

**LOT 4A, BLOCK 11 OF THE TOWN OF CASTLE ROCK**  
**LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.**  
**TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO**  
**SDP21-0046**

The map shows a grid of streets in downtown St. Louis. The vertical streets from left to right are: JERRY STREET, WILCOX STREET, and PERRY STREET. The horizontal streets from bottom to top are: 1ST STREET, 2ND STREET, 3RD STREET, 4TH STREET, 5TH STREET, 6TH STREET, 7TH STREET, 8TH STREET, 9TH STREET, 10TH STREET, 11TH STREET, 12TH STREET, 13TH STREET, 14TH STREET, 15TH STREET, 16TH STREET, 17TH STREET, 18TH STREET, 19TH STREET, 20TH STREET, 21ST STREET, 22ND STREET, 23RD STREET, 24TH STREET, 25TH STREET, 26TH STREET, 27TH STREET, 28TH STREET, 29TH STREET, 30TH STREET, 31ST STREET, 32ND STREET, 33RD STREET, 34TH STREET, 35TH STREET, 36TH STREET, 37TH STREET, 38TH STREET, 39TH STREET, 40TH STREET, 41ST STREET, 42ND STREET, 43RD STREET, 44TH STREET, 45TH STREET, 46TH STREET, 47TH STREET, 48TH STREET, 49TH STREET, 50TH STREET, 51ST STREET, 52ND STREET, 53RD STREET, 54TH STREET, 55TH STREET, 56TH STREET, 57TH STREET, 58TH STREET, 59TH STREET, 60TH STREET, 61ST STREET, 62ND STREET, 63RD STREET, 64TH STREET, 65TH STREET, 66TH STREET, 67TH STREET, 68TH STREET, 69TH STREET, 70TH STREET, 71ST STREET, 72ND STREET, 73RD STREET, 74TH STREET, 75TH STREET, 76TH STREET, 77TH STREET, 78TH STREET, 79TH STREET, 80TH STREET, 81ST STREET, 82ND STREET, 83RD STREET, 84TH STREET, 85TH STREET, 86TH STREET, 87TH STREET, 88TH STREET, 89TH STREET, 90TH STREET, 91ST STREET, 92ND STREET, 93RD STREET, 94TH STREET, 95TH STREET, 96TH STREET, 97TH STREET, 98TH STREET, 99TH STREET, 100TH STREET. The Project location is marked with a red dot and labeled 'PROJECT LOCATION' at the intersection of 4TH STREET and PERRY STREET.

SCALE: 1" = 500'

ZONING COMPARISON TABLE				
ZONING DISTRICT	B - BUSINESS/COMMERCIAL WITHIN THE DOWNTOWN OVERLAY DISTRICT, CORE DISTRICT			
OVERLAY DISTRICT	DOD - DOWNTOWN OVERLAY DISTRICT			
DOD AREA	CORE			
DOWNTOWN PARKING AREA	NORTH NON-RESIDENTIAL			
	REQUIREMENT	PROVIDED (THIS SDP)		
		414 N. PERRY ST	405 N. PERRY ST.	411 N. 4TH ST.
MINIMUM LOT SIZE SF/ACRES	500 SF	17,393 SF/0.40 ACRES		
PERMITTED USES	GENERALLY, OFFICE, SERVICE , RETAIL, RESTAURANT AND MULTI-FAMILY RESIDENTIAL USES AS OUTLINED FOR B AND DOD PER MUNI. CODE 17.28.030	TAP ROOM	RESTAURANT	RESTAURANT
USE BY SQUARE FOOTAGE	N/A	2,754 SF TAP ROOM	1,400 SF RESTAURANT	2,914 SF RESTAURANT
NON-RESIDENTIAL SQUARE FOOTAGE TOTAL	N/A	7,068 SF (OCCUPIABLE AREA) RESTAURANT & TAP ROOM		
SQUARE FOOTAGE TOTAL	N/A	7,068 SF (OCCUPIABLE AREA) RESTAURANT & TAP ROOM		
MAXIMUM LOT COVERAGE	100%	87.5%		
MINIMUM FRONT YARD SETBACK	0 FEET	1.0 FT	1.6 FT	N/A
MINIMUM REAR YARD SETBACK	0 FEET	0.9 FT	71.2 FT	2.0 FT
MINIMUM SIDE YARD SETBACK	0 FEET	1.5 FT	N/A	0.5 FT
MINIMUM SIDE YARD TO STREET SETBACK	0 FEET	N/A	11.9 FT	N/A
MINIMUM BUILDING SETBACK TO ROADWAY	20 FEET MAXIMUM FOR A MINIMUM OF 25% OF BUILDING LENGTH	100% OF BUILDING FACADE FACING PERRY STREET IS 1.0' SETBACK	100% OF PROPOSED BUILDING FACADE FACING PERRY STREET IS 1.6' SETBACK	100% OF BUILDING FACADE FACING 4TH STREET IS WITHIN 20'
MAXIMUM STORIES	4 STORIES	1 STORY	1 STORY	5 STORIES
MAXIMUM BUILDING HEIGHT	60 FEET	24'-4"	14'-7"	28'-6"
MINIMUM PARKING	1 PARKING SPACE PER 500 SF OF NEW CONSTRUCTION MINUS ANY EXISTING SF REMOVED, AND FIRST 2,000 SF EXEMPT	EXISTING 2-STORY STRUCTURE WITH USABLE BASEMENT SURVEYED BUILDING AREA TO BE DEMO'D: 1ST FLOOR=1,340 SF 2ND FLOOR=360 SF	EXISTING 1-STORY STRUCTURE WITH PARTIAL DEMOLITION SURVEYED BUILDING AREA: EX. STRUCTURE=784 SF TO REMAIN & 281 SF TO BE DEMO'D	EXISTING 1-STORY STRUCTURE SURVEYED BUILDING AREA TO BE DEMO'D: 1ST FLOOR=2,508 SF
		TOTAL EXISTING SQUAREFOOTAGE = 5,273 SF (OCCUPIABLE AREA)		
		7,068 NEW SQUARE FOOTAGE - 5,273 EXISTING SQUARE FOOTAGE - 2000 SQUARE FOOTAGE EXEMPTION = -205 SQUARE FEET TO BE PARKED = 0 PARKING SPACES REQUIRED		
MINIMUM WINDOW TRANSPARENCY				
MINIMUM WINDOW TRANSPARENCY AT THE PEDESTRIAN LEVEL	35% FOR THE MAIN FRONT ELEVATION	55.8% FOR PERRY STREET (14.8'/26.5')	72.5% FOR PERRY STREET (14.0'/19.3')	45% FOR 4TH STREET (13.0'/28.7')
		TOTAL WINDOW TRANSPARENCY = 14.8' TRANSPARENCY ZONE = 26.5'	TOTAL WINDOW TRANSPARENCY = 14.0' TRANSPARENCY ZONE = 19.3'	TOTAL WINDOW TRANSPARENCY = 13.0' TRANSPARENCY ZONE = 28.7'
	30% FOR THE SIDE ELEVATION THAT FACES A PUBLIC ROADWAY	N/A	73.7% FOR 4TH STREET (14.0'/19.0')	N/A
		N/A	TOTAL WINDOW TRANSPARENCY = 14.0' TRANSPARENCY ZONE = 19.0'	N/A

PROPOSED AND EXISTING SQUARE FOOTAGE OF PROPOSED  
STRUCTURES AND USES INCLUDES ONLY OCCUPIABLE AREA

I, \_\_\_\_\_, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

2 Stories

I, \_\_\_\_\_, BEING A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENT THAT SURVEY.

SHEET NO.	DESCRIPTION
SHEET 1 OF 12	COVER SHEET
SHEET 2 OF 12	NOTES SHEET
SHEET 3 OF 12	SITE PLAN
SHEET 4 OF 12	GRADING PLAN
SHEET 5 OF 12	UTILITY PLAN
SHEET 6 OF 12	LANDSCAPE PLAN
SHEET 7 OF 12	404 PERRY STREET ELEVATIONS
SHEET 8 OF 12	414 PERRY STREET ELEVATIONS 1
SHEET 9 OF 12	414 PERRY STREET ELEVATIONS 2
SHEET 10 OF 12	411 4TH STREET ELEVATIONS 1
SHEET 11 OF 12	411 4TH STREET ELEVATIONS 2
SHEET 12 OF 12	PHOTOMETRIC PLAN AND SCHEDULE

SITE UTILIZATION TABLE	
	PROPOSED
BUILDING COVERAGE	37.3% (6,467 SF)
COVERED PAVILION COVERAGE	31.7% (5,521 SF)
STREET COVERAGE	0% (0 SF)
LANDSCAPE COVERAGE	12.5% (2,186 SF)
SIDEWALK COVERAGE	18.5% (3,219 SF)
GRAVEL COVERAGE	0% (0 SF)
PARKING COVERAGE	0% (0 SF)
<b>TOTAL SITE</b>	<b>100% (17,393 SF)</b>

LOT 4A, BLOCK 11, TOWN OF CASTLE ROCK, AND AS AMENDED BY  
LOT LINE VACATION CERTIFICATED RECORDED DECEMBER 5, 2012  
UNDER RECEPTION NO. 2012093484, COUNTY OF DOUGLAS, STATE OF  
COLORADO.

ELEVATIONS ARE BASED ON NGS POINT NO. 336 BEING A BENCHMARK DISK IN A GRANITE BOULDER AT THE FOOT OF A ROCK OUTCROP LOCATED 29 FEET SOUTH OF THE EAST ONE OF THREE LARGE PINE TREES AND 10 FEET ABOVE THE LEVEL OF THE HIGHWAY. ELEVATION = 6571.41 FEET (NAV/D88 DATUM)

BASED ON THE NORTH LINE OF LOT 4A, BLOCK 11 OF THE TOWN OF CASTLE ROCK. SAID LINE BEARS NORTH 89°58'45" EAST, AND IS MONUMENTED AT THE WEST END BY A CHISELED "X" AND IS MONUMENTED AT THE EAST END BY A 1/2" REBAR WITH RED PLASTIC CAP STAMPED "LS6935".



Know what's **below**.  
**Call** before you dig

CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
**1-800-922-1987 or 811**

**CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.**

SITE DEVELOPMENT PLAN  
LOT 4A BLOCK 11 TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO. SDP21-0046

No.	REVISION	BY	DATE

PRELIMINARY  
NOT FOR  
CONSTRUCTION



**SITE DEVELOPMENT PLAN**

**PERRY STREET SOCIAL DISTRICT**

410 PERRY STREET, CASTLE ROCK, CO 80104

**COVER SHEET**

PROJECT NO:	PER001.01
DESIGNED BY:	KMH
DRAWN BY:	KMH
DATE:	10/25/2022



© 2022. ALL RIGHTS RESERVED.

10/25/2022 2:08 PM P:\PERRY STREET SOCIAL DISTRICT\CO. CASTLE ROCK - PERRY STREET SOCIAL (4TH & PERRY)\AS CAD\SDPP01.DWG COVER SHEET.DWG

# SITE DEVELOPMENT PLAN PERRY STREET SOCIAL DISTRICT

LOT 4A, BLOCK 11 OF THE TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
**SDP21-0046**

## TOWN OF CASTLE ROCK STANDARD NOTES:

### SITE DEVELOPMENT PLAN GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3 AND 8.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THIS PROPERTY IS LOCATED WITHIN ZONE X AS PER FEMA FIRM PANEL NO. 08035C0301G DATED MARCH 16, 2016.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS. REVISED: 11/5/2019
- THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THIS SITE DEVELOPMENT PLAN.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK BY SEPARATE DOCUMENTS.
- THIS SITE IS ZONED B-BUSINESS/COMMERCIAL WITHIN THE DOWNTOWN OVERLAY DISTRICT.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS. SECTIONS OF RETAINING WALLS GREATER THAN 4-FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN. REVISED: 11/5/2019

### FIRE NOTES

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEM MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.



Know what's below.  
Call before you dig.

CALL UTILITY NOTIFICATION  
CENTER OF COLORADO

1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

SITE DEVELOPMENT PLAN  
LOT 4A BLOCK 11 TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO. SDP21-0046

No.	REVISION					DATE
	BY					

PRELIMINARY  
NOT FOR  
CONSTRUCTION

**EES**  
ENTITLEMENT AND  
REGULATORY  
SOLUTIONS, INC.

501 S Cherry St. Suite 300  
Denver, CO 80246  
303-572-7397 [www.ees.us.com](http://www.ees.us.com)

SITE DEVELOPMENT PLAN

PERRY STREET SOCIAL DISTRICT

410 PERRY STREET, CASTLE ROCK, CO 80104

NOTES SHEET

PROJECT NO:	PER001.01
DESIGNED BY:	KMH
DRAWN BY:	KMH
DATE:	10/25/2022

2

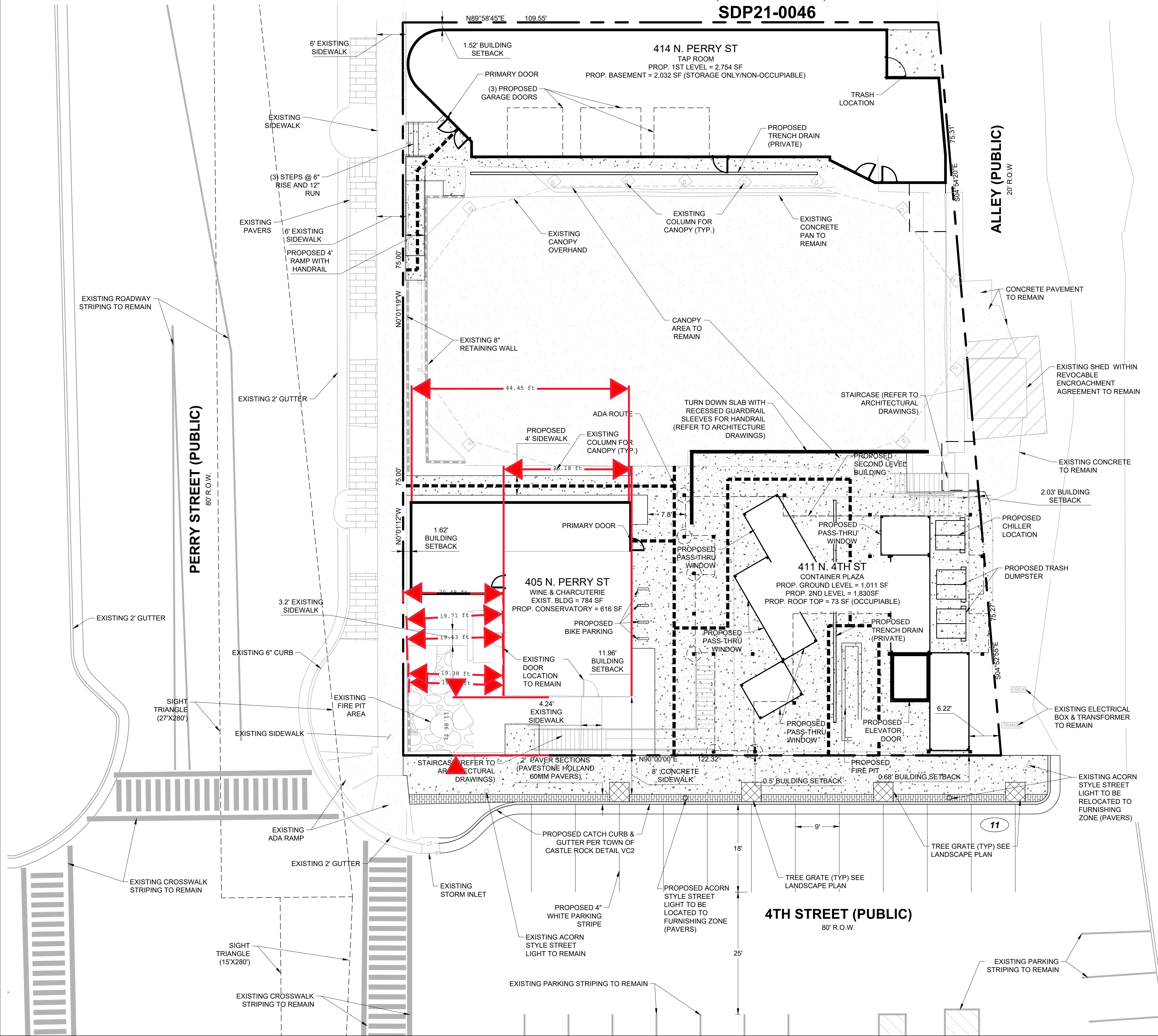
SHEET 2 OF 12



# SITE DEVELOPMENT PLAN PERRY STREET SOCIAL DISTRICT

LOT 4A, BLOCK 11 OF THE TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDP21-0046

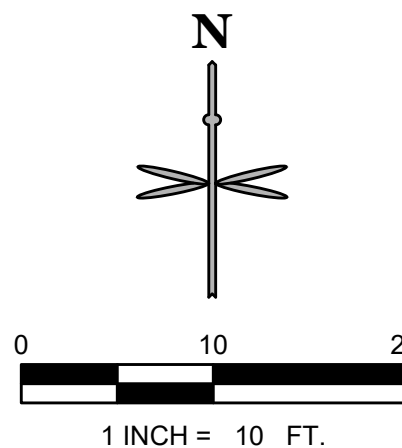


## SITE PLAN LEGEND

	PROPERTY BOUNDARY
	PROPOSED EASEMENT
	REQUIRED BUILDING SETBACK
	PROPOSED BUILDING OUTLINE
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	DENOTES ADA ROUTE
	PARKING COUNT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED SITE LIGHTING

## GENERAL NOTES:

1. THE PROJECT SITE IS NOT WITHIN A WETLAND BOUNDARY.
2. ALL EXISTING UTILITIES AND SITE FEATURES TO REMAIN UNLESS OTHERWISE NOTED. SEE UTILITY SHEET FOR LOCATION.
3. SIGNS AND ACCESSORY STRUCTURES ARE SUBJECT TO REVIEWS AND PERMITS.
4. REFER TO SHEET A1 FOR NET FLOOR AREA OF THE PROPOSED USES.
5. ALL FEATURES IN SITE SCHEDULE ARE PROPOSED UNLESS NOTED OTHERWISE.



Know what's below.  
Call before you dig.

CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
**1-800-922-1987 or 811**

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG. GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

SITE DEVELOPMENT PLAN  
LOT 4A BLOCK 11 TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO. SDP21-0046

**SITE DEVELOPMENT PLAN**

**PERRY STREET SOCIAL DISTRICT**

410 PERRY STREET, CASTLE ROCK, CO 80104

**SITE PLAN**

PROJECT NO.: PER001.01

DESIGNED BY: KMH

DRAWN BY: KMH

DATE: 10/25/2022

**3**

SHEET 3 OF 12

PRELIMINARY  
NOT FOR  
CONSTRUCTION

**EES**  
ENTITLEMENT AND  
ENGINEERING  
SOLUTIONS, INC.  
501 S Cherry St, Suite 300  
Denver, CO 80246  
303-572-7397 www.ees.us.com

DATE	
BY	
REVISION	
No.	



LOT 4A, BLOCK 11 OF THE TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

**SDP21-0046**

109.55'

LOT 4A, BLOCK 11 OF THE TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

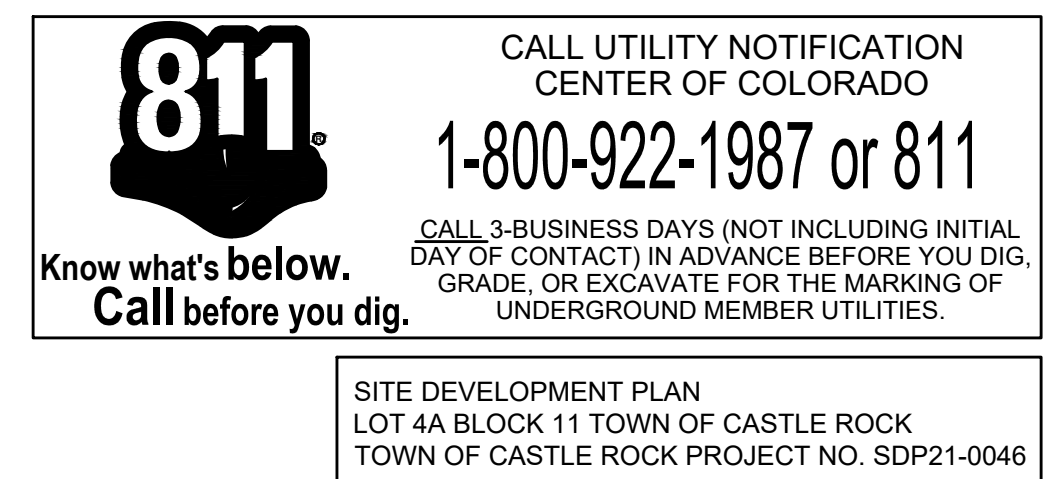
**SDP21-0046**

109.55'

The diagram illustrates a cross-section of a road profile. At the top, a dashed line represents the 'PROPOSED PROPERTY BOUNDARY'. Below it, a solid line indicates the 'PROPOSED EASEMENT'. The 'EXISTING MAJOR CONTOUR' is shown as a solid line, while the 'EXISTING MINOR CONTOUR' is a dashed line. The 'PROPOSED MAJOR CONTOUR' is a solid line, and the 'PROPOSED MINOR CONTOUR' is a dashed line. The 'PROPOSED BUILDING OUTLINE' is shown as a solid line. The 'PROPOSED SPILL CURB' is a solid line. The 'PROPOSED SIDEWALK' is a solid line. The 'PROPOSED FLOWLINE ELEVATION' is a solid line. The 'PROPOSED EXTERIOR GRADE AT FOUNDATION' is a solid line. The 'PROPOSED SIDEWALK ELEVATION' is a solid line. The 'PROPOSED GRADE TO MATCH EXISTING' is a solid line. The 'PROPOSED FINISHED GRADE' is a solid line. The 'FLOW ARROW AND GRADE' is indicated by a solid line with a 3.1% grade. The 'PROPOSED ADA ROUTE' is a dashed line.

Feature	Elevation / Grade
PROPOSED PROPERTY BOUNDARY	-
PROPOSED EASEMENT	-
EXISTING MAJOR CONTOUR	5200
EXISTING MINOR CONTOUR	5200
PROPOSED MAJOR CONTOUR	5200
PROPOSED MINOR CONTOUR	5200
PROPOSED BUILDING OUTLINE	-
PROPOSED SPILL CURB	-
PROPOSED SIDEWALK	-
PROPOSED FLOWLINE ELEVATION	5256.21 FL
PROPOSED EXTERIOR GRADE AT FOUNDATION	5256.21
PROPOSED SIDEWALK ELEVATION	5256.21 SW
PROPOSED GRADE TO MATCH EXISTING	5256.21 ME
PROPOSED FINISHED GRADE	5256.21 FG
FLOW ARROW AND GRADE	3.1%
PROPOSED ADA ROUTE	-

1. RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4-FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.



NO.	REVISION	BY	DATE

PRELIMINARY  
NOT FOR  
CONSTRUCTION



**PERRY STREET SOCIAL DISTRICT**  
410 PERRY STREET, CASTLE ROCK, CO 80104  
**GRADING PLAN**

PROJECT NO:	PER001.01
DESIGNED BY:	KMH
DRAWN BY:	KMH
DATE:	10/25/2022

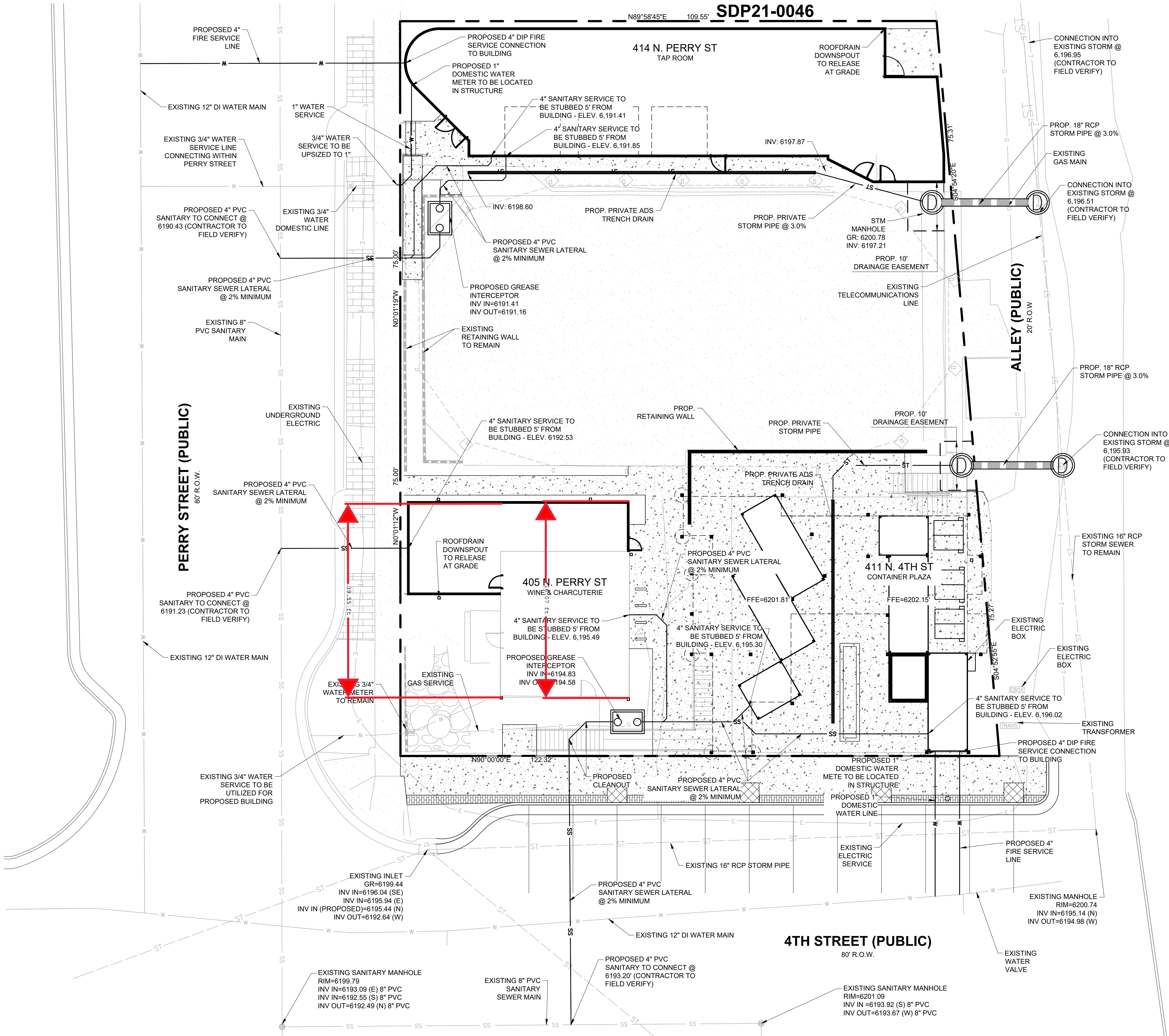
4 OF 12



# SITE DEVELOPMENT PLAN PERRY STREET SOCIAL DISTRICT

LOT 4A, BLOCK 11 OF THE TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDP21-0046

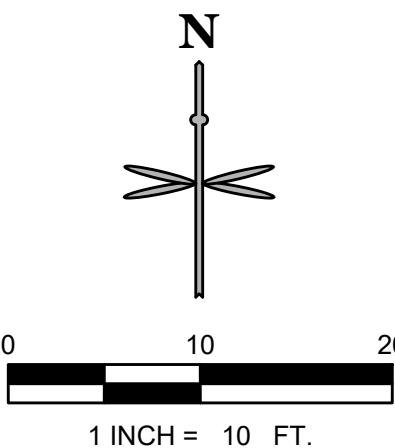


## UTILITY PLAN LEGEND

	PROPOSED PROPERTY BOUNDARY
	PROPOSED EASEMENT
	PROPOSED BUILDING SETBACK
	PROPOSED BUILDING OUTLINE
	PROPOSED BUILDING OVERHANG
	PROPOSED CATCH CURB
	PROPOSED SPILL CURB
	PROPOSED WALL
	PROPOSED SIDEWALK
	PROPOSED STORM SEWER
	EXISTING STORM SEWER
	PROPOSED/EXISTING STORM MANHOLE
	PROPOSED/EXISTING STORM INLET
	PROPOSED/EXISTING SANITARY SEWER LINE
	PROPOSED/EXISTING WATER LINE
	PROPOSED/EXISTING ELECTRIC LINE
	PROPOSED/EXISTING TELECOM LINE
	PROPOSED/EXISTING GAS LINE
	PROPOSED/EXISTING RETAINING WALL

## UTILITY NOTES

- ALL PROPOSED EASEMENT MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.
- ALL EXISTING UTILITIES AND SITE FEATURES TO REMAIN UNLESS NOTED OTHERWISE.



CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG. GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

SITE DEVELOPMENT PLAN  
LOT 4A BLOCK 11 TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO. SDP21-0046

DATE	
BY	
REVISION	
No.	

PRELIMINARY  
NOT FOR  
CONSTRUCTION



SITE DEVELOPMENT PLAN  
PERRY STREET SOCIAL DISTRICT  
410 PERRY STREET, CASTLE ROCK, CO 80104  
UTILITY PLAN

PROJECT NO.: PER001.01  
DESIGNED BY: KMH  
DRAWN BY: KMH  
DATE: 10/25/2022



# SITE DEVELOPMENT PLAN PERRY STREET SOCIAL DISTRICT

LOT 4A, BLOCK 11 OF THE TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
SDP21-0046

## CITY LANDSCAPE NOTES

1. Final landscape area, coverage and plant quantities, shall meet or exceed quantities represented in this drawing and shall conform to subsequent submittal requirements.
2. Location of plant materials are approximated and may change slightly due to unforeseen field constraints.
3. All plants are to be properly hydrozoned per Town of Castle Rock Plant list.
4. Distance of trees to wet utility lines should be a minimum of 10 feet.
5. Permanent irrigation is required for all landscaped areas greater than 500 square feet, per Section 4.2.3 of the Landscape and Irrigation Manual.
6. Design must accommodate the watering restrictions as outlined in the Town of Castle Rock Water Use Management Plan (WUMP).
7. Irrigation systems are to be designed to operate within the Town of Castle Rock Water Use Management Plan.
8. Irrigation systems are to be designed per the Town of Castle Rock Landscape and Irrigation regulations Section 4.2.3 and to correlate with the use type on the property.
9. If any transformers, ground-mounted HVAC units, utility pedestals, or similar features existing on site, but not shown on the Site Development Plan, additional landscaping and screening may be required based upon field conditions determined during the site inspection. Installation will be required prior to the final inspection and the issuance of the certificate of occupancy, as applicable.
10. No solid object exceeding 30" in height above the flowline elevation of the adjacent street, including, but not limited to building, utility cabinets, walls, fences, trees, landscape plantings, cut slopes and berms shall be placed in sight distance triangles or easements as shown on the plan.
11. No trees, large shrubs, or permanent structures are allowed in wet utility and drainage easements.
12. An irrigation plan is required with the first submittal of the Construction Documents. Please see Sections 3.1.2B and 4.2.3 of the Town of Castle Rock Landscape and Irrigation Performance Standards and Criteria Manual for irrigation submittal and design requirements. Changes to the landscape plan may be necessary due to Construction Documents Irrigation Plan review comments.
13. Landscape and irrigation shall be installed by a Town of Castle Rock registered landscape contract professional.
14. Dead plant materials shall be removed and replaced with healthy planting materials of comparable size and species that meet the original intent of the approved landscape design within forty-five(45) days or sooner in the event of a contagious disease or invasive insect species. Town of Castle Rock is not responsible for plant replacements.
15. Slopes steeper than 3:1 are not permitted on landscape plans in the Town of Castle Rock.



## Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional LARRY LESSER

Town of Castle Rock Registration # \_\_\_\_\_ State of Colorado License Landscape Architect # LA-188

Company Name EVERGREEN DESIGN GROUP Address 1600 BROADWAY, SUITE 1600, DENVER, CO 80202

Phone (800) 680-6630 x5 Email larry@evergreendesigngroup.com Date 8/10/2022

PROJECT NAME PERRY STREET SOCIAL

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
17,393 sf	1,736 sf (10.0%)	0	0 sf	N/A	0	N/A	102	4	Yes ___ No <u>X</u>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscape Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
0 (NO ON-SITE PARKING)	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

Revised April 2013

## TOTAL LANDSCAPE AREA

TOTAL LANDSCAPE AREA: 1,736 SF

## STREETSCAPE REQUIREMENT TABLE - DOWNTOWN OVERLAY DISTRICT

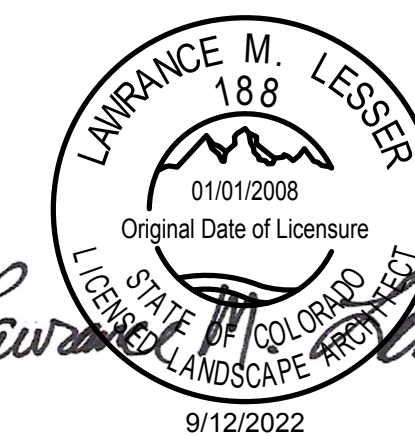
Street	Linear Feet	Trees				Shrubs	
		Trees Required 1 Tree / 22 LF	Large Canopy Trees Provided (Min. 75% of Trees Required)	Other Trees Provided	Total Trees Provided	Shrubs Required 5 Shrubs Per Required Tree	Shrubs Provided
Perry Street	150	7	8	0	8	35	48
4th Street	122	6	5	1	6	30	39

## PLANT TYPE SCHEDULE

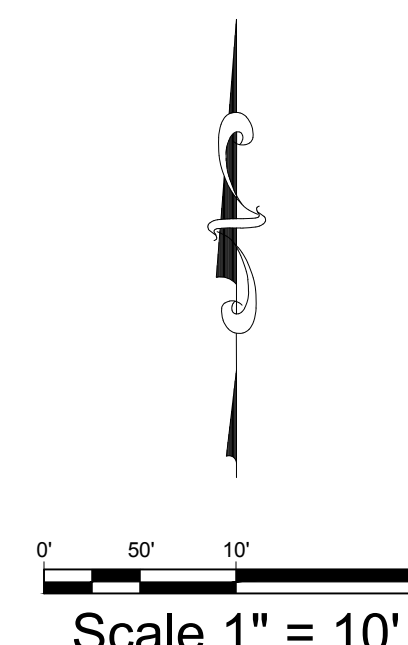
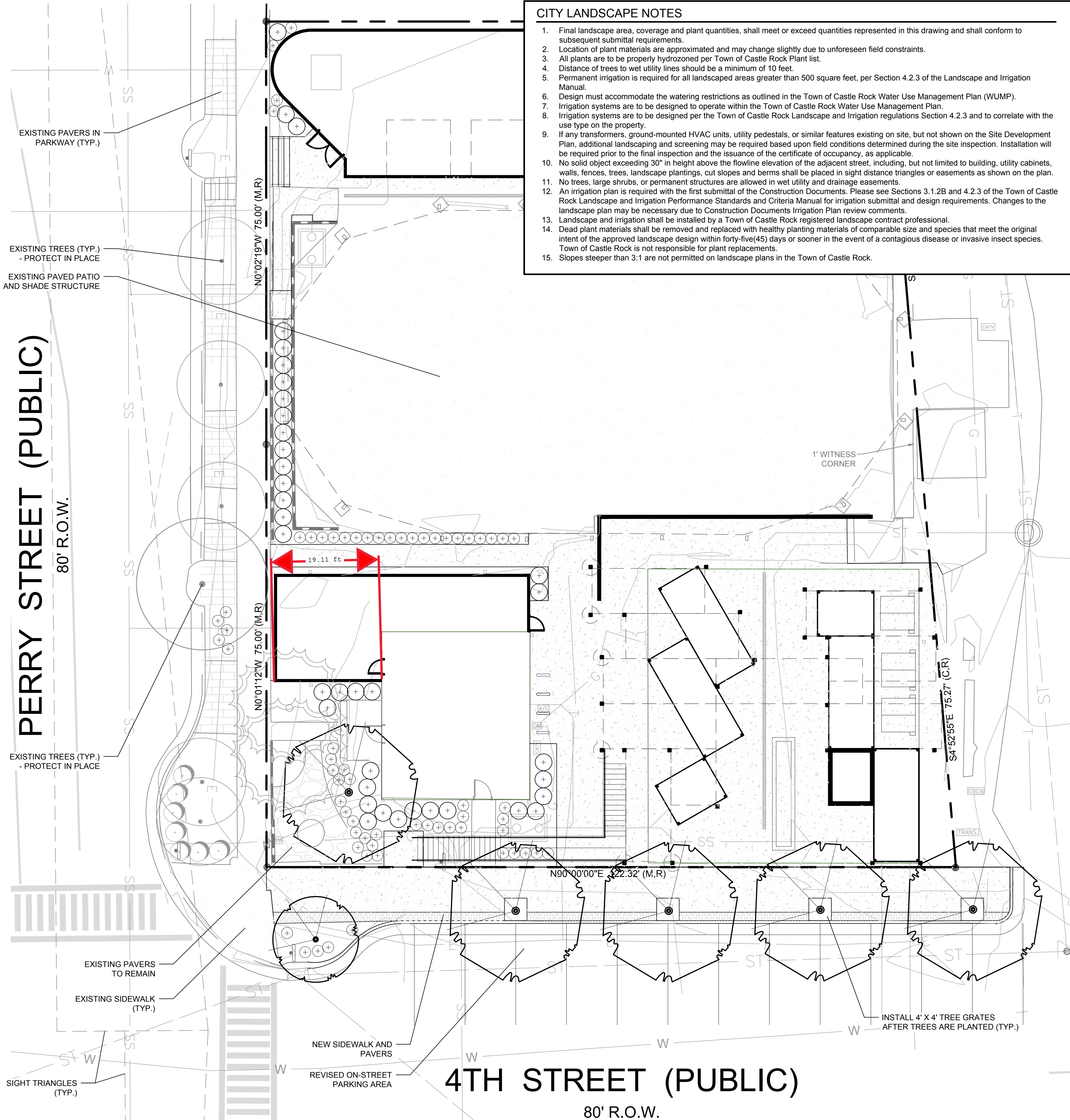
	LARGE CANOPY TREE (proposed)	1	HYDROZONE LOW TO MODERATE
	LARGE CANOPY TREE (existing)	2	LOW TO MODERATE
	ORNAMENTAL TREE (proposed)	1	LOW TO MODERATE
	ORNAMENTAL TREE (existing)	2	LOW TO MODERATE
	EVERGREEN TREE (existing)	2	VERY LOW TO LOW
	MEDIUM SHRUBS/GRASSES	37	VERY LOW TO LOW
	SMALL SHRUBS/GRASSES	65	VERY LOW TO LOW
	RIVER ROCK MULCH (2"-3")		

EXISTING SHRUBS	QTY	COMMON NAME
	7	EXISTING SHRUBS WITHIN THE R.O.W. TO REMAIN

NOTE: ALL PROPOSED PLANT MATERIALS SPECIFIED SHALL BE SELECTED FROM THE APPROVED TOWN OF CASTLE ROCK PLANT LIST AND PD ZONING REGULATIONS PLANT LIST.



SITE DEVELOPMENT PLAN  
LOT 4A BLOCK 11 TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO. SDP21-0046



DATE

BY

REVISION

No.

NOT FOR CONSTRUCTION

EES

ENGINEERING AND ENTITLEMENT SOLUTIONS, INC.

501 S Cherry St, Suite 300  
Glendale, CO 80246  
303-572-7997 www.ees.us.com

SITE DEVELOPMENT PLAN

PERRY STREET SOCIAL DISTRICT

410 PERRY STREET, CASTLE ROCK, CO 80104

LANDSCAPE PLAN

PROJECT NO:

PER001.01

DESIGNED BY:

LML

DRAWN BY:

LML

DATE:

08/01/22

5

SHEET 5 OF 13



© 2022. ALL RIGHTS RESERVED.

8/10/2022 11:28 AM P:\PERRY STREET SOCIAL\HISTORY\ SITE PLAN SUBMITTAL\WORKING FLESHSHEET 7 - FIDELIS - EXTERIOR ELEVATIONS BAW.DWG

# SITE DEVELOPMENT PLAN PERRY STREET SOCIAL DISTRICT

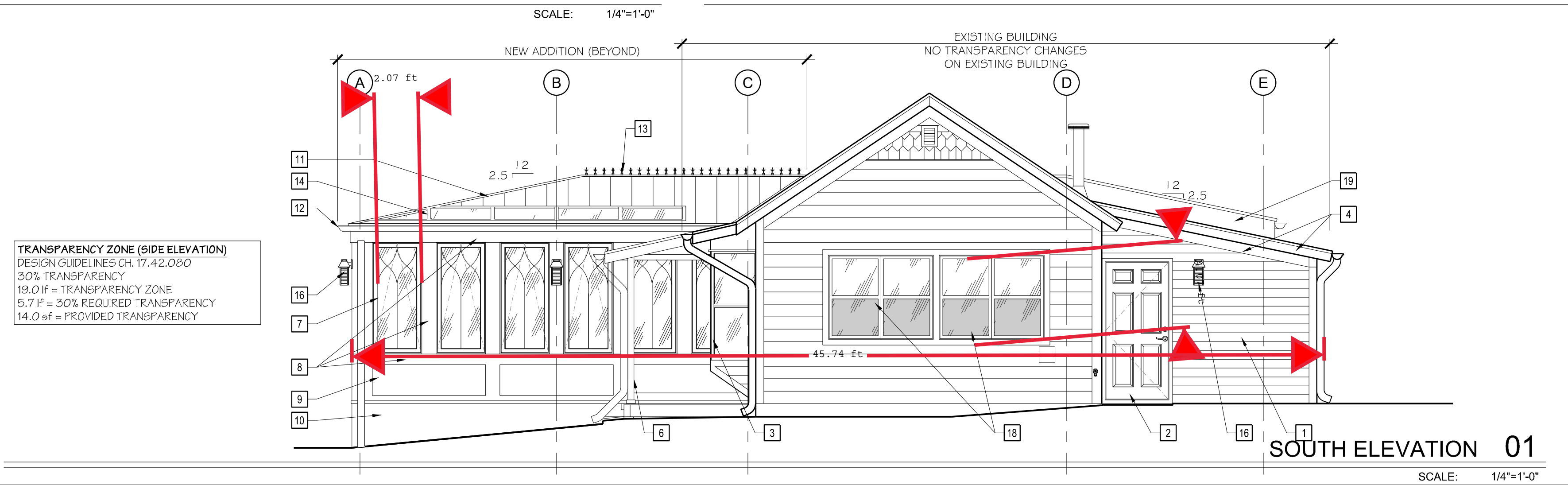
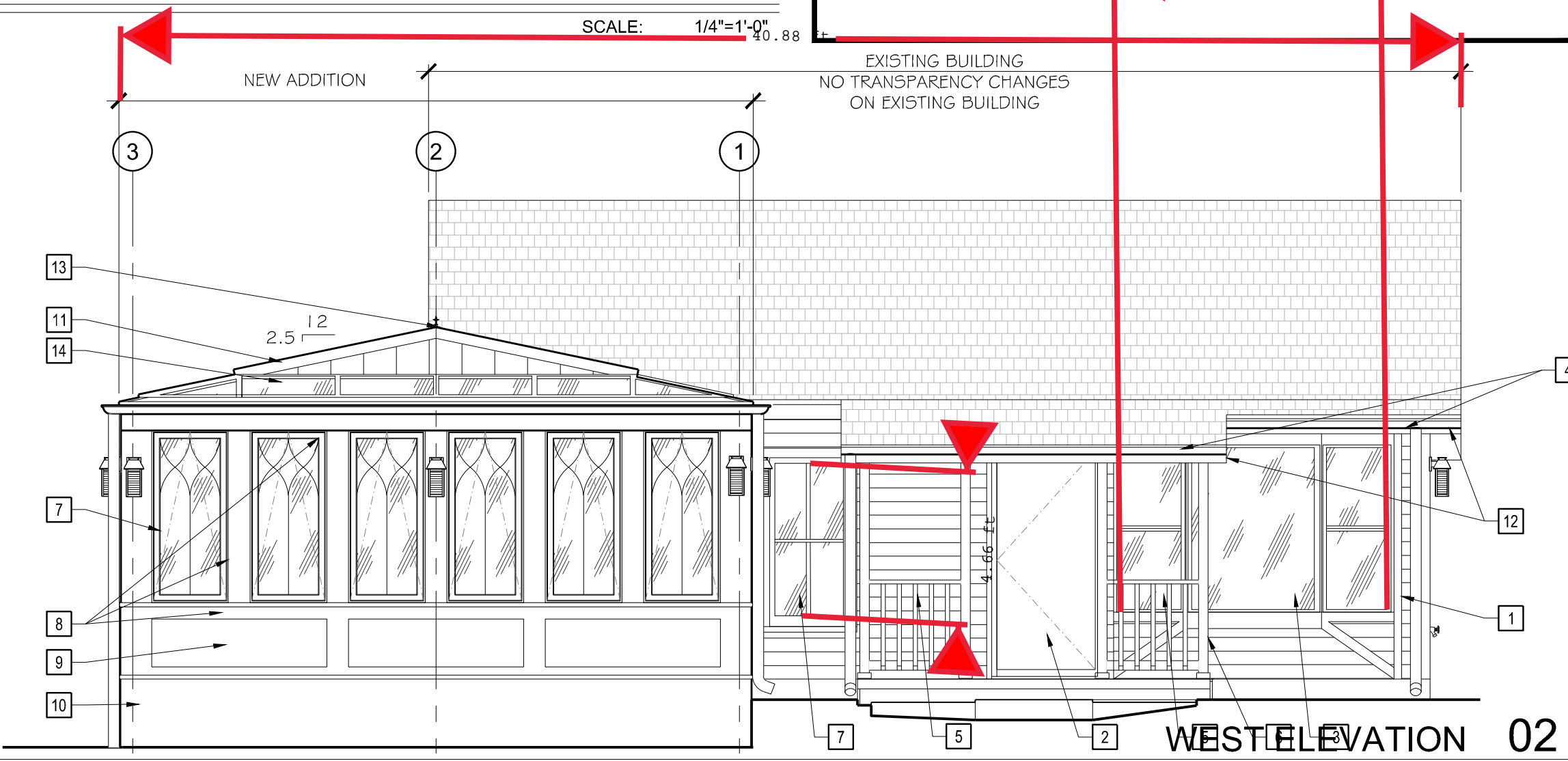
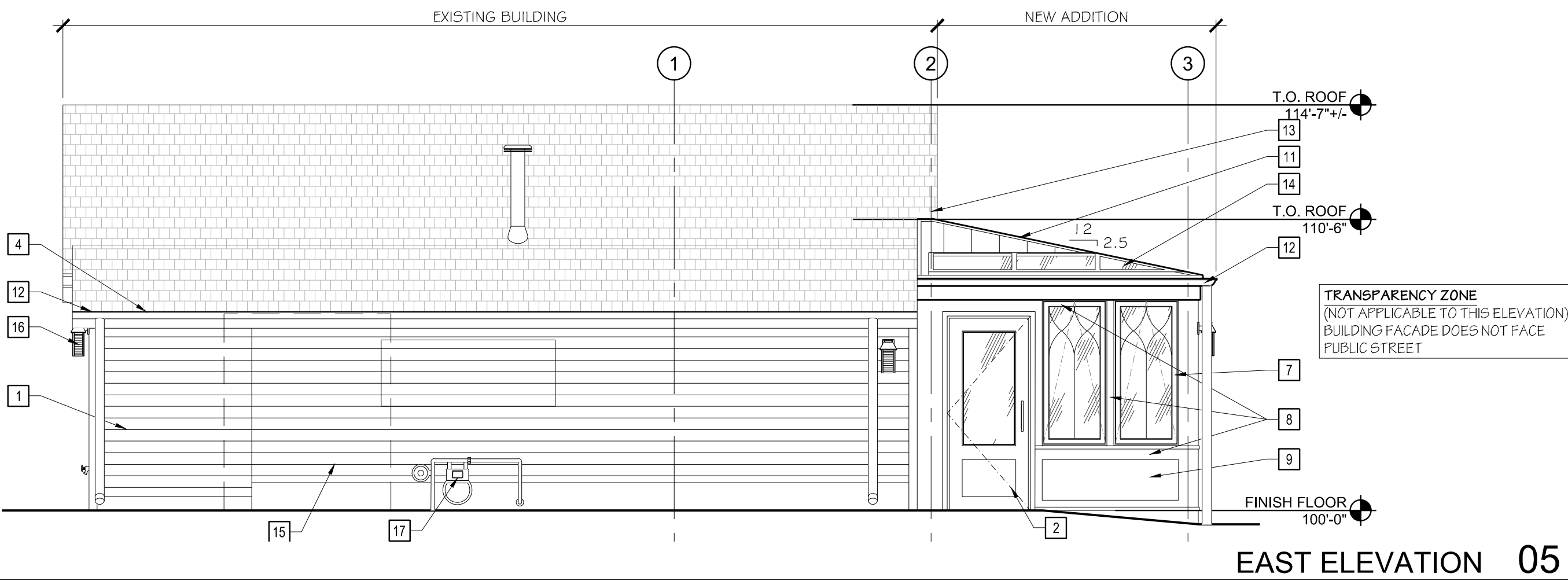
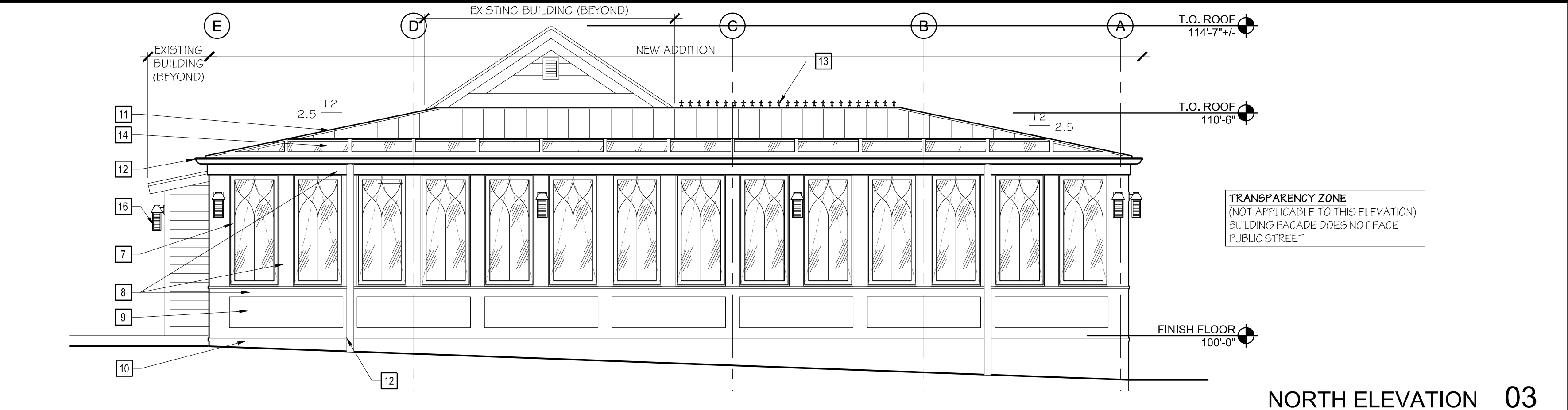
LOT 4A, BLOCK 11 OF THE TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
SDP21-0046

## EXTERIOR FINISH SCHEDULE

MATERIAL ID	MATERIAL	LOCATION	MANUFACTURER	DESCRIPTION			ADDITIONAL INFORMATION
				PRODUCT	COLOR	DIMENSION	
CMU-1	CONCRETE MASONRY UNITS	SCREEN WALL	COLORADO BEST BRICK	SPLIT FACE CMU	WHITE	6X8X8 # 6X8X16 SPLIT FACE BLOCK	6X8X16 BLOCK TO HAVE SINGLE MORTAR GROOVE
CMU-2	CONCRETE MASONRY UNITS	SCREEN WALL	COLORADO BEST BRICK	SMOOTH FACE CMU	WHITE	6X8X8 # 6X8X16 SMOOTH FACE BLOCK	6X8X16 BLOCK TO HAVE SINGLE MORTAR GROOVE
FD-1	FIBERGLASS DOOR	ENTRY DOOR			WHITE		
MT-1	24 GAUGE STEEL	CONSERVATORY ROOF	BERRIDGE	TEE-PANEL - STRAIGHT	HARTFORD GREEN	12 3/4" COVERAGE	
MT-2	ALUMINUM	CONSERVATORY GUTTER / DOWNSPOUT	T.B.D.	HALF ROUND GUTTER / ROUND DOWNSPOUT	MATCH BERRIDGE HARTFORD GREEN	6" GUTTER / 4" DOWNSPOUT	
MT-3	ALUMINUM	HOUSE GUTTER / DOWNSPOUT	T.B.D.	HALF ROUND GUTTER / ROUND DOWNSPOUT	WHITE	6" GUTTER / 4" DOWNSPOUT	
MT-4	METAL CLAD	CONSERVATORY WINDOWS	ANDERSEN	CASEMENT # AWNING WINDOW	MATCH BERRIDGE HARTFORD GREEN		
MT-5	ALUMINUM	CONSERVATORY ROOF RIDGE	KING ARCHITECTURAL METALS	TRIAD SPEAR 43-12-F34	MATCH BERRIDGE HARTFORD GREEN	4 1/4" HIGH	
P-1	PAINT	EXISTING SIDING / TRIM	SHERWIN WILLIAMS		SW 7005 - PURE WHITE		
P-2	PAINT	EXISTING FASCIA	SHERWIN WILLIAMS		SW - GRAY		
P-3	PAINT	CONSERVATORY TRIM	SHERWIN WILLIAMS		SW 7005 - PURE WHITE		
P-4	PAINT	CONSERVATORY PANEL	SHERWIN WILLIAMS		MATCH BERRIDGE HARTFORD GREEN		
P-5	PAINT	BENCH SUPPORTS	SHERWIN WILLIAMS		SW 6256 - TRICORN BLACK		
SD-1	LAP SIDING	NORTH SIDE OF EXISTING BUILDING			MATCH EXISTING LAP SIDING	4" EXPOSURE	
SS-1		PASS THROUGH WINDOW					
ST-1	STONE	TOP OF SCREEN WALL	CULTURED STONE	COUNTRY LEDGESTONE	GRAY	2" THICK X 8" WIDE	
WD-1	COMPOSITE DECKING	SCREEN WALL BENCH	TREX ENHANCE	1" BOARD	BROWN		

## KEY PLAN

- EXISTING EXTERIOR SIDING (P-1)
- FIBERGLASS DOOR (FD-1)
- EXISTING BAY WINDOW, PAINT (P-3)
- EXISTING WOOD FASCIA (P-2)
- EXISTING WOOD RAILING, PAINT (P-4)
- EXISTING WOOD POST (P-3)
- ALUMINUM CLAD WOOD WINDOW, TYP (MT-4)
- HARDIETRIM BOARD, TYP (P-3)
- HARDIE PANELS WITH TRIM (P-4)
- FOUNDATION WALL SYSTEM, PAINTED
- STANDING SEAM METAL ROOF (MT-1)
- PREFINISHED GUTTER & DOWNSPOUT SYSTEM (MT-2)(MT-3)
- DECORATIVE FINIALS (MT-5)
- ALUMINUM WINDOWS, RE: ROOF PLAN FOR LOCATIONS
- NEW EUSERC CABINET (P-3)
- WALL MOUNTED LIGHT FIXTURE
- EXISTING GAS METER AND LINES
- SPLIT LITE WINDOW TO REPLACE EXISTING, FILM AT BOTTOM HALF (P-1)
- SMOOTH METAL PANEL TO MATCH STANDING SEAM (MT-4)





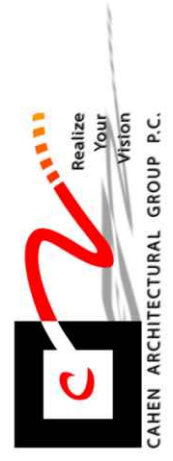
Know what's below.  
Call before you dig.

CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
**1-800-922-1987 or 811**

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL  
DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG.  
GRADE, OR EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.

SITE DEVELOPMENT PLAN  
LOT 4A BLOCK 11 TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO. SDP21-0046

PRELIMINARY  
NOT FOR  
CONSTRUCTION



SITE DEVELOPMENT PLAN  
PERRY STREET SOCIAL DISTRICT  
410 PERRY STREET, CASTLE ROCK, CO 80104

PROJECT NO: PER001.01  
DESIGNED BY: KMH  
DRAWN BY: KMH  
DATE: 08/01/2022  
**7**  
7 OF 12

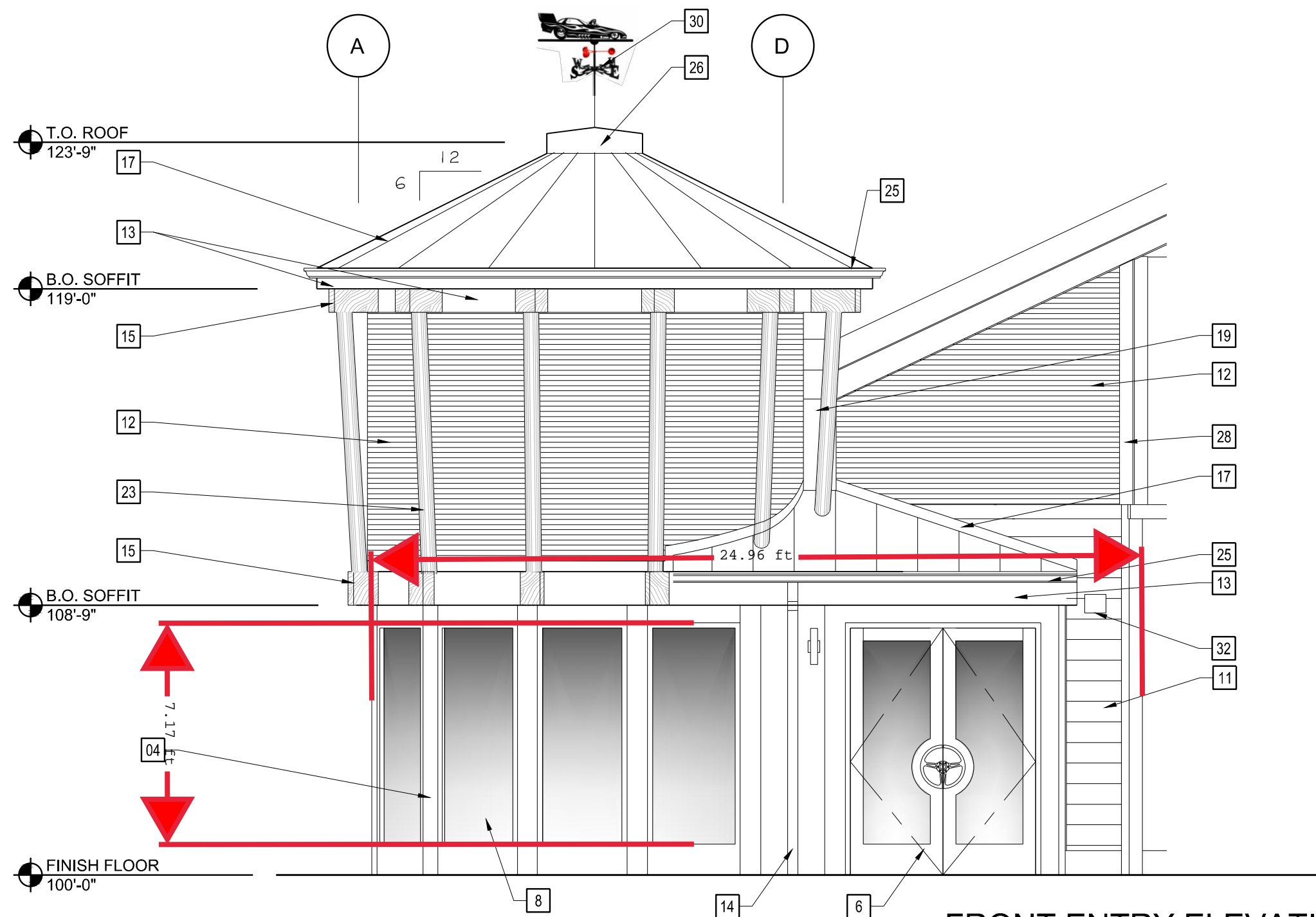


© 2022. ALL RIGHTS RESERVED.

9/9/2022 12:24 PM P:\PERRY STREET SOCIAL\HISTORY\01 SITE PLAN SUBMITTALS\WORKING FLEESHEET 8 - CHECKERED PAST - EXTERIOR ELEVATIONS BAW.DWG

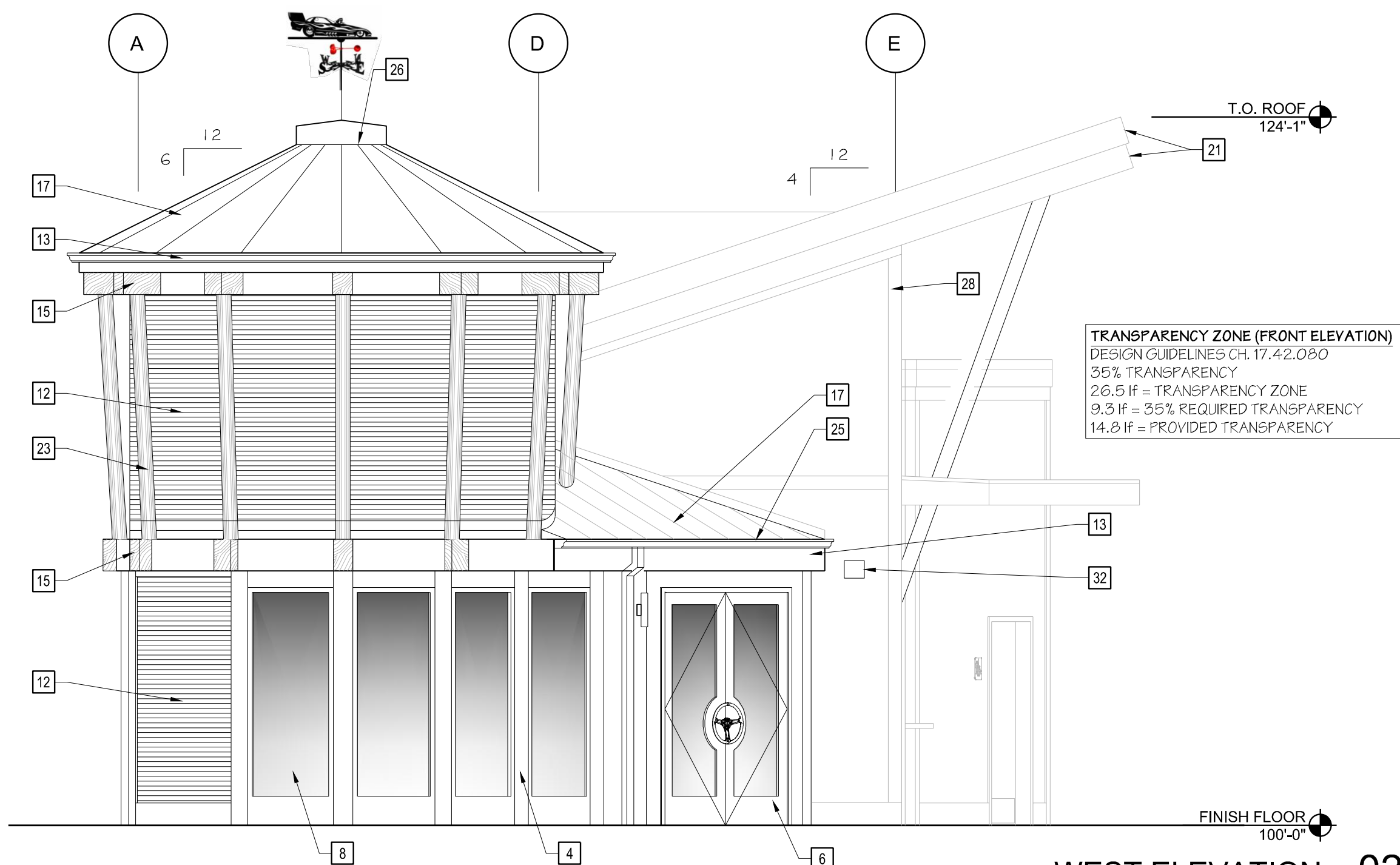
# SITE DEVELOPMENT PLAN PERRY STREET SOCIAL DISTRICT

LOT 4A, BLOCK 11 OF THE TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
SDP21-0046



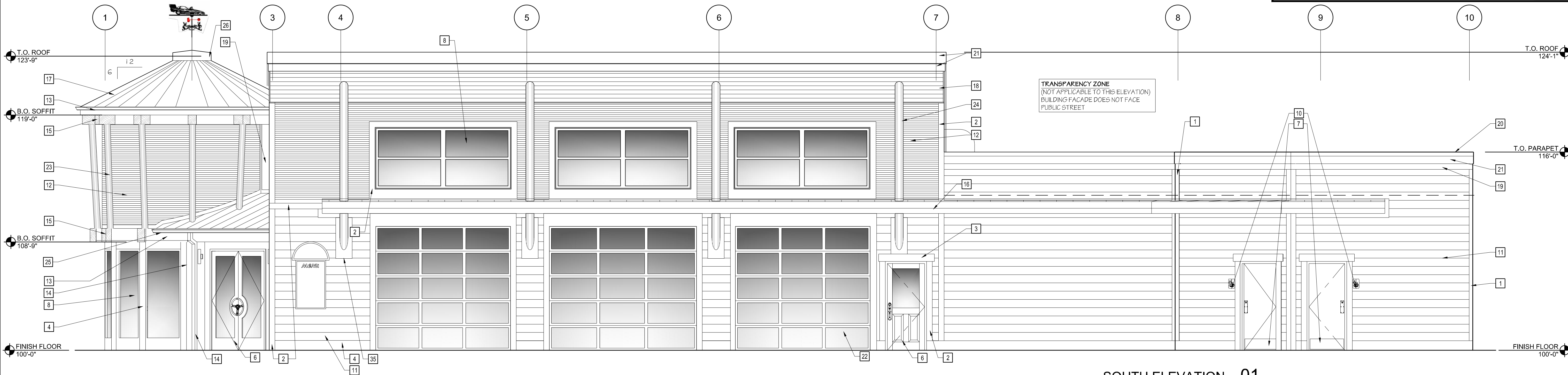
FRONT ENTRY ELEVATION 03

SCALE: 1/4"=1'-0"



WEST ELEVATION 02

SCALE: 1/4"=1'-0"



SOUTH ELEVATION 01

SCALE: 1/4"=1'-0"

## KEY NOTES

- 1 X 3.5 HARDIE TRIM, SD-2
- 1 X 5.5 HARDIE TRIM, SD-2
- 1 X 7.25 HARDIE TRIM, SD-2
- 1 X 9.25 HARDIE TRIM, SD-2
- 1 X 11.25 HARDIE TRIM, SD-2
- FIBERGLASS DOOR, RE: SCHEDULES, MT-1
- HOLLOW METAL DOOR & FRAME, RE: SCHEDULES, P-1
- WOOD CLAD ALUMINUM WINDOWS, RE: SCHEDULES, MT-1
- SLIDING TAKE-OUT WINDOW, MT-1
- RESTROOM SIGNS
- HARDIE PLANK LAP SIDING, SD-1
- CORRUGATED METAL PANELS, MT-2
- TYPICAL MFR DETAILS, SHEET A8.0
- METAL FASCIA, MT-3
- DOWNSPOUT, P-1
- DECORATIVE HEAVY TIMBER BRACKET, ST-1
- EYEBROW CANOPY
- STANDING SEAM METAL ROOF, MT-3
- TONGUE & GROOVE BOARDS, ST-1
- METAL TRIM, MT-4
- METAL PARAPET COPING, MT-3
- HARDIE TRIM FASCIA, SD-2
- OVERHEAD DOOR, RE: SCHEDULE
- 6" Ø METAL POST, P-2
- 8"Ø STEEL TUBE, PAINTED, P-2
- PREFINISHED GUTTER SYSTEM
- CUSTOM ROOF FLASHING CAP
- CMU WALL & TRASH ENCLOSURE
- METAL CORNER TRIM BY METAL PANEL MFR, DTL 01/ A8.0
- METAL BRACKETS FOR COUNTER SUPPORT
- WIND VINE BY OWNER
- 16"W X 14"H WOOD TRIM AT PIPE PENETRATION
- WALL MOUNTED LIGHT FIXTURE, RE: PHOTOMETRIC

SITE DEVELOPMENT PLAN

PERRY STREET SOCIAL DISTRICT

410 PERRY STREET, CASTLE ROCK, CO 80104

PROJECT NO: PER001.01

DESIGNED BY: KMH

DRAWN BY: KMH

DATE: 08/01/2022

8

8 OF 12



Know what's below.  
Call before you dig.

CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL  
DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG,  
GRADE, OR EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.

SITE DEVELOPMENT PLAN  
LOT 4A BLOCK 11 TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO. SDP21-0046



9/9/2022 12:28 PM P-PERRY STREET SOCIAL HISTORY/01 SITE PLAN SUBMITTALS/WORKING FLEESHEET 9 - CHECKED PAST - EXTERIOR ELEVATIONS BAW.DWG

© 2022. ALL RIGHTS RESERVED.

# SITE DEVELOPMENT PLAN PERRY STREET SOCIAL DISTRICT

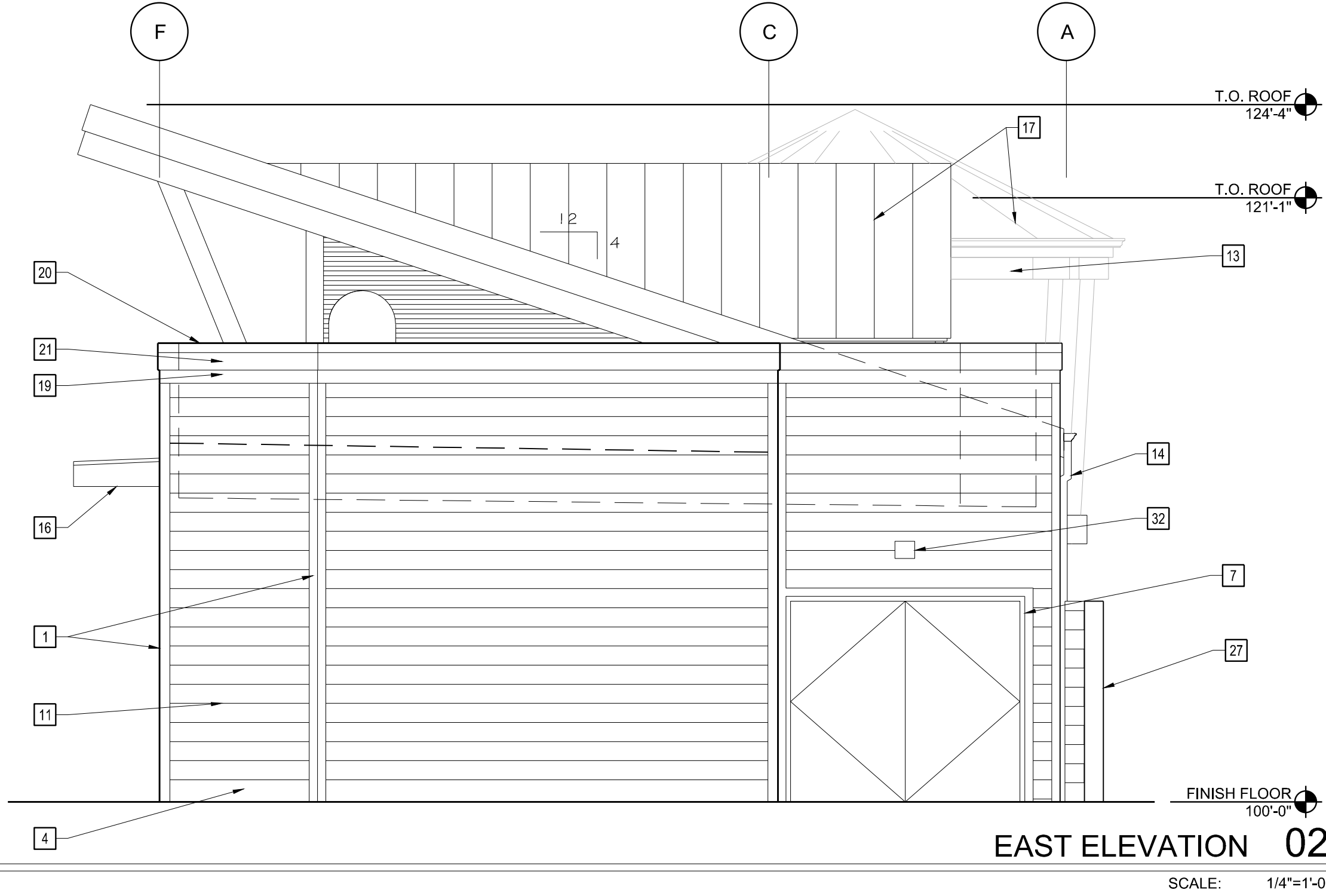
LOT 4A, BLOCK 11 OF THE TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
SDP21-0046

## EXTERIOR MATERIALS & FINISH SCHEDULE

MATERIAL ID	MATERIAL	LOCATION	MANUFACTURER	PRODUCT	DESCRIPTION	DIMENSION	ADDITIONAL INFORMATION
					COLOR		
SD-1	CEMENT LAP SIDING	GENERAL	JAMES HARDIE		KHAKI BROWN	8"	
SD-2	CEMENT TRIM	GENERAL	JAMES HARDIE		BURLY BROWN	VARIES, RE: ELEVATIONS	
MT-1	METAL WINDOW TRIM	WINDOWS	ANDERSON WINDOWS & DOORS		RED ROCK		
MT-2	CORRUGATED METAL	GENERAL	BRIDGERSTEEL	CORRUGATED WALL PANELS	GALVANIZED	1/2"	
MT-3	METAL	FASCIA, PARAPET FLASHING, METAL TRIM, STANDING SEAM METAL ROOFING	BERRIAGE		BURGUNDY		
MT-4	METAL	PARAPET TRIM			GALVANIZED METAL		
P-1	METAL	DOWNSPOUTS, GUTTERS, H.M. DOORS	SHERWIN WILLIAMS	PAINT	SW 4027 GALVANO		
P-2	METAL	6" + Ø" ROUND STEEL POSTS PRIMED	SHERWIN WILLIAMS	PAINT	BLACK		
ST-1	WOOD	HEAVY TIMBER BRACKETS		WOOD STAIN			

## KEY NOTES

- 1 X 3.5 HARDIE TRIM, SD-2
- 1 X 5.5 HARDIE TRIM, SD-2
- 1 X 7.25 HARDIE TRIM, SD-2
- 1 X 9.25 HARDIE TRIM, SD-2
- 1 X 11.25 HARDIE TRIM, SD-2
- FIBERGLASS DOOR, RE: SCHEDULES, MT-1
- HOLLOW METAL DOOR & FRAME, RE: SCHEDULES, P-1
- WOOD CLAD ALUMINUM WINDOWS, RE: SCHEDULES, MT-1
- SLIDING TAKE-OUT WINDOW, MT-1
- RESTROOM SIGNS
- HARDIE PLANK LAP SIDING, SD-1
- CORRUGATED METAL PANELS, MT-2.
- TYPICAL MFR DETAILS, SHEET A8.0
- METAL FASCIA, MT-3
- DOWNSPOUT, P-1
- DECORATIVE HEAVY TIMBER BRACKET, ST-1
- EYEBROW CANOPY
- STANDING SEAM METAL ROOF, MT-3
- TONGUE & GROOVE BOARDS, ST-1
- METAL TRIM, MT-4
- METAL PARAPET COPING, MT-3
- HARDIE TRIM FASCIA, SD-2
- OVERHEAD DOOR, RE: SCHEDULE
- 6" Ø METAL POST, P-2
- 8"Ø STEEL TUBE, PAINTED, P-2
- PREFINISHED GUTTER SYSTEM
- CUSTOM ROOF FLASHING CAP
- CMU WALL & TRASH ENCLOSURE
- METAL CORNER TRIM BY METAL PANEL MFR, DTL 01/ A8.0
- METAL BRACKETS FOR COUNTER SUPPORT
- WIND VINE BY OWNER
- 16"W X 14"H WOOD TRIM AT PIPE PENETRATION
- WALL MOUNTED LIGHT FIXTURE RE: PHOTOMETRIC





CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
**1-800-922-1987 or 811**

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**Know what's below.  
Call before you dig.**

SITE DEVELOPMENT PLAN  
LOT 4A BLOCK 11 TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO. SDP21-0046

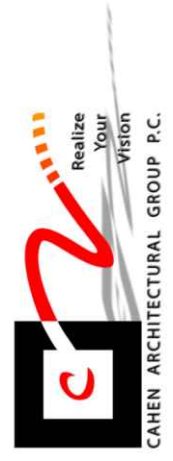
DATE

BY

REVISION

No.

PRELIMINARY  
NOT FOR  
CONSTRUCTION



Carlin Architectural Group P.C.

SITE DEVELOPMENT PLAN  
PERRY STREET SOCIAL DISTRICT

410 PERRY STREET, CASTLE ROCK, CO 80104

PROJECT NO: PER001.01  
DESIGNED BY: KMH  
DRAWN BY: KMH  
DATE: 08/01/2022

9  
OF 12



© 2022. ALL RIGHTS RESERVED.

9/9/2022 12:31 PM P-PERRY STREET SOCIAL HISTORY/01 SITE PLAN SUBMITTAL/WORKING FLESSHEET 10 - CONTAINER BUILDING - EXTERIOR ELEVATIONS B&W.DWG

# SITE DEVELOPMENT PLAN PERRY STREET SOCIAL DISTRICT

LOT 4A, BLOCK 11 OF THE TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
SDP21-0046

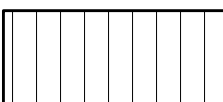
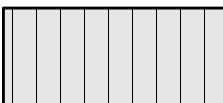
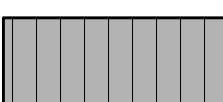
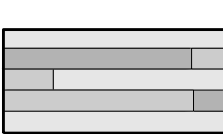
## EXTERIOR MATERIALS & FINISH SCHEDULE

MATERIAL ID	MATERIAL	LOCATION	MANUFACTURER	COLOR	ADDITIONAL INFORMATION
P-1	PAINT	CORRUGATED METAL PANELS	SHERWIN WILLIAMS	SW 9574 HULETT ORE	
P-2	PAINT	CORRUGATED METAL PANELS, WINDOWS	MODERN MASTERS	METAL EFFECT OXYDIZING BRONZE PAINT	
P-3	PAINT	WINDOWS	SHERWIN WILLIAMS	SW 6447 EVERGREENS	
P-4	PAINT	DOORS, WINDOWS	SHERWIN WILLIAMS	SW 6258 TRICORN BLACK	
P-5	PAINT	METAL STAIRS	SHERWIN WILLIAMS	SW 7019 GAUNTLET GREY	
SD-1	SHIPLAP SIDING	ACCENT WALLS	RULON INTERNATIONAL	OAK, AMBER BAMBOO, WALNUT	33% OAK, 33% AMBER BAMBOO, 34% WALNUT

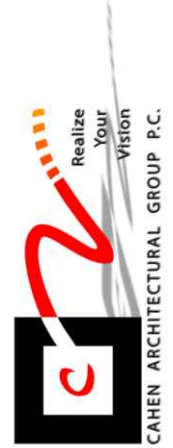
## KEY NOTES

1. PAINTED CORRUGATED METAL WALL PANELS
2. STEEL 6X6 COLUMNS (P-2)
3. ALUMINUM STOREFRONT WINDOWS (P-3)
4. 42" H METAL GUARDRAILS
5. METAL CANOPY
6. METAL AWNING
7. ELEVATOR DOOR (P-7)
8. ROUND BAR HEIGHT COUNTER AT COLUMN
9. PRE-MANUFACTURED METAL STAIR (P-5)
10. ALUMINUM STOREFRONT DOOR (P-4)
11. SIGN, BY SIGN VENDOR
12. PASS-THRU WINDOW
13. SHIPLAP SIDING (SD-1)
14. ELEVATOR SHAFT
15. LIGHT FIXTURES, RE: PHOTOMETRIC

## LEGEND

-  SHIPPING CONTAINER METAL PANEL,  
COLOR: (P-1)
-  SHIPPING CONTAINER METAL PANEL,  
COLOR: (P-2)
-  SHIPPING CONTAINER METAL PANEL,  
COLOR: (P-4)
-  SHIPLAP SIDING (SD-1)

PRELIMINARY  
NOT FOR  
CONSTRUCTION



SITE DEVELOPMENT PLAN

PERRY STREET SOCIAL DISTRICT

410 PERRY STREET, CASTLE ROCK, CO 80104

PROJECT NO: PER001.01

DESIGNED BY: KMH

DRAWN BY: KMH

DATE: 08/01/2022

10

10 OF 12

EAST ELEVATION 02

SCALE: 1/4"=1'-0"

SOUTH ELEVATION 01

SCALE: 1/4"=1'-0"



Know what's below.  
Call before you dig.

CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL  
DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG.  
GRADE, OR EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.

SITE DEVELOPMENT PLAN  
LOT 4A BLOCK 11 TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO. SDP21-0046



© 2022. ALL RIGHTS RESERVED.

9/28/2022 9:17 AM P:\PERRY STREET SOCIAL\HISTORY\01 SITE PLAN SUBMITTALS\WORKING FLESSHET 11 - CONTAINER BUILDING - EXTERIOR ELEVATIONS BAW.DWG

# SITE DEVELOPMENT PLAN PERRY STREET SOCIAL DISTRICT

LOT 4A, BLOCK 11 OF THE TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
SDP21-0046

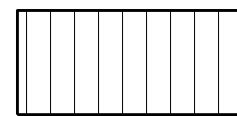
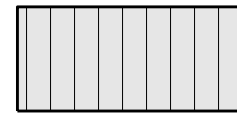
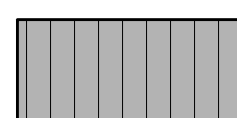
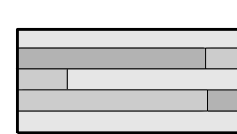
## EXTERIOR MATERIALS & FINISH SCHEDULE

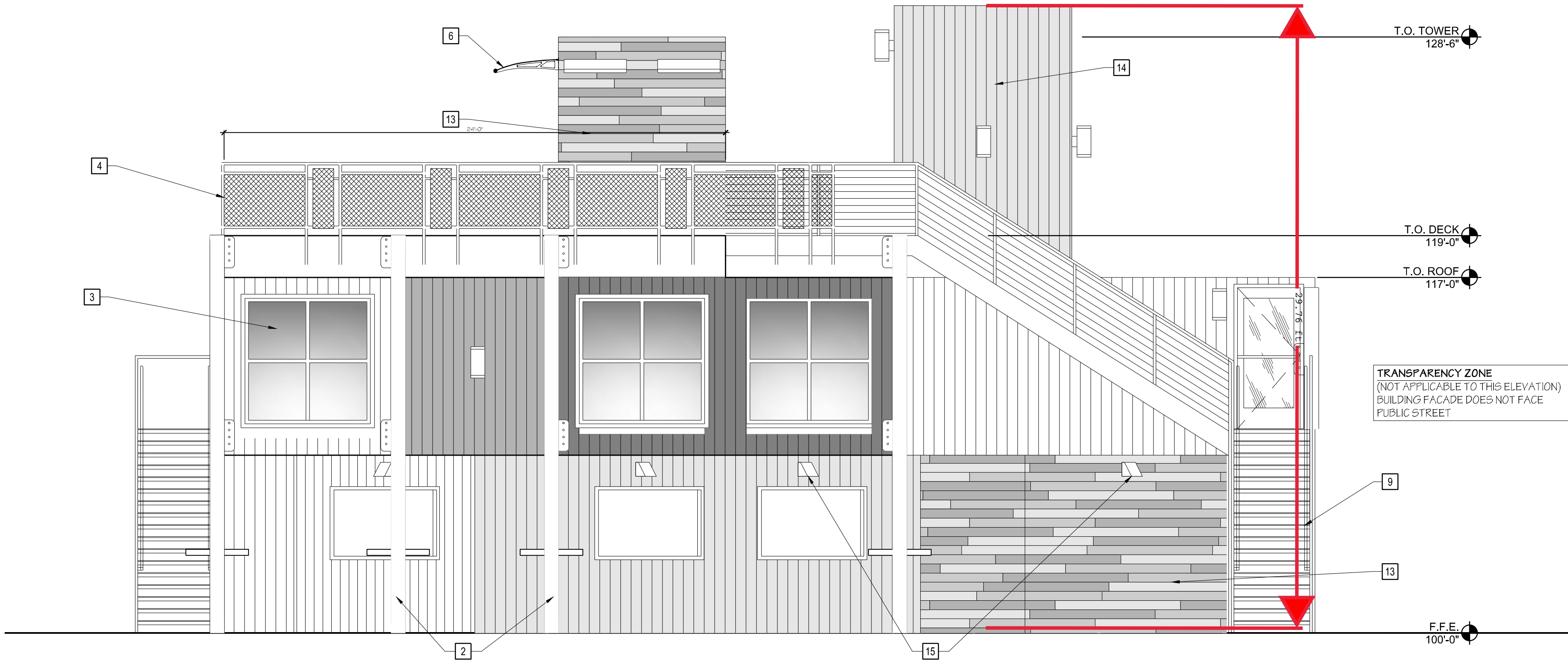
MATERIAL ID	MATERIAL	LOCATION	MANUFACTURER	COLOR	ADDITIONAL INFORMATION
P-1	PAINT	CORRUGATED METAL PANELS	SHERWIN WILLIAMS	SW 9574 HULETT ORE	
P-2	PAINT	CORRUGATED METAL PANELS, WINDOWS	MODERN MASTERS	METAL EFFECT OXYDIZING BRONZE PAINT	
P-3	PAINT	WINDOWS	SHERWIN WILLIAMS	SW 6447 EVERGREENS	
P-4	PAINT	DOORS, WINDOWS	SHERWIN WILLIAMS	SW 6258 TRICORN BLACK	
P-5	PAINT	METAL STAIRS	SHERWIN WILLIAMS	SW 7019 GAUNTLET GREY	
SD-1	SHIPLAP SIDING	ACCENT WALLS	RULON INTERNATIONAL	OAK, AMBER BAMBOO, WALNUT	33% OAK, 33% AMBER BAMBOO, 34% WALNUT

## KEY NOTES

1. PAINTED CORRUGATED METAL WALL PANELS
2. STEEL 6X6 COLUMNS (P-2)
3. ALUMINUM STOREFRONT WINDOWS (P-3)
4. 42" H METAL GUARDRAILS
5. METAL CANOPY
6. METAL AWNING
7. ELEVATOR DOOR (P-7)
8. ROUND BAR HEIGHT COUNTER AT COLUMN
9. PRE-MANUFACTURED METAL STAIR (P-5)
10. ALUMINUM STOREFRONT DOOR (P-4)
11. SIGN, BY SIGN VENDOR
12. PASS-THRU WINDOW
13. SHIPLAP SIDING (SD-1)
14. ELEVATOR SHAFT
15. LIGHT FIXTURES, RE: PHOTOMETRIC

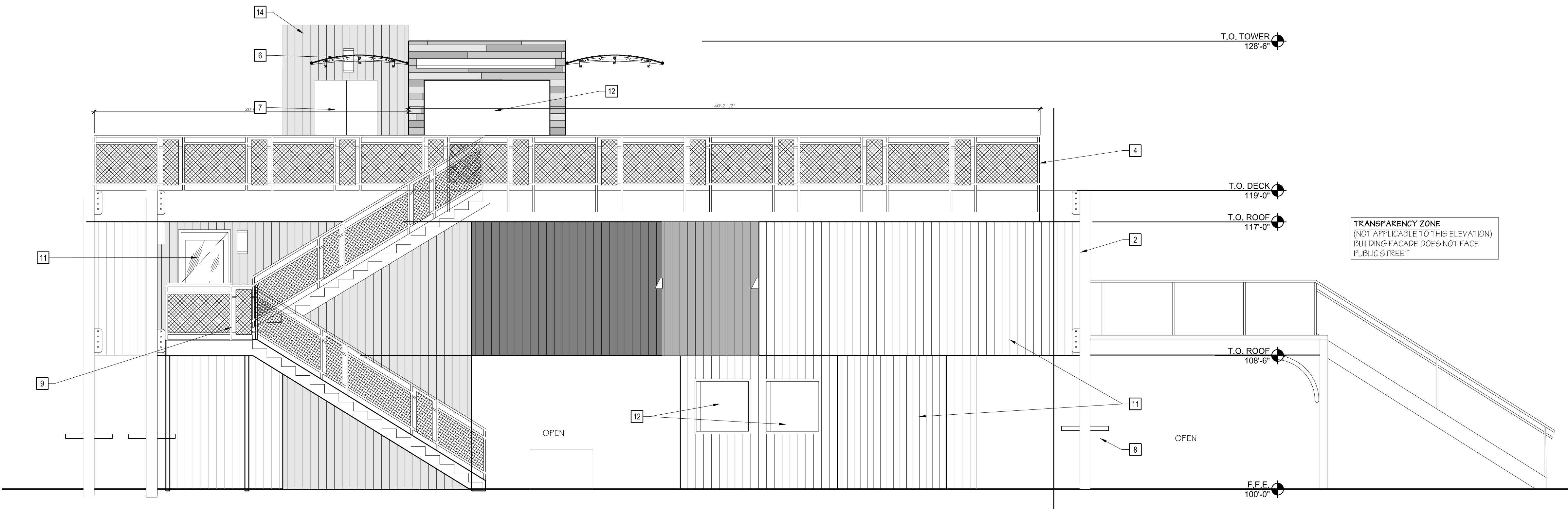
## LEGEND

-  SHIPPING CONTAINER METAL PANEL, COLOR: (P-1)
-  SHIPPING CONTAINER METAL PANEL, COLOR: (P-2)
-  SHIPPING CONTAINER METAL PANEL, COLOR: (P-4)
-  SHIPLAP SIDING (SD-1)



WEST ELEVATION 02

SCALE: 1/4"=1'-0"



NORTH ELEVATION 01

SCALE: 1/4"=1'-0"



Know what's below.  
Call before you dig.

CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL  
DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG.  
GRADE, OR EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.

SITE DEVELOPMENT PLAN  
LOT 4A BLOCK 11 TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO. SDP21-0046

DATE

BY

REVISION

No.

PRELIMINARY  
NOT FOR  
CONSTRUCTION



SITE DEVELOPMENT PLAN

PERRY STREET SOCIAL DISTRICT

410 PERRY STREET, CASTLE ROCK, CO 80104

PROJECT NO: PER001.01

DESIGNED BY: KMH

DRAWN BY: KMH

DATE: 08/01/2022

11

11 OF 12



