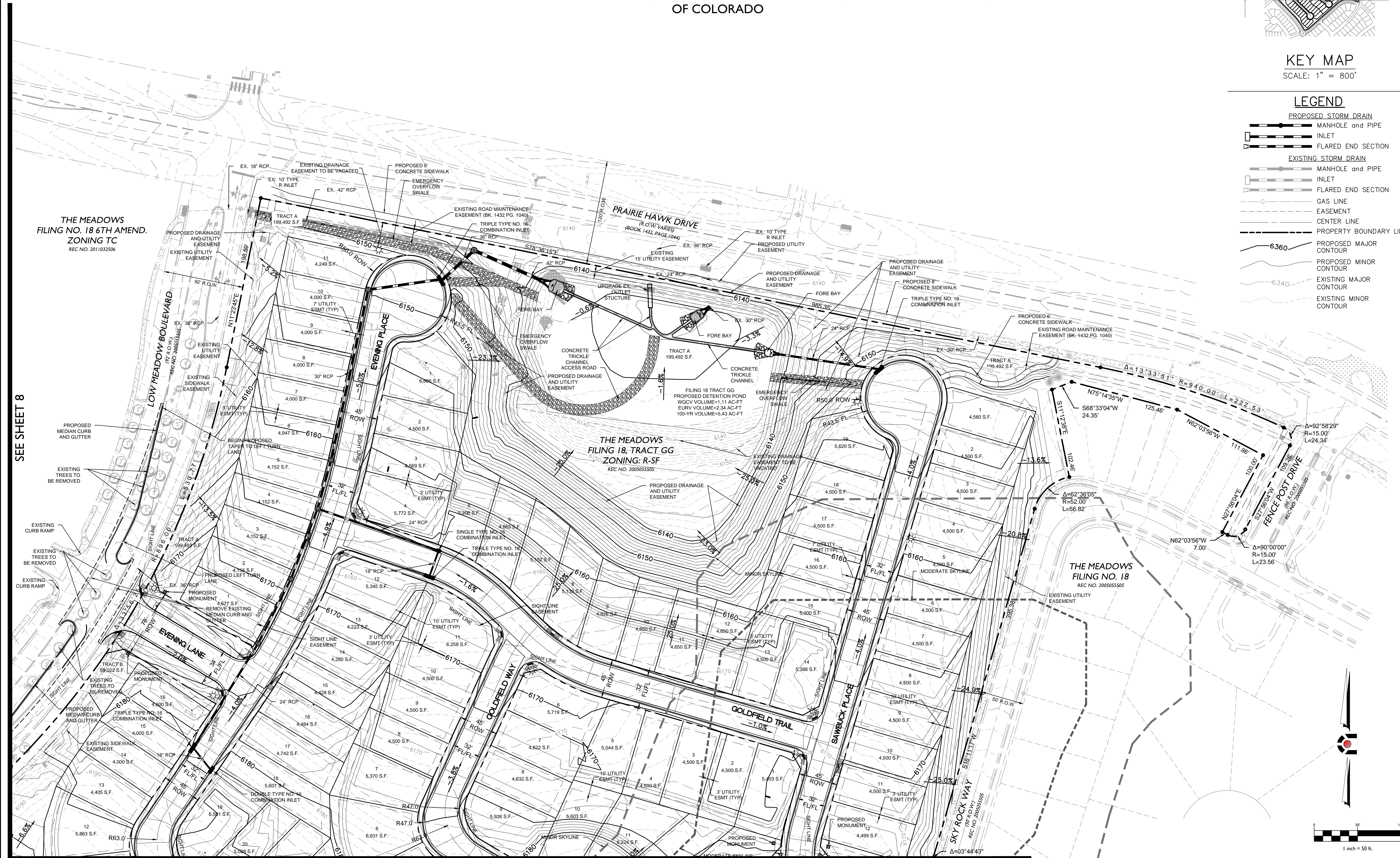
THE MEADOWS FILING NO. 18 SITE DEVELOPMENT PLAN, AMENDMENT NO. 11,  
AN AMENDMENT TO THE PRELIMINARY PLAT AND FINAL PD SITE PLAN  
TRACT GG, THE MEADOWS FILING NO. 18  
SITUATED IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67  
WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE  
OF COLORADO



KEY MAP  
SCALE: 1" = 800'

LEGEND

- PROPOSED STORM DRAIN**
- MANHOLE and PIPE
  - INLET
  - FLARED END SECTION
- EXISTING STORM DRAIN**
- MANHOLE and PIPE
  - INLET
  - FLARED END SECTION
- UTILITY**
- GAS LINE
  - EASEMENT
  - CENTER LINE
  - PROPERTY BOUNDARY LINE
- CONTOUR**
- PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR



SEE SHEET 8

SEE SHEET 8

THE MEADOWS FILING NO. 18  
SITE DEVELOPMENT PLAN, AMENDMENT NO. 11  
PROJECT# SDP16-0012  
GRADING PLAN

CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
LAND SURVEYING  
303.703.4444  
1850 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120

**CORE CONSULTANTS**

CALL BUSINESS DAYS IN ADVANCE BEFORE YOU  
DIG, GRADE OR EXCAVATE FOR THE MARKING OF  
UNDERGROUND UTILITIES.

811

REVISIONS	
#	DESCRIPTION

THE MEADOWS FILING 18 SITE DEVELOPMENT PLAN,  
AMENDMENT NO. 11  
GRADING PLAN  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
RELEASE: 02/22/2016  
DESIGNED BY: MRM  
DRAWN BY: MRM  
CHECKED BY: MRM

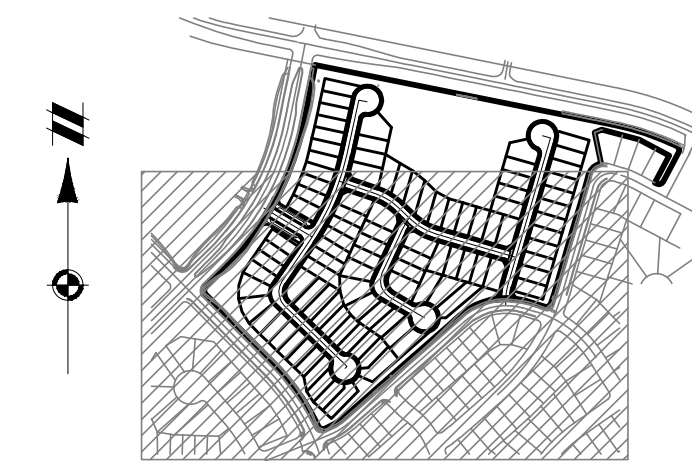
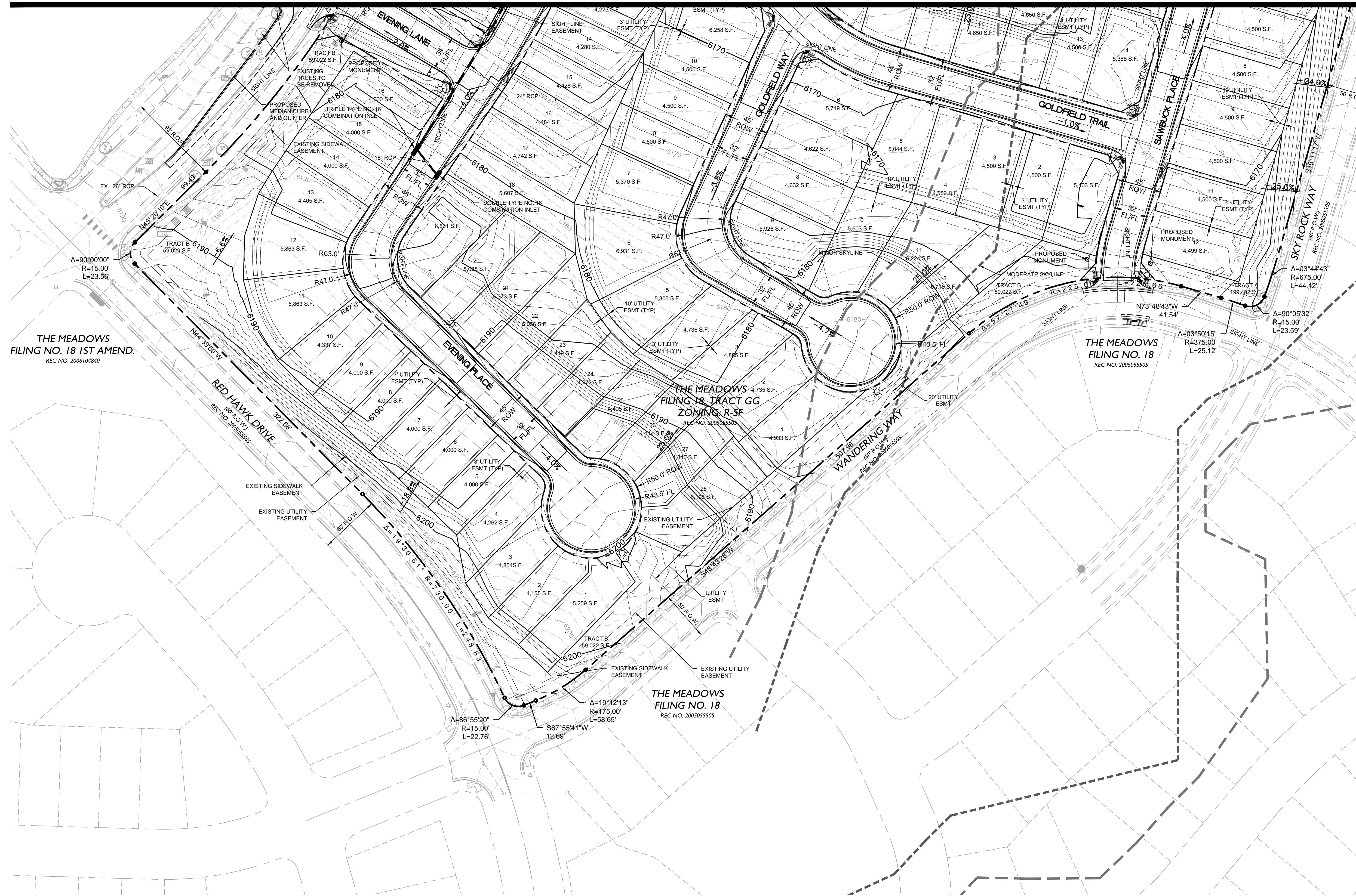
JOB NO.  
14-003-001

SHEET  
7 OF 11



THE MEADOWS FILING NO. 18 SITE DEVELOPMENT PLAN, AMENDMENT NO. 11,  
AN AMENDMENT TO THE PRELIMINARY PLAT AND FINAL PD SITE PLAN  
TRACT GG, THE MEADOWS FILING NO. 18  
SITUATED IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67  
WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE  
OF COLORADO

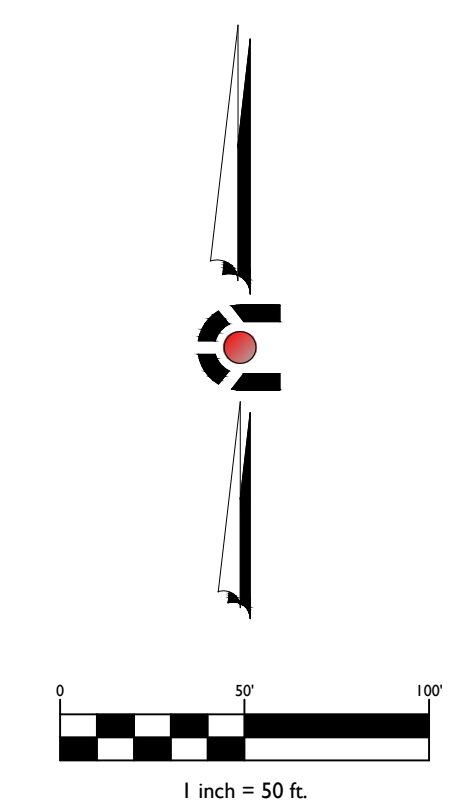
SEE SHEET 7



KEY MAP  
SCALE: 1" = 800'

LEGEND

- PROPOSED STORM DRAIN**
- MANHOLE and PIPE
  - INLET
  - FLARED END SECTION
- EXISTING STORM DRAIN**
- MANHOLE and PIPE
  - INLET
  - FLARED END SECTION
- EXISTING**
- GAS LINE
  - EASEMENT
  - CENTER LINE
  - PROPERTY BOUNDARY LINE
- CONTOURS**
- PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR



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DEVELOPMENT CONSULTING  
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1850 W. Littleton Blvd., Ste. 109  
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THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO  
CONSTRUCTION OF ANY CONSTRUCTION ACTIVITIES.

811

REVISIONS	
#	DESCRIPTION

THE MEADOWS FILING 18 SITE DEVELOPMENT PLAN,  
AMENDMENT NO. 11  
GRADING PLAN  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
RELEASE: 02/22/2016  
DESIGNED BY: MRM  
DRAWN BY: MRM  
CHECKED BY: MRM

JOB NO.  
14-003-001

SHEET  
8 OF 11

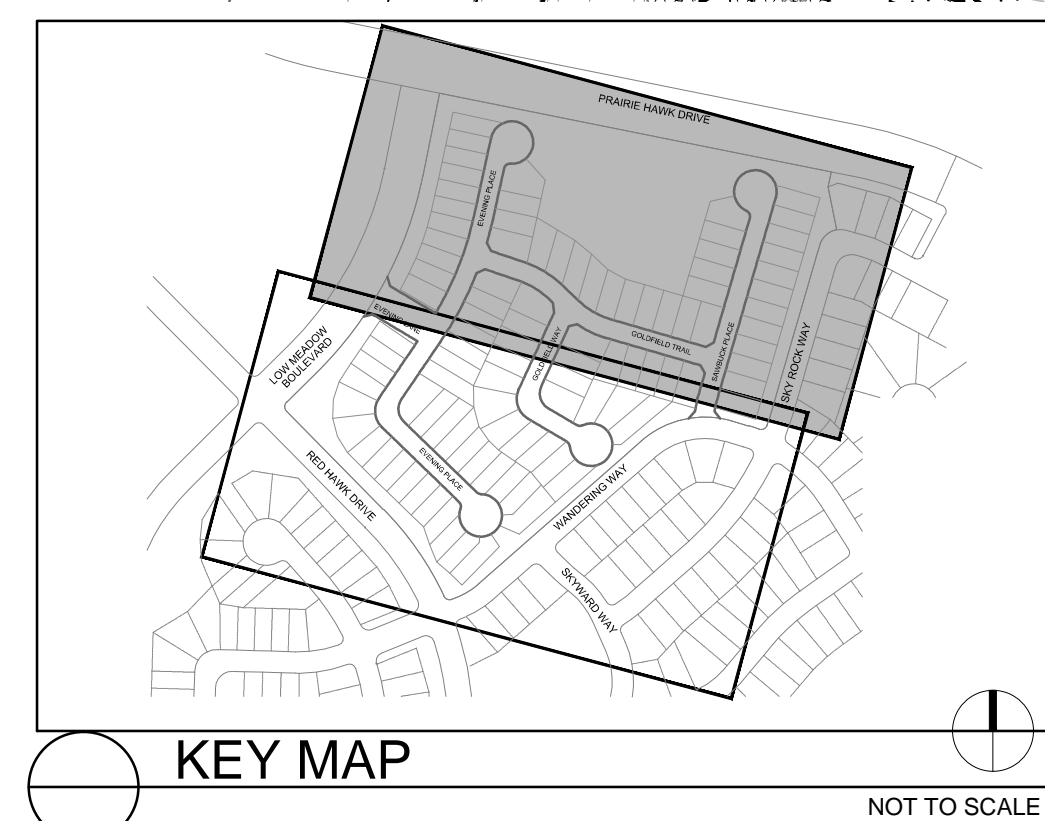
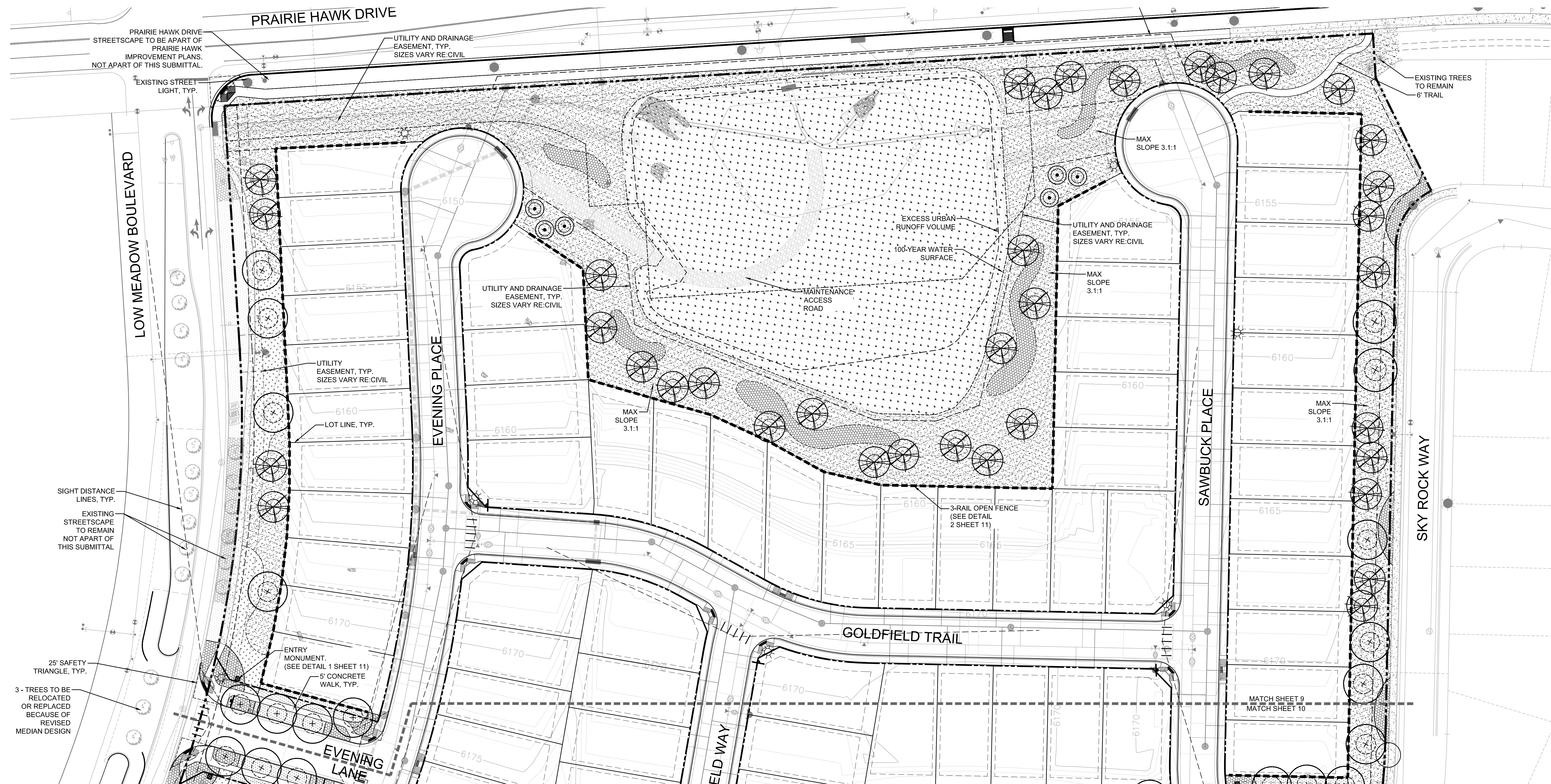
SEE SHEET 7

THE MEADOWS FILING NO. 18  
SITE DEVELOPMENT PLAN, AMENDMENT NO. 11  
PROJECT# SDP16-0012  
GRADING PLAN



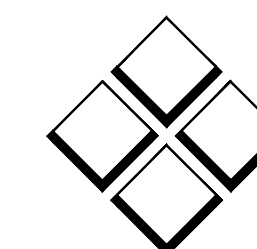
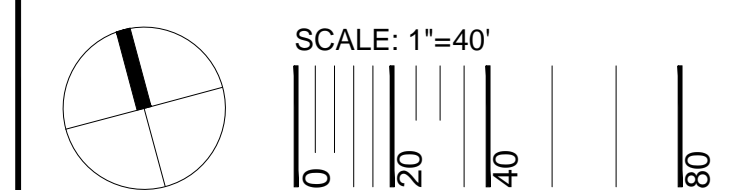
# THE MEADOWS FILING NO. 18 SITE DEVELOPMENT PLAN, AMENDMENT NO. 11, AN AMENDMENT TO THE PRELIMINARY PLAT AND FINAL PD SITE PLAN

TRACT GG, THE MEADOWS FILING NO. 18  
SITUATED IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST  
OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND	
	ENVIRO-TURF SOD
	LOW GROW SHORTGRASS MIX
	ROCKY MOUNTAIN NATIVE SEED MIX
	NON-IRRIGATED NATIVE SEED MIX
	SHRUB BED
	3-RAIL OPEN FENCE
	DECIDUOUS TREE
	ORNAMENTAL TREE
	EVERGREEN TREE

NOT FOR CONSTRUCTION



**VOGEL & ASSOCIATES**  
475 W. 12th Avenue - Suite E  
Denver, Colorado 80204-3688  
(303) 893-4288

THE MEADOWS FILING NO. 18  
SITE DEVELOPMENT PLAN, AMENDMENT NO. 11  
PROJECT# SDP16-0012

CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
LAND SURVEYING  
303.703.4444  
1950 W. Littleton Blvd., Ste. 108  
Littleton, CO 80120



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU  
DIG. GRADING, EROSION CONTROL, AND  
UNDERGROUND UTILITY LOCATIONS.  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU  
DIG. GRADING, EROSION CONTROL, AND  
UNDERGROUND UTILITY LOCATIONS.  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU  
DIG. GRADING, EROSION CONTROL, AND  
UNDERGROUND UTILITY LOCATIONS.

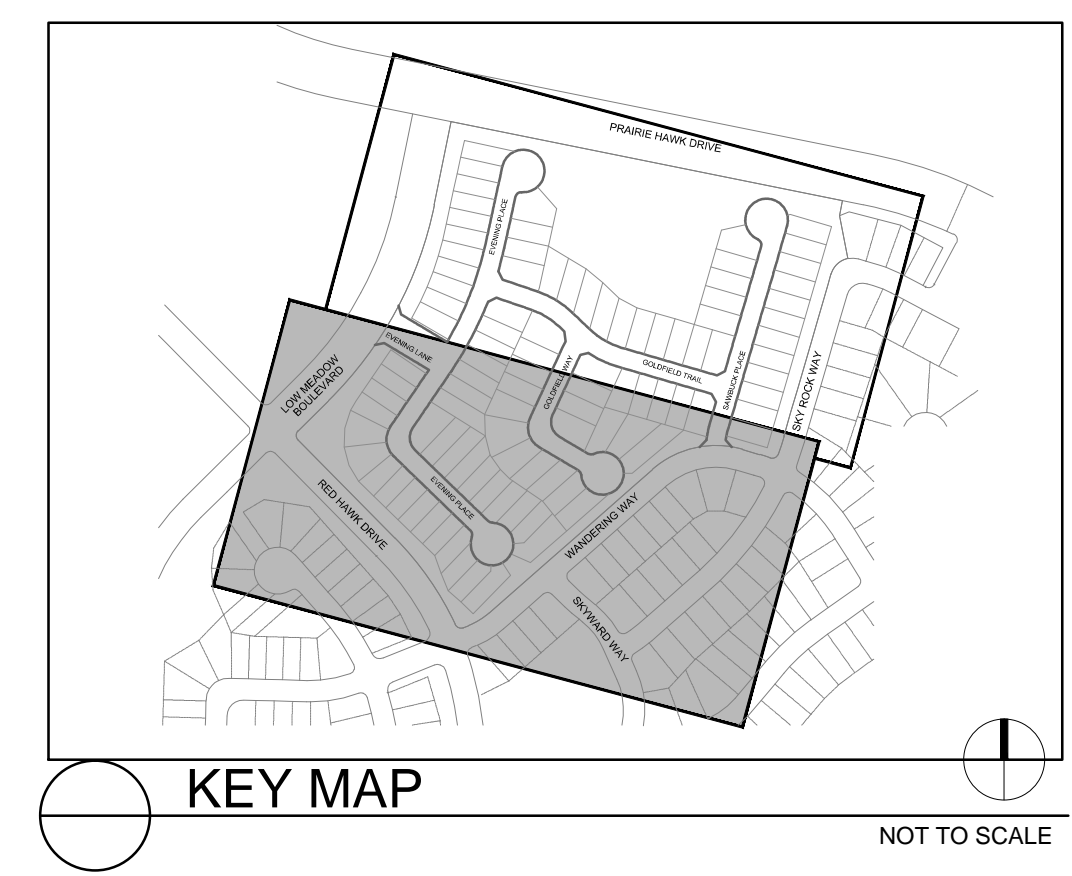
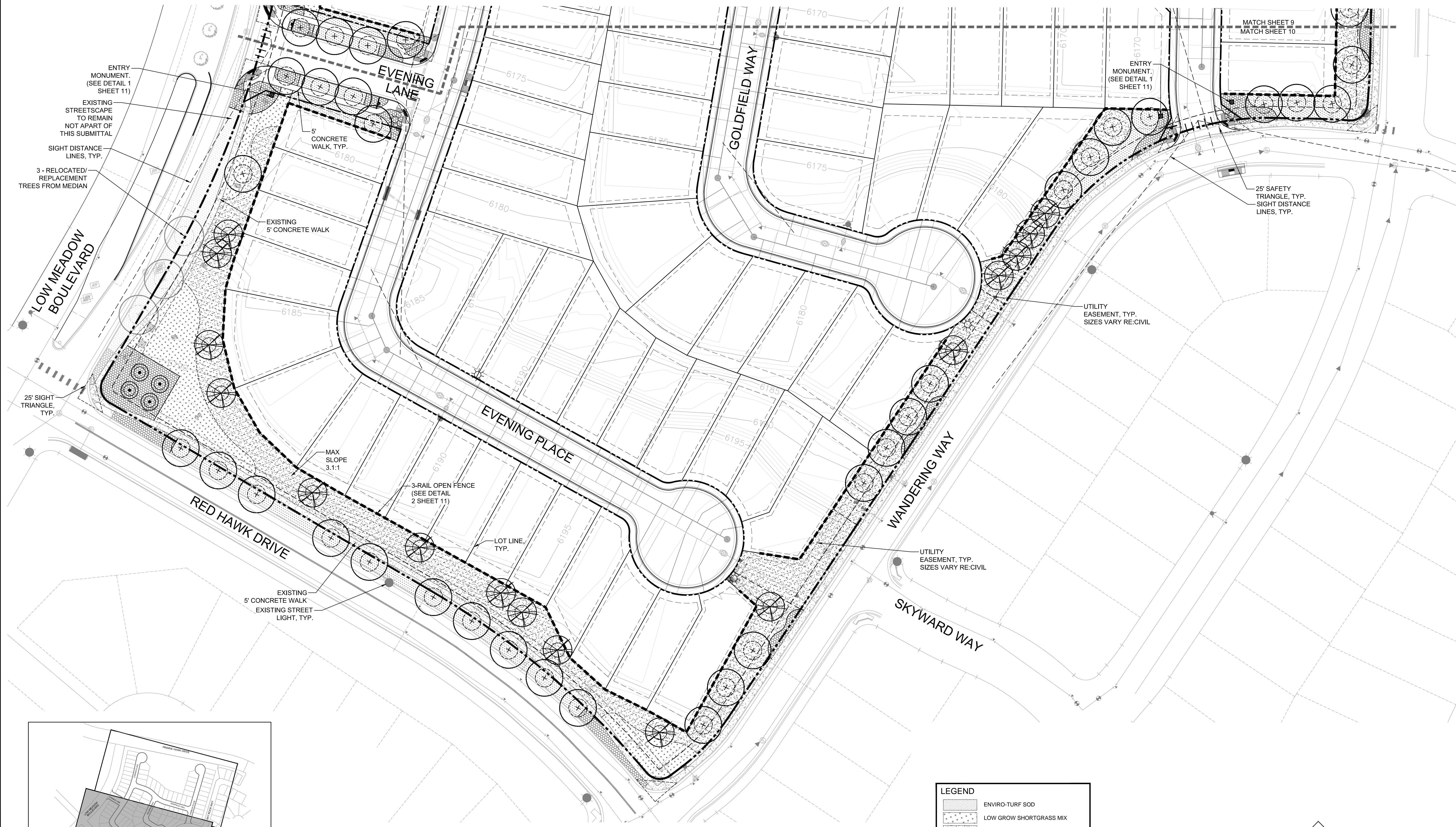
REVISIONS		DATE	BY
#	DESCRIPTION		
1	REVISED SDP - CR COMMENT	04/05/2016	
2	REVISED SDP - CR COMMENT	04/05/2016	

THE MEADOWS FILING 18 SITE  
DEVELOPMENT PLAN  
AMENDMENT NO. 11  
LANDSCAPE PLAN  
TOWN OF CASTLE ROCK

INITIAL PLAN RELEASE: 02/11/2016 DESIGNED BY: VVB DRAWN BY: AF CHECKED BY: VVB	JOB NO. 14-003 SHEET 9 OF 11
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THE MEADOWS FILING NO. 18 SITE DEVELOPMENT PLAN, AMENDMENT NO. 11,  
AN AMENDMENT TO THE PRELIMINARY PLAT AND FINAL PD SITE PLAN  
TRACT GG, THE MEADOWS FILING NO. 18  
SITUATED IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST  
OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**LEGEND**

- ENVIRO-TURF SOD
- LOW GROW SHORTGRASS MIX
- ROCKY MOUNTAIN NATIVE SEED MIX
- NON-IRRIGATED NATIVE SEED MIX
- SHRUB BED
- 3-RAIL OPEN FENCE
- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE

NOT FOR CONSTRUCTION

SCALE: 1"=40'

**VOGEL & ASSOCIATES**  
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Denver, Colorado 80204-3688  
(303) 893-4288

THE MEADOWS FILING NO. 18  
SITE DEVELOPMENT PLAN, AMENDMENT NO. 11  
PROJECT# SDP16-0012

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DEVELOPMENT CONSULTING  
LAND SURVEYING  
303.703.4444  
1950 W. Littleton Blvd., Ste. 108  
Littleton, CO 80120

**CORE**  
CONSULTANTS

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU  
DIG. GIVE US A HEADLINE AND WE'LL FIND THE  
UNDERGROUND NEARBY UTILITIES.  
811  
Know what's below.  
Call before you dig.

#	DESCRIPTION	DATE	BY
1	REVISED SDP - CR COMMENT	04/05/2016	
2	REVISED SDP - CR COMMENT	04/05/2016	

THE MEADOWS FILING 18 SITE  
DEVELOPMENT PLAN  
AMENDMENT NO. 11  
LANDSCAPE PLAN  
TOWN OF CASTLE ROCK

INITIAL PLAN
RELEASE: 02/11/2016
DESIGNED BY: VVB
DRAWN BY: AF
CHECKED BY: VVB

JOB NO.
14-003

SHEET
10 OF 11



SITUATED IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

1. SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
2. QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
3. ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
4. DISTANCE OF TREES TO WATER AND SANITARY UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET AND STORM WATER LINES A MINIMUM OF 5 FEET..
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
6. DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
7. IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
8. IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION
9. REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
10. TREES, LARGE SHRUBS AND PERMANENT STRUCTURES ARE NOT ALLOWED IN UTILITY OR DRAINAGE EASEMENTS IN THE TOWN OF CASTLE ROCK.
11. LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACTOR PROFESSIONAL.
12. MAINTENANCE SHALL MEET TOWN OF CASTLE ROCK REQUIREMENTS.
13. NO SLOPES GREATER THAN 3:1 ARE PERMITTED.
14. OVERHEAD IRRIGATION IS NOT PERMITTED ON SLOPES EQUAL TO 3:1
15. NO BOULDERS OVER 3 FEET IN DIAMETER ARE TO BE IN UTILITY EASEMENTS.
16. AT THE TIME OF INSTALLATION PLANTS SHALL BE FERTILIZED WITH 1 LB. NITROGEN AND 1 LB. PHOSPHORUS PER 1,000 S.F. IN THE EVENT THAT PLANTS REQUIRE ADDITIONAL FERTILIZATION BEYOND WHAT IS SPECIFIED, IT SHALL BE ACCORDING TO THE RECOMMENDATIONS OF A SOIL ANALYSIS WHICH IS SUBMITTED TO TOWN INSPECTOR.
17. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR REPLACING ANY TYPE OF LANDSCAPE ITEM REMOVED IN UTILITY EASEMENTS DUE TO UTILITY LINE MAINTENANCE OR REPAIR.
18. AFTER THE INITIAL INSTALLATION OF THE LANDSCAPING PLAN AS SET FORTH ON THIS SITE DEVELOPMENT PLAN (AND AS FURTHER DEFINED IN THE APPROVED LANDSCAPING CONSTRUCTION DRAWINGS) THE OWNER(S) OF THE PRIVATE O.S. TRACTS MAY, AT OWNER'S FULL DISCRETION, REPLACE DEAD OR DYING PLANTS WITH SIMILAR PLANTS BUT NOT NECESSARILY THE SAME SPECIES OF PLANT. FOR EXAMPLE, A DEAD OR DYING DECIDUOUS TREE/SHRUB CAN BE REPLACED WITH A DECIDUOUS TREE/SHRUB OF A DIFFERENT SPECIES. REPLACEMENT PLANTS MUST BE LISTED ON THE TOWN OF CASTLE ROCK PLANT SPECIES LIST AVAILABLE ONLINE AT [WWW.CRGOW.COM](http://WWW.CRGOW.COM).
19. WITHIN THE SAFETY TRIANGLES THERE SHALL BE NO SOLID OBJECTS BETWEEN TWO AND ONE-HALF (2½) FEET AND TEN (10) FEET ABOVE STREET ELEVATION.
20. WITHIN SIGHT DISTANCE LINES, TREES WITH A CALIPER OF NO GREATER THAN TWELVE (12) INCHES AND A BRANCHING HEIGHT NO LESS THAN EIGHT (8) FEET, AS MEASURED FROM THE ADJACENT STREET FLOWLINE, WILL BE ALLOWED IF IT CAN BE DEMONSTRATED THAT THESE TREES WILL NOT NEGATIVELY IMPACT THE VEHICULAR SIGHT DISTANCE. THE TREE SPECIES WILL BE OF A TYPE THAT WILL NATURALLY CONFORM TO THESE SPECIFICATIONS WHEN MATURE. ALL LIMBS MUST BE MAINTAINED SUCH THAT NO BRANCHES FALL BELOW THE 8 FEET HEIGHT.

<u>INTERIOR LANDSCAPE AREA</u>	AREA (SQ.FT.)
GROSS SITE LANDSCAPE AREA:	257,037
INTERIOR LANDSCAPE AREA**:	86,025
IRRIGATED LANDSCAPE:	81,093
IRRIGATED TURF:	0
LIVING GROUND COVER:	81,093
NON-LIVING GROUND COVER:	4,932
NON-IRRIGATED LANDSCAPE:	69,795
NON-DISTURBED AREAS:	0

<u>STREETSCAPE</u>	
STREETSCAPE AREA:	101,217
IRRIGATED LANDSCAPE:	101,217
IRRIGATED TURF:	12,077
LIVING GROUND COVER:	101,217
NON-IRRIGATED LANDSCAPE:	0
NON-LIVING GROUND COVER:	0
NON-DISTURBED AREAS:	0
100%	
12%	
100%	
0%	
0%	
0%	
LINEAR FEET	
LOW MEADOW BLVD:	660
RED HAWK DR:	599
EVENING LANE NORTH SIDE:	147
EVENING LANE SOUTH SIDE:	147
WANDERING WAY:	820
SKY ROCK WAY:	550

TREES REQUIRED	TREES PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
17	17	68	100
15	15	60	83
4	4	16	50
4	4	16	41
21	21	84	117
14	14	56	66

ENVIRO-TURF SOD  
Turf Master

LOW GROW SHORTGRASS MIX  
Arkansas Valley Seed

ROCKY MOUNTAIN NATIVE SEED MIX  
Arkansas Valley Seed

NON-IRRIGATED NATIVE SEED MIX

SHRUB BED

DECIDUOUS TREE

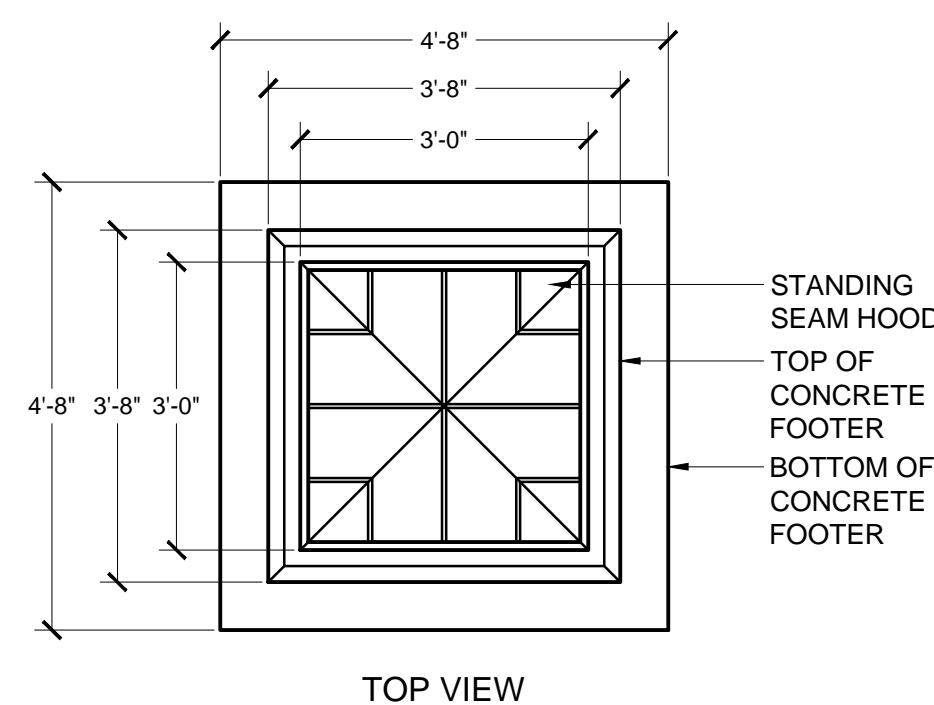
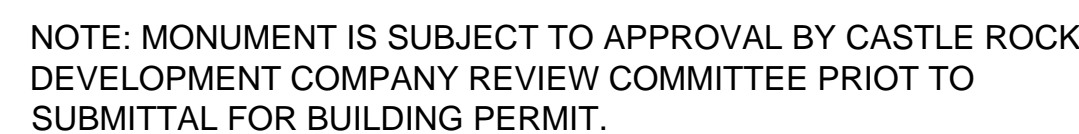
Installed Diameter  
3/4 Mature Diameter

ORNAMENTAL TREE

EVERGREEN TREE

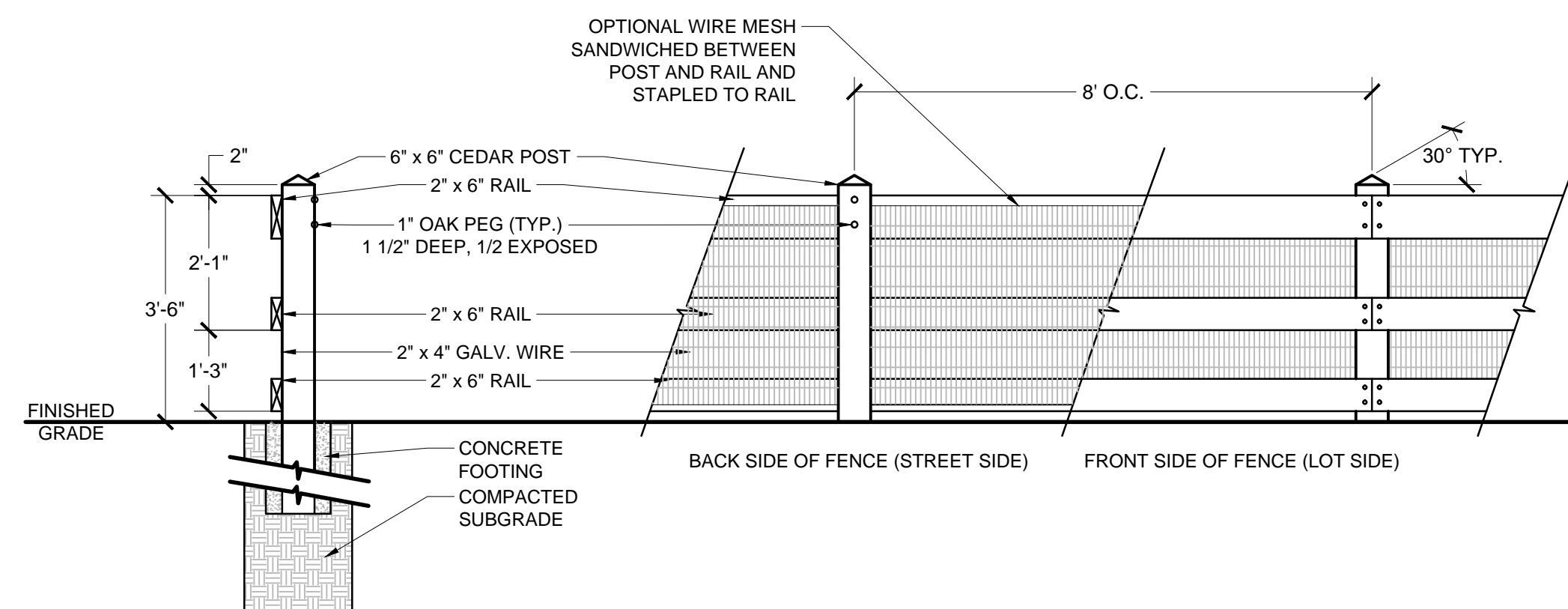
## IRRIGATION TYPE

Moderate	Overhead Spray
Low	Overhead Spray
Low	Overhead Spray
N/A	N/A
Moderate	Drip
Low / Moderate	Drip
Low / Moderate	Drip
Low / Moderate	Drip



ENTRY MONUMENT DETAIL

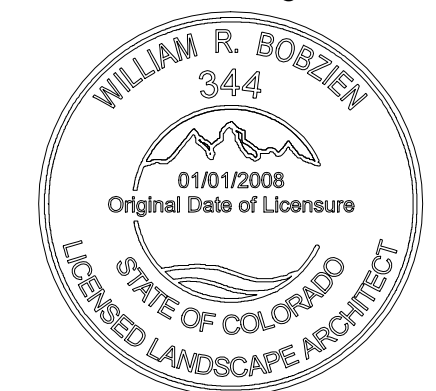
1. INTERIOR REAR YARD FENCES (NOT SHOWN ON THESE DRAWINGS) ARE THE RESPONSIBILITY OF THE HOMEOWNER.
2. FENCES SHALL BE OF WESTERN RED CEDAR NO.2, DRY ROUGH SAWN, 4 SIDES WITH APPROVED STAIN.
3. FENCES TO BE SET BACK A MINIMUM OF 3' FROM WALK.
4. REFER TO THE APPROVED ARCHITECTURAL GUIDELINES FOR MORE INFORMATION REGARDING FENCE CONSTRUCTION.
5. GALVANIZED WIRE MESH IS OPTIONAL ON ALL 3-RAIL FENCES FOR PET ENCLOSURE.



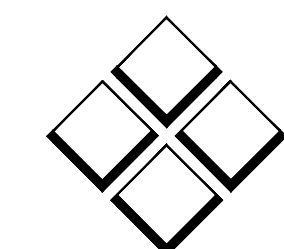
### 3-RAIL OPEN FENCE

NOT TO SCALE

Landscape Registration  
William R. Bobzien - #344  
For and on behalf of Vogel and Associates



NOT FOR CONSTRUCTION



**VOGEL & ASSOCIATES**  
 475 W. 12th Avenue - Suite E  
 Denver, Colorado 80204-3688  
 (303) 893-4288

THE MEADOWS FILING NO. 18  
SITE DEVELOPMENT PLAN, AMENDMENT NO. 11  
PROJECT# SDP16-0012

**CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
LAND SURVEYING**  
**303.703.4444**  
1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU BEGIN ANY EXCAVATION, GRADING, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



REVISIONS			
#	DESCRIPTION	DATE	BY
1	REVISED SOP – CR COMMENT	04/05/2016	
2	REVISED SOP – CR COMMENT	04/28/2016	

**THE MEADOWS FILING I8 SITE  
DEVELOPMENT PLAN  
AMENDMENT NO. 11  
LANDSCAPE PLAN  
TOWN OF CASTLE ROCK**

INITIAL PLAN  
 RELEASE: 02/11/2016  
 DESIGNED BY: WB  
 DRAWN BY: AF  
 CHECKED BY: WB

JOB NO.  
 14-003

SHEET  
 11 OF 11