

PHILIP S MILLER LIBRARY

SITE DEVELOPMENT PLAN

A PORTION OF BLOCK 1, FIRST AMENDED PLAT OF CASTLE PLAZA SUBDIVISION, LOT 2, CASTLE PLAZA SOUTH - FIRST AMENDMENT LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11 TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PURPOSE STATEMENT:

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN IS TO REDEVELOP THE EXISTING PHILIP S MILLER LIBRARY IN DOWNTOWN CASTLE ROCK, COLORADO. THE EXISTING LIBRARY IS TO BE DEMOLISHED AND A NEW LIBRARY FACILITY WILL BE CONSTRUCTED WITH NEW INFRASTRUCTURE, PAVING, PEDESTRIAN WALKWAYS AND PLAZA AREAS.

LEGAL DESCRIPTION:

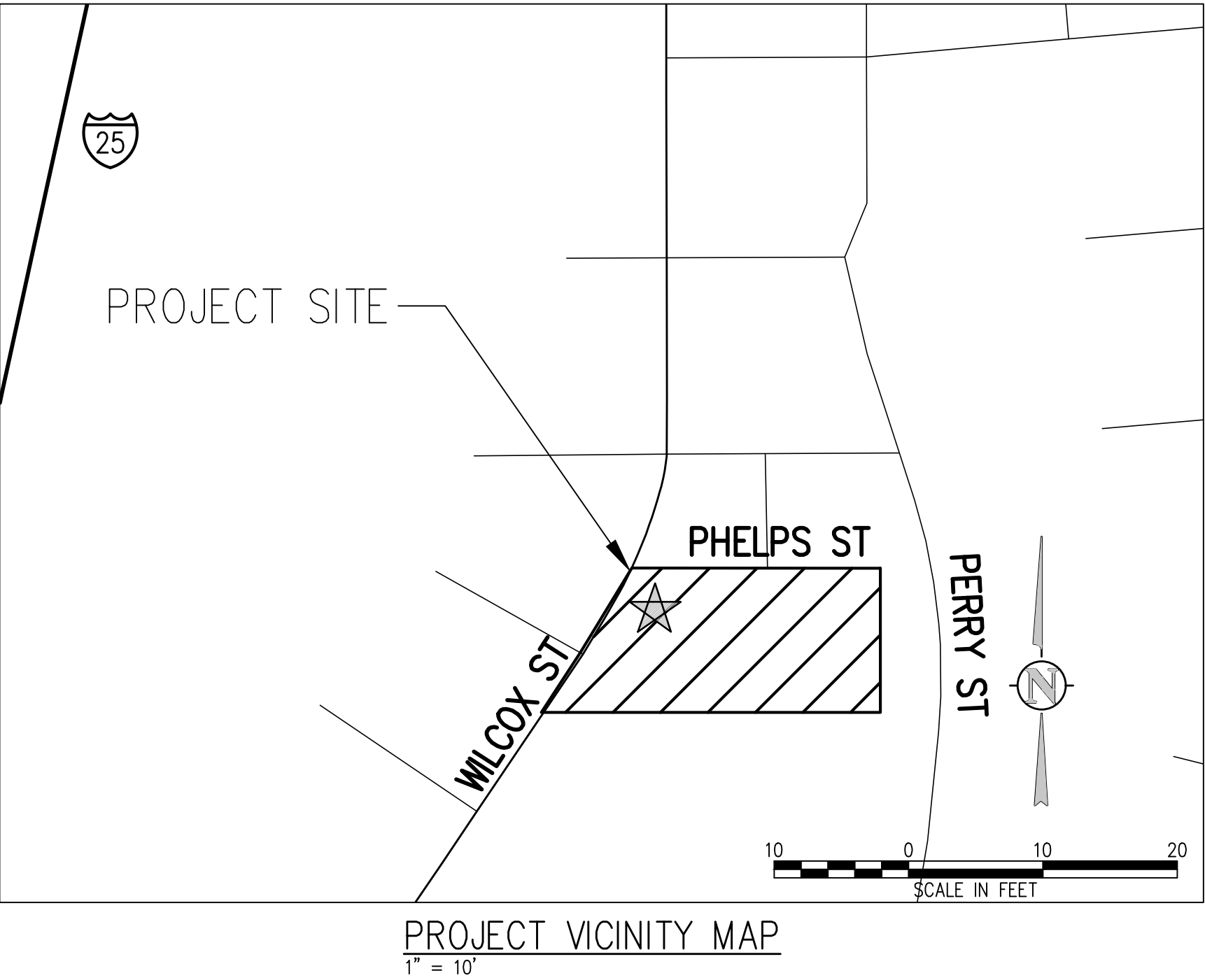
THAT PART OF BLOCK 1, FIRST AMENDED PLAT OF CASTLE PLAZA SUBDIVISION LYING NORTH OF A LINE 328.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID BLOCK 1, EXCEPT THE NORTH 50 FEET THEREOF, SAID NORTH 50 FEET BEING MEASURED AT RIGHT ANGLES TO SAID NORTH LINE, ALSO EXCEPTING THEREFROM THAT PORTION AS CONVEYED TO THE CITY OF CASTLE ROCK IN INSTRUMENT RECORDED FEBRUARY 11, 1982 IN BOOK 434 AT PAGE 409, COUNTY OF DOUGLAS, STATE OF COLORADO.

SHEET LIST SCHEDULE

SHEET NO.	TITLE
1	COVER
2	ABBREVIATIONS, SYMBOLS, AND LEGEND
3	TOWN OF CASTLE ROCK SDP GENERAL NOTES
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6	PARKING PLAN
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8	UTILITY PLAN
9	LANDSCAPE PLAN – HARDSCAPE
10	LANDSCAPE PLAN
11	LANDSCAPE SUMMARY, NOTES & DETAILS
12	BUILDING ELEVATIONS 1
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15	MATERIALS BOARD
16	LIGHTING PLAN
17	LIGHTING SCHEDULE AND FIXTURE CUT SHEETS

Zoning Comparison		
Zoning District	B - Business Commercial	
Overlay District	DOD - Downtown Overlay District	
DOD Area	South	
Downtown Parking Area	South Non-Residential	
	Requirement	Provided (this SDP)
Permitted Use	Office, service, retail, restaurant, public facility, and other uses as outlined for the B and DOD districts per Muni. Code 17.28.030	Library
Minimum Lot Size SF/Acres	N/A	151,338 SF/ 3.47 Acres
Gross Floor Area (GFA)	N/A	62,738 SF
Building Ground Coverage	N/A	30,780 SF
Maximum Lot Coverage	100%	20% (30,780/151,338)
Minimum front yard setback	0-Feet	9-Feet (Wilcox)
Minimum rear yard setback	0-Feet	270-Feet (east)
Minimum side yard setback	0-Feet	78-Feet (south)
Maximum building setback to roadway	20-Feet. A minimum of 25% of a building's linear footage facing a public roadway must have a setback of 0- to 20-feet with a direct pedestrian connection	36% of the building facing Wilcox St. is within 20-feet of Wilcox St. and provides a direct pedestrian connection; 0%* of the building facing Phelps St. is within 20-feet of Phelps St. and provides a direct pedestrian connection
Maximum Stories	6 Stories	2 Stories
Maximum building height	Not Limited	34 Feet
Minimum Parking	For Library - 2 parking spaces per 1,000 SF of GFA	Total parking spaces provided = 206 Total parking spaces required = 126 (62,738/1,000) x 2 = 126
Minimum ADA Parking	7 ADA parking spaces required for 201-300 total lot parking spaces per Muni Code	ADA parking spaces provided = 7 ADA parking spaces required = 7 Total lot spaces = 206
Minimum Bicycle Parking	5% of total parking spaces provided	Bicycle parking spaces provided = 16 Bicycle parking spaces required = 11 206 x 5% = 10.3
Minimum Window Transparency at the pedestrian level	35% for the main front elevation 30% for a side elevation that faces a public roadway	69% for Wilcox Street (114' / 165') Total window or transparency = 114' (102' + 12') Total building length = 165' 30.7% for Phelps Street (47' 2"/153') Total window or transparency = 47' 2" (8' 3" + 3' + 22' 6" + 13' 5") Total building length = 153' (88' + 65')

*Variance for required maximum building setback to Phelps St. approved by DRB. See TCV21-0091



WATER RIGHTS DEDICATION AGREEMENT

WATER RIGHTS DEDICATION: THE TOWN OF CASTLE ROCK HAS ACQUIRED CONTROL OF THE WATER RIGHTS THROUGH THE ADOPTION OF ORDINANCE NO. 97-17 AND PURSUANT TO THE IMPLIED CONSET PROVISION OF C.R.S 37-90-137(8).

SURVEYOR'S CERTIFICATE

I, _____, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR DATE

CIVIL ENGINEER'S STATEMENT

I, _____, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER DATE

BENCHMARK INFORMATION: A GPS DERIVED ELEVATION WAS ESTABLISHED AT AN ONSITE BENCHMARK AT THE SOUTHEAST CORNER OF LOT 2, BEING A FOUND #5 REBAR WITH AN ELEVATION OF 6213.58 FEET, A CHECK SHOT, 0.1'±, WAS TAKEN ON NGS POINT G 23, BEING A BENCHMARK DISK LOCATED 0.1 MILES FROM SITE, WITH A PUBLISHED ELEVATION OF 6231.61 FEET (NAVD88). NO DIFFERENTIAL LEVELING WAS PERFORMED TO ESTABLISH THIS ELEVATION.

BASIS OF BEARINGS: S89°49'59"E 633.38' (AM), S89°23'09"E 633.38'

TITLE CERTIFICATION

I, _____, AN AUTHORIZED REPRESENTATIVE OF _____, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE

TITLE COMPANY

SIGNED THIS _____ DAY OF _____, 20_____.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____

20_____ BY _____ AS AUTHORIZED REPRESENTATIVE

OF _____

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

DESIGN REVIEW BOARD APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DESIGN REVIEW BOARD OF THE TOWN OF CASTLE ROCK, COLORADO ON THE _____ DAY OF _____, 2021

CHAIR DATE

DIRECTOR OF DEVELOPMENT SERVICES DATE

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT _____ ON THE _____ DAY OF _____, 20_____ AT RECEPTION NO. _____

DOUGLAS COUNTY CLERK AND RECORDER

BY: _____ DEPUTY

Owner

Douglas County Libraries
100 S. Wilcox St
Castle Rock, CO 80104

Project

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Castle Rock, CO 80104

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Seal

Revision Description Date

OPN Project No.

21212000

Sheet Issue Date

SDP SUBMISSION 5 1/12/2022

Sheet Name

5-SDP21-0042 COVER

Sheet Number

J:\30426\Drawings\30426-01-LNA-00.dwg, 12/08/2021 - 5:36 PM, SGP

ABBREVIATIONS

AASHTO	AMERICAN ASSOC. OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	INCL	INCLUDED
ABAN	ABANDON	ID	INSIDE DIAMETER
AC	ASPHALTIC CONCRETE PAVING	IN	INLET
ADDL	ADDITIONAL	INSUL	INSULATION
ADDM	ADDENDUM	INV	INVERT
ADJ	ADJUSTABLE	IRR	IRRIGATION
AL	ALUMINUM	JTS	JOINTS
ALT	ALTERNATE	KO	KNOCKOUT
AMT	AMOUNT	KPL	KICK PLATE
APPROX	APPROXIMATE	KWY	KEYWAY
ARCH	ARCHITECT(URAL)		
ARV	AIR RELIEF VALVE	L	LEFT OR LITER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	LSCAPE	LANDSCAPE(ING)
ASPH	ASPHALT	LF	LINEAR FOOT
ASSY	ASSEMBLY	LP	LOW POINT
ASYM	ASYMMETRICAL	LT	LIGHT
AUTO	AUTOMATIC	LWL	LOW WATER LEVEL
AVG	AVERAGE		
AWWA	AMERICAN WATER WORKS ASSOC.	MAINT	MAINTENANCE
		MAN	MANUAL
BC	BACK OF CURB	MATL	MATERIAL
BFV	BUTTERFLY VALVE	MAX	MAXIMUM
BG	FINISHED GRADE ADJACENT TO BOTTOM OF WALL	ME	MATCH EXISTING
BLDG	BUILDING	MECH	MECHANICAL
BLK	BLOCK	MFR	MANUFACTURER
BM	BENCH MARK	MH	MANHOLE
BMP	BEST MANAGEMENT PRACTICE	MIN	MINIMUM
BS	BACKSIGHT	MISC	MISCELLANEOUS
BOS	BOTTOM OF STEP	MJ	MECHANICAL JOINT
BOT	BOTTOM		
BSMT	BASEMENT	N	NORTH
BVCE	BEGIN VERTICAL CURVE ELEVATION	NA	NOT APPLICABLE
BVCS	BEGIN VERTICAL CURVE STATION	NIC	NOT IN CONTRACT
BW	BOTTOM OF WALL	NPT	NATIONAL PIPE THREAD
		NTS	NOT TO SCALE
CB	CATCH BASIN		
CCW	COUNTER CLOCKWISE	OC	ON CENTER
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION	OD	OUTSIDE DIAMETER
CIP	CAST IRON PIPE	OPP	OPPOSITE
CJ	CONSTRUCTION JOINT	OPT	OPTIONAL
CL	CENTER LINE OR CHAIN LINK		
CLR	CLEAR	PC	POINT OF CURVATURE
CMP	CORRUGATED METAL PIPE	PCO	PRESSURE CLEAN OUT
CMU	CONCRETE MASONRY UNIT	PCR	POINT OF CURVE RETURN
CO	CLEANOUT	PI	POINT OF INTERSECTION
CONC	CONCRETE	PM	POINT OF VERTICAL INTERSECTION
CONST	CONSTRUCTION	PL	PROPERTY LINE
CONT	CONTINUOUS(ATION)	PE	POLYETHYLENE
COR	CORNER	PREFAB	PREFABRICATED
CR	CONCENTRIC REDUCER	PRELIM	PRELIMINARY
CTR	CENTER	PREP	PREPARATION
CY	CUBIC YARDS	PROP	PROPOSED
		PRV	PRESSURE REDUCING VALVE OR PRESSURE RELIEF VALVE
DEMO	DEMOLITION	PSF	POUNDS PER SQUARE FOOT
DIA	DIAMETER	PSI	POUNDS PER SQUARE INCH
DIAG	DIAGONAL	PT	POINT OF TANGENCY
DIP	DUCTILE IRON PIPE	PV	PLUG VALVE
DOM	DOMESTIC	PVC	POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE
DN	DOWN	PVMT	PAVEMENT
DR	DRAIN		
DWG	DRAWING	QTY	QUANTITY
DWL	DOWEL		
		R	RIGHT
E	EAST	RAD	RADIUS
EA	EACH	RCP	REINFORCED CONCRETE PIPE
ECC	ECCENTRIC	RD	ROOF DRAIN
EJ	EXPANSION JT	RE	REFERENCE
EL	ELEVATION	RECT	RECTANGULAR
ELB	ELBOW	REINF	REINFORCE (D) (NG) (MENT)
ELEC	ELECTRICAL	REQD	REQUIRED
ENGR	ENGINEER	ROW	RIGHT OF WAY
EOP	EDGE OF PAVEMENT		
EQ	EQUAL	SAN	SANITARY
EQUIP	EQUIPMENT	SD	STORM DRAIN
EQUIV	EQUIVALENT	SECT	SECTION
ESMT	EASEMENT	SPD	STANDARD PROCTOR DENSITY
EST	ESTIMATE	SPEC	SPECIFICATION
EVCE	END VERTICAL CURVE ELEVATION	SQ	SQUARE
EVCS	END VERTICAL CURVE STATION	SQ IN	SQUARE INCH
EW	EACH WAY	SQ FT	SQUARE FOOT
EXP JT	EXPANSION JOINT	SQ YD	SQUARE YARD
EXIST	EXISTING	SS	SANITARY SEWER
		SST	STAINLESS STEEL
FND	FOUNDATION	STA	STATION
FES	FLARED END SECTION	STD	STANDARD
FF	FINISH FLOOR	STL	STEEL
FG	FINISH GRADE	STRUCT	STRUCTURAL
FH	FIRE HYDRANT		
FL	FLOW LINE	SWMP	STORMWATER MANAGEMENT PLAN
FN	FENCE	SYM	SYMMETRICAL
FOC	FACE OF CONCRETE		
FPM	FEET PER MINUTE	TB	THRUST BLOCK
FPS	FEET PER SECOND	TBC	TOP BACK OF CURB
FT	FEET	TBM	TEMPORARY BENCH MARK
FTG	FOOTING OR FITTING	TEMP	TEMPORARY
		TG	FINISHED GRADE ADJACENT TO TOP OF WALL
G	GAS	THK	THICK
GA	GAUGE	TOB	TOP OF BANK
GAL	GALLON	TOC	TOP OF CONCRETE OR TOP OF CURB
GALV	GALVANIZED	TOS	TOP OF STEP
GO	GRADE CLEANOUT	TOT	TOTAL
GIP	GALVANIZED IRON PIPE	TW	TOP OF WALL OR CAP OF WALL
GND	GROUND	TYP	TYPICAL
GPD	GALLONS PER DAY		
GPM	GALLONS PER MINUTE	UBC	UNIFORM BUILDING CODE
GR	GRATE	UGE	UNDERGROUND ELECTRIC
GRTG	GRATING	UTIL	UTILITY
GSP	GALVANIZED STEEL PIPE		
GV	GATE VALVE	VERT	VERTICAL
		VC	POINT OF VERTICAL CURVATURE
H	HIGH	VCP	VITRIFIED CLAY PIPE
HB	HOSE BIB		
HE	HORIZONTAL ELLIPTICAL	W	WIDE OR WIDTH
HDWL	HEADWALL	W/	WITH
HNDRL	HAND RAIL	W/O	WITHOUT
HORIZ	HORIZONTAL	WQCE	WATER QUALITY CONTROL ELEVATION
HP	HIGH POINT	WSE	WATER SURFACE ELEVATION
HR	HOOR	WW	WASTEWATER
HVAC	HEATING, VENTILATION, AIR CONDITIONING		
		X SECT	CROSS SECTION
HWY	HIGHWAY	XFMR	ELECTRONIC TRANSFORMER
HWL	HIGH WATER LINE	YH	YARD HYDRANT
HYD	HYDRANT		

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DESIGN LEGEND

	BENCHMARK		FENCE
	MANHOLE		FLOW LINE OF DITCH OR WASH
	AREA DRAIN		SLOPE ARROW
	COMBINATION INLET		PROPOSED SPOT ELEVATION
	TYPE R INLET		EXIST SPOT ELEVATION
	TYPE 13 FIELD INLET		EXIST INDEX CONTOUR
	FLARED END SECTION W/ RIPRAP		EXIST INTERMEDIATE CONTOUR
	TEE W/ THRUST BLOCK		PROPOSED INDEX CONTOUR
	BEND W/ THRUST BLOCK		PROPOSED INTERMEDIATE CONTOUR
	END CAP W/ THRUST BLOCK		CURB AND GUTTER
	GATE VALVE		SPILL/CATCH CURB TRANSITION
	REDUCER/INCREASER		SIGN W/ POST
	WATER METER		CURB RAMP
	FIRE HYDRANT		SIDEWALK CHASE
	STORM - 12" AND SMALLER		SIDEWALK
	STORM - LARGER THAN 12"		CONCRETE PAVING
	ROOF DRAIN		HEAVY DUTY CONCRETE PAVING
	TRENCH DRAIN		HEAVY DUTY ASPHALT PAVING
	UNDERDRAIN		LIGHT DUTY ASPHALT PAVING
	SANITARY SEWER		GRAVEL
	FM		PROPOSED BUILDING
	W		BUILDING ACCESS
	NPW		RETAINING WALL
	PW		BOULDER/ROCK WALL
	IRRIGATION		LIMITS OF SAWCUT
	IRRIGATION - LARGER THAN 12"		LIMITS OF WORK
	CABLE TV		EASEMENT LINE
	D		PROPERTY LINE
	ELECTRIC		ADJACENT PROPERTY LINE/ROW
	UNDERGROUND ELECTRIC		MATCHLINE
	OVERHEAD ELECTRIC		
	TELEPHONE		
	FIBER OPTIC		
	FUEL		
	G		
	PVC		

811
Know what's below.
Call before you dig.

DETAIL TITLE

<u>DETAIL TITLE</u>	DETAIL NUMBER IDENTIFICATION
SCALE	SHEET WHERE THE SECTION OR ELEVATION IS CUT OR CALLED OUT - INDICATES SAME DRAWING
	DETAIL NUMBER IDENTIFICATION
	SHEET WHERE THE DETAIL IS DRAWN - INDICATES SAME DRAWING

SECTION CALLOUT

	REVISION CLOUD
	REVISION NUMBER

SURVEY LEGEND

	WATER LINE		BENCHMARK AS DESCRIBED
	WATER VALVE		FOUND MONUMENT
	WATER METER		FOUND MONUMENT
	FIRE HYDRANT		TEST CP
	SANITARY SEWER LINE		UTILITY LOCATED FROM MAP
	SANITARY SEWER MANHOLE		AS MEASURED AT TIME OF SURVEY
	STORM DRAINAGE LINE		CALCULATED FROM RECORD AND AS MEASURED INFORMATION
	STORM DRAINAGE MANHOLE		PLAT
	CURB INLET		RECORDED
	UNDERGROUND ELECTRICAL LINE		MAILBOX
	OVERHEAD ELECTRICAL LINE		CONCRETE
	ELECTRICAL POLE		EDGE OF ASPHALT
	GUY WIRE		GRAVEL
	ELECTRICAL TRANSFORMER		FENCE
	ELECTRICAL RISER		GUARDRAIL
	ELECTRIC VAULT		BOLLARD
	LIGHT POLE		SIGN
	DECORATIVE LIGHT		CONIFEROUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS)
	FIBEROPTIC LINE		DECIDUOUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS)
	TELEPHONE LINE		BOULDER
	TELEPHONE RISER		
	GAS LINE		
	INDICATION OF ACCESS		
	BUILDING		

PHILIP S MILLER LIBRARY



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Castle Rock, CO 80104

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Castle Rock, CO 80104

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Seal

SITE DEVELOPMENT PLAN GENERAL NOTES

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
2. PURSUANT TO SECTION 4.7 AND 9.32 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. THIS PROPERTY IS LOCATED WITHIN ZONE X SHADED AND UNSHADED, AS PER FEMA FIRM PANEL NO. 08035C0301G DATED MARCH 16, 2016. THIS AREA IMPACTS ONLY THE SOUTHWEST PORTION OF THE SITE AT THE WILCOX ACCESS POINT.
5. ANY STREET SIGNS, STRIPING, STREETLIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
7. APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
9. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK BY SEPARATE DOCUMENT.
10. THIS SITE IS ZONED BUSINESS/COMMERCIAL (B) WITHIN THE DOWNTOWN OVERLAY DISTRICT (DOD)
11. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
12. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
13. RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4-FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
14. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
15. THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.

FIRE NOTES

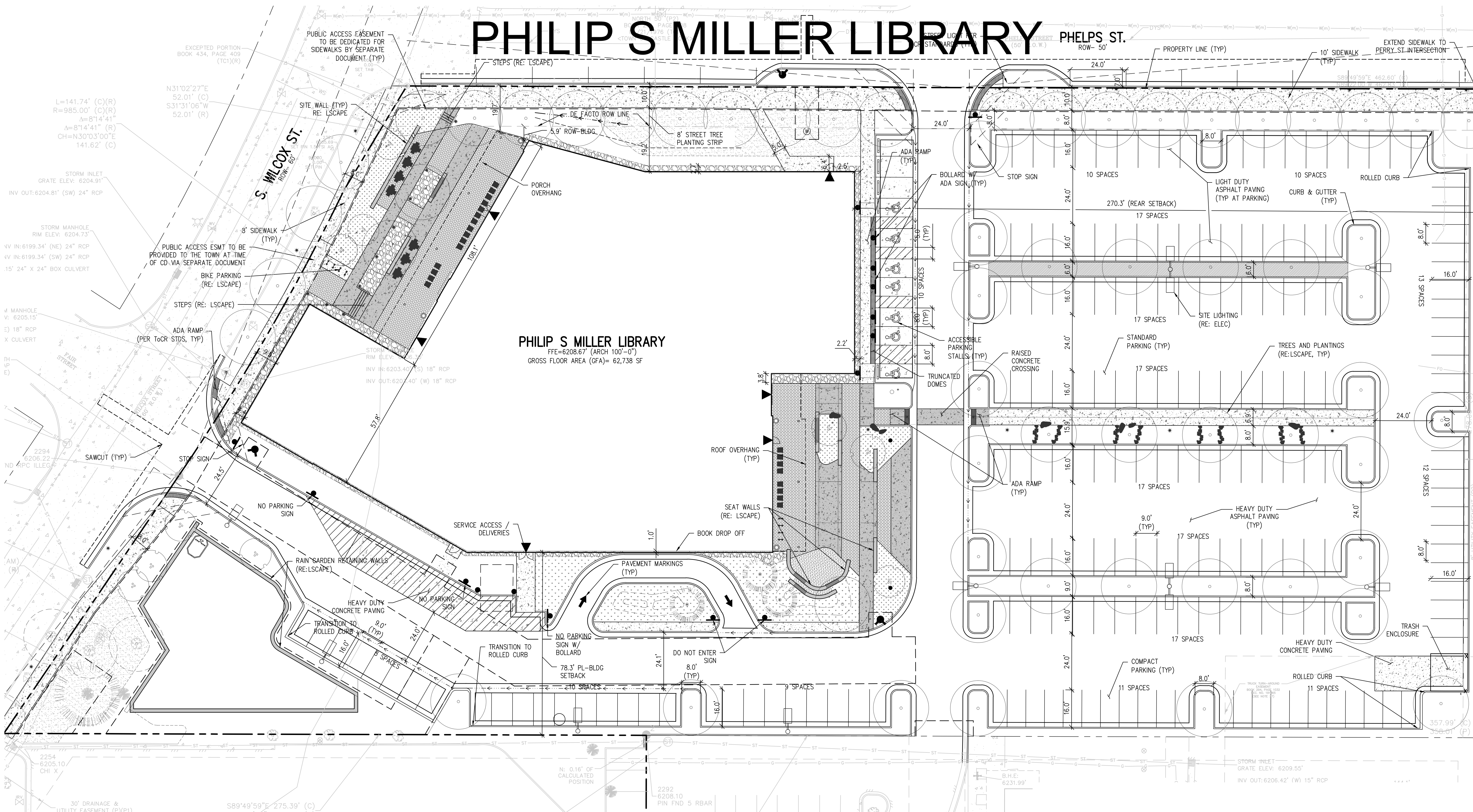
1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
9. THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (FC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

OPN Project No. 21212000		
Sheet Issue Date SDP SUBMISSION 5 1/12/2022		
Sheet Name		

5-SDP21-0042 TOWN OF CASTLE ROCK SDP GENERAL NOTES

Sheet Number

PHILIP S MILLER LIBRARY



DESIGN LEGEND

BENCHMARK	—X—	FENCE
MANHOLE	—5.0%—	FLOW LINE OF DITCH OR WASH
AREA DRAIN	—+03.54—	SLOPE
COMBINATION INLET	—+03.3—	ARROW
TYPE R INLET		PROPOSED SPOT ELEVATION
TYPE 13 FIELD INLET		EXIST SPOT ELEVATION
FLARED END SECTION W/ RIPRAP		EXIST INDEX CONTOUR
WATER METER		EXIST INTERMEDIATE CONTOUR
FIRE HYDRANT		PROPOSED INDEX CONTOUR
SPILL/CATCH CURB TRANSITION		PROPOSED INTERMEDIATE CONTOUR
SIGN W/ POST		CURB AND GUTTER
CURB RAMP		
SIDEWALK CHASE		

NOTE: NOT ALL ITEMS SHOWN IN LEGEND ARE ON PLAN

UNDERDRAIN		SIDEWALK
SANITARY SEWER		CONCRETE PAVING
FORCE MAIN		HEAVY DUTY CONCRETE PAVING
WATER		HEAVY DUTY ASPHALT PAVING
NON POTABLE WATER		LIGHT DUTY ASPHALT PAVING
POTABLE WATER		GRAVEL
IRRIGATION		PROPOSED BUILDING
IRRIGATION - LARGER THAN 12"		BUILDING ACCESS
CABLE TV		RETAINING WALL
DRAIN		BOULDER/ROCK WALL
ELECTRIC		LIMITS OF SAWCUT
UNDERGROUND ELECTRIC		LIMITS OF WORK
TELEPHONE		EASEMENT LINE
FIBER OPTIC		PROPERTY LINE
FUEL		ADJACENT PROPERTY LINE/ROW
GAS		
PVC PIPE (MISC)		

SURVEY LEGEND

W	WATER LINE
WV	WATER VALVE
WM	WATER METER
WH	FIRE HYDRANT
SS	SANITARY SEWER LINE
SSM	SANITARY SEWER MANHOLE
SD	STORM DRAINAGE LINE
SDM	STORM DRAINAGE MANHOLE
CI	CURB INLET
UE	UNDERGROUND ELECTRICAL LINE
OE	OVERHEAD ELECTRICAL LINE
EP	ELECTRICAL POLE
GW	GUY WIRE
ET	ELECTRICAL TRANSFORMER
ER	ELECTRICAL RISER
EV	ELECTRIC VAULT

BENCHMARK AS DESCRIBED

FOUND MONUMENT	
FOUND MONUMENT	
TEST CP	
UTILITY LOCATED FROM MAP	
AS MEASURED AT TIME OF SURVEY	
CALCULATED FROM RECORD AND AS MEASURED INFORMATION	
PLAT	
RECORDED	
MAILBOX	
CONCRETE	
EDGE OF ASPHALT	
GRAVEL	

LIGHT POLE

DECORATIVE LIGHT	
FIBEROPTIC LINE	
TELEPHONE LINE	
TELEPHONE RISER	
GAS LINE	
INDICATION OF ACCESS	
BUILDING	

NOTE: SHADED ITEMS REPRESENT EXIST FEATURES

FENCE

GUARDRAIL	
BOLLARD	
SIGN	
CONIFEROUS TREE (TRUNK DIAMETER/DROP LINE RADIUS)	
DECIDUOUS TREE (TRUNK DIAMETER/DROP LINE RADIUS)	
BOULDER	

HORIZONTAL CONTROL NOTES:

- ALL DIMENSIONS AND RADII ARE TO FACE OF CURB, FACE OF BUILDING AND EDGE OF WALK UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPAIR/REPLACE ALL DAMAGE TO EXISTING FLATWORK OR SITE FEATURES NOT INTENDED FOR DEMOLITION.
- REFER TO GRADING AND DRAINAGE PLAN FOR FURTHER INFORMATION PERTAINING TO CURB & GUTTER, CHASES, AND DRAINAGE PANS.



NOTE:
CONSTRUCTION WILL BE CONTINUOUS
WITHOUT INTERRUPTION, THE TWO PHASES
ARE PART OF A SINGLE CONSTRUCTION
PACKAGE COMPLETED BY THE SAME
CONTRACTOR. PHASES ARE TO ENSURE THE
EXISTING LIBRARY CAN REMAIN OPEN AS
LONG AS POSSIBLE PRIOR TO COMPLETION
OF THE NEW BUILDING

PHILIP S MILLER LIBRARY

PHILIPS ST.
ROW- 50'

200 5th Ave. SE, Suite 201
Cedar Rapids, IA 52401
P: 319-363-6018
F: 319-363-7349
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Owner

Douglas County Libraries
100 S. Wilcox St
Castle Rock, CO 80104

Project

Castle Rock Library
100 S. Wilcox St
Castle Rock, CO 80104

General Contractor

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Englewood, CO 80112
P. 303-783-3900

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Boulder, CO 80302
P. 303-444-1951

Landscape Architect

Back40 Landscape Architecture
2329 Cherry St.
Denver, CO 80207
P. 720-236-6656

Structural Engineer

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Greenwood Village, CO 80111
P. 303-839-1963

Mechanical Engineer

MEP Engineering Inc.
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Centennial, CO 80111
P. 303-936-1633

Electrical Engineer

MEP Engineering Inc.
6402 S. Troy Cir
Centennial, CO 80111
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Low Voltage + Technology Consultant

Cevian
7535 E. Hampden Ave. #400
Denver, CO 80231
P. 720-723-0328

Seal

Revision Description Date

OPN Project No.

21212000

Sheet Issue Date

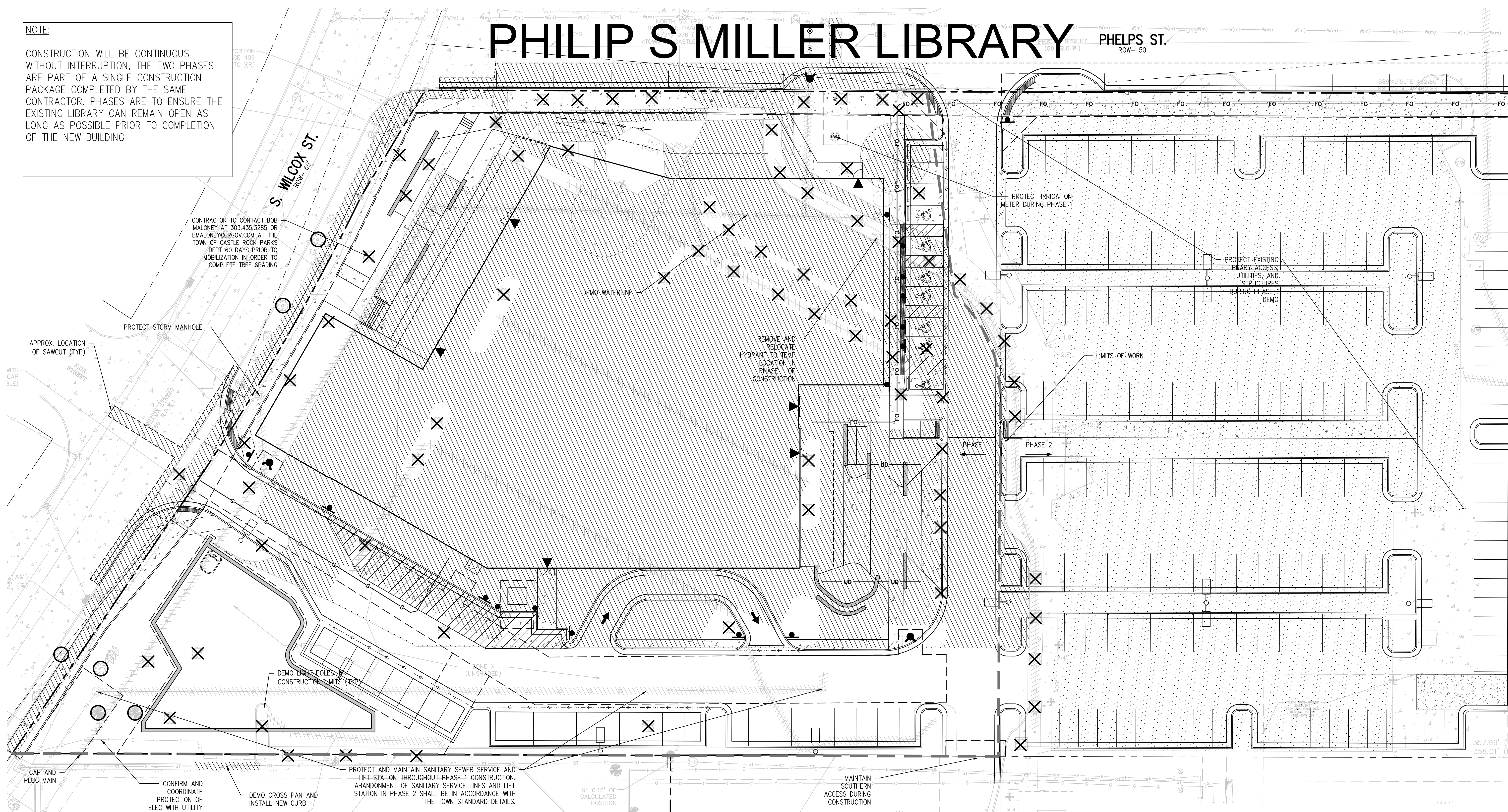
SDP SUBMISSION 5

1/12/2022

Sheet Name

5-SDP21-0042 PHASING PLAN I

Sheet Number



DESIGN LEGEND

BENCHMARK	—X— FENCE	—UD— UNDERDRAIN
MANHOLE	—5.0%— SLOPE ARROW	—SS— SANITARY SEWER
AREA DRAIN	—+03.54— PROPOSED SPOT ELEVATION	—FM— FORCE MAIN
COMBINATION INLET	—+03.5— EXIST SPOT ELEVATION	—W— WATER
TYPE R INLET	—5220— EXIST INDEX CONTOUR	—NPW— NON POTABLE WATER
TYPE 13 FIELD INLET	—5221— EXIST INTERMEDIATE CONTOUR	—PW— POTABLE WATER
FLARED END SECTION W/ RIPRAP	—20— PROPOSED INDEX CONTOUR	—IRR— IRRIGATION
TEE W/ THRUST BLOCK	—20— PROPOSED INTERMEDIATE CONTOUR	—CATV— CABLE TV
BEND W/ THRUST BLOCK	—CURB AND GUTTER	—D— DRAIN
END CAP W/ THRUST BLOCK	—SIGN W/ POST	—E— ELECTRIC
GATE VALVE	—SIDEWALK CHASE	—UE— UNDERGROUND ELECTRIC
REDUCER/INCREASER		—OE— OVERHEAD ELECTRIC
WATER METER		—T— TELEPHONE
FIRE HYDRANT		—FO— FIBER OPTIC
STORM - 12" AND SMALLER		—FUEL— FUEL
STORM - LARGER THAN 12"		—G— GAS
ROOF DRAIN		—PVC— PVC PIPE (MISC)
TRENCH DRAIN		

NOTE: NOT ALL ITEMS SHOWN IN LEGEND ARE ON PLAN

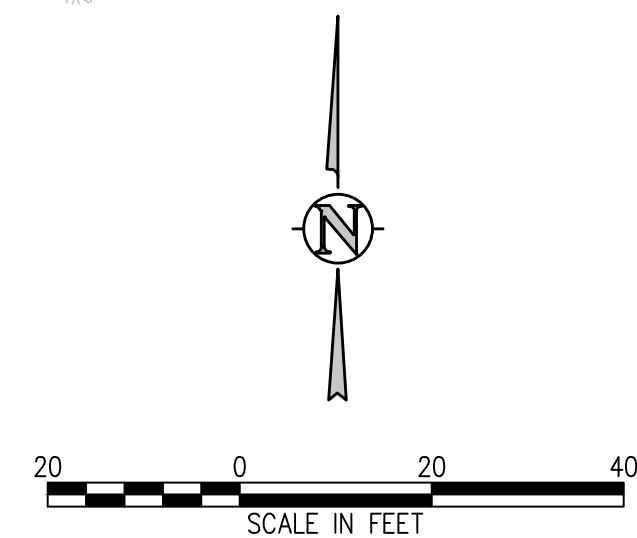
SURVEY LEGEND

WATER LINE	(C) CALCULATED FROM RECORD AND AS MEASURED INFORMATION
WATER VALVE	(P) PLAT
WATER METER	(R) RECORDED
FIRE HYDRANT	MAILBOX
SANITARY SEWER LINE	CONCRETE
SANITARY SEWER MANHOLE	EDGE OF ASPHALT
STORM DRAINAGE LINE	GRAVEL
STORM DRAINAGE MANHOLE	LIGHT POLE
CURB INLET	DECORATIVE LIGHT
UNDERGROUND ELECTRICAL LINE	FIBEROPTIC LINE
OVERHEAD ELECTRICAL LINE	TELEPHONE LINE
ELECTRICAL POLE	TELEPHONE RISER
GUY WIRE	GAS LINE
ELECTRICAL TRANSFORMER	INDICATION OF ACCESS
ELECTRICAL RISER	BUILDING
ELECTRIC VAULT	FENCE
BENCHMARK AS DESCRIBED	GUARDRAIL
FOUND MONUMENT	BOLLARD
FOUND MONUMENT	SIGN
TEST OP	CONIFEROUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS)
UTILITY LOCATED FROM MAP	DECIDUOUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS)
AS MEASURED AT TIME OF SURVEY	BOULDER

NOTE: SHADED ITEMS REPRESENT EXIST FEATURES

DEMOLITION LEGEND

//////////	DEMO SUBSURFACE FEATURE
//////////	DEMO SURFACE FEATURE
//////////	ABANDON SUBSURFACE FEATURE
-----	LIMITS OF SAWCUT
X	REMOVE EXISTING TREE
O	PROTECT EXISTING TREE



PHASE 1
-DEMOLITION OF EXISTING PARKING LOT
-REMOVAL OF TREES AND PROTECTION OF TREES TO REMAIN

-REMOVAL AND RELOCATION OF UTILITIES AND PROTECTION OF UTILITIES TO REMAIN

-CONSTRUCTION OF NEW BUILDING/PLAZA AREAS, STORMWATER SYSTEM, UTILITIES AND LANDSCAPING AROUND BUILDING

-EXISTING LIBRARY TO REMAIN UNTIL NEW LIBRARY IS CONSTRUCTED

-ACCESS TO PHELPS TO CLOSE

-WILCOX ACCESS TO REMAIN OPEN INITIALLY AND CLOSE TOWARDS COMPLETION OF THIS PHASE

-SOUTH ACCESS FROM RETAIL AREA TO REMAIN OPEN

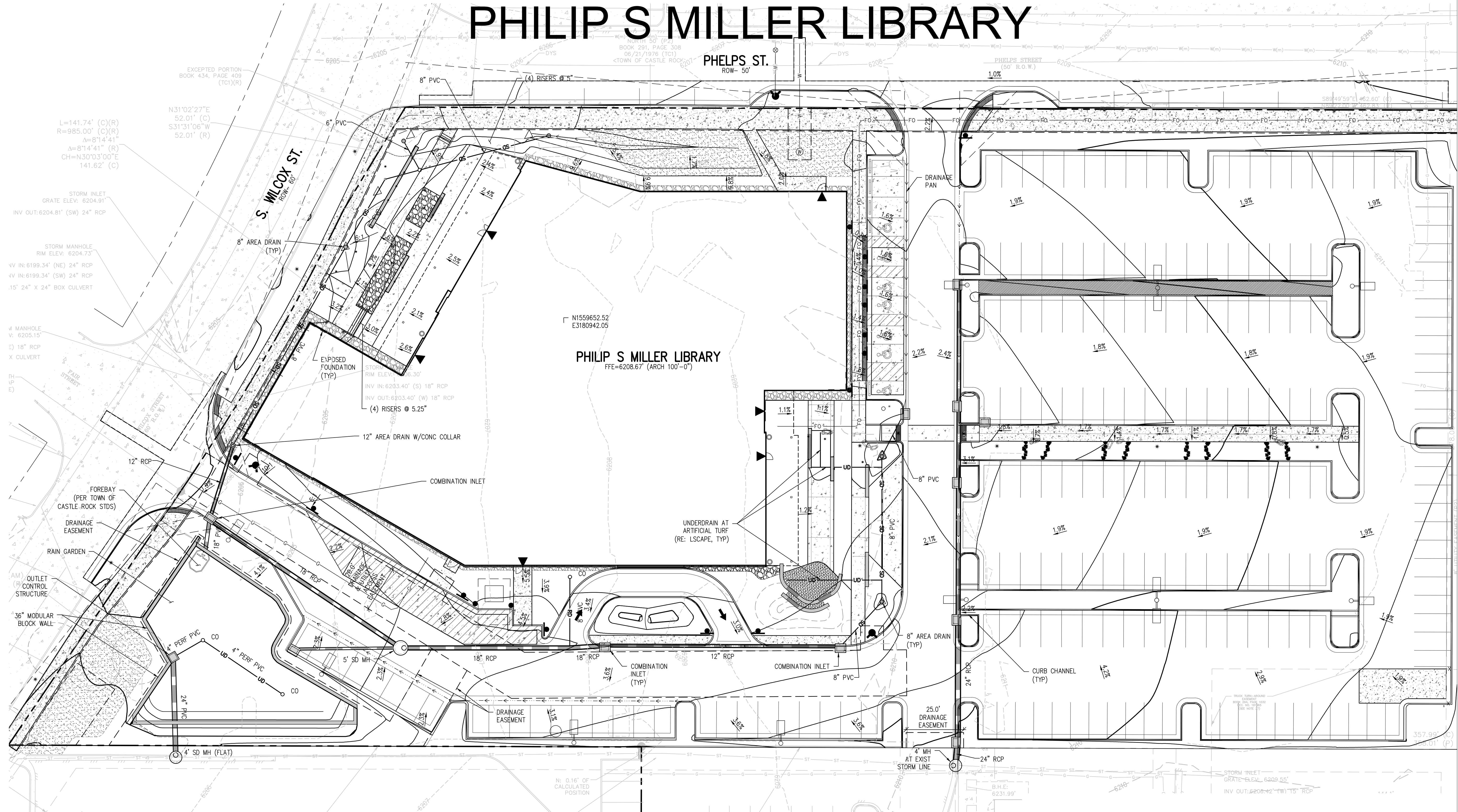
-SEE PARKING PLAN SHEET 6 FOR PARKING DURING CONSTRUCTION

PHASE 2
-DEMOLITION OF EXISTING LIBRARY AND SURROUNDING CONCRETE WALKS, ACCESS

-CONSTRUCTION OF NEW PARKING LOT, WALKS, RELATED LANDSCAPING, AND STORM SYSTEM CONNECTIONS AS WELL AS TRASH ENCLOSURE

-NEW CONNECTION TO PHELPS ST COMPLETED AND OPENED

PHILIP S MILLER LIBRARY



DESIGN LEGEND

	BENCHMARK		FENCE
	MANHOLE		FLOW LINE OF DITCH OR WASH
	AREA DRAIN		SLOPE ARROW
	COMBINATION INLET		PROPOSED SPOT ELEVATION
	TYPE R INLET		EXIST SPOT ELEVATION
	TYPE 13 FIELD INLET		EXIST INDEX CONTOUR
	FLARED END SECTION W/ RIPRAP		EXIST INTERMEDIATE CONTOUR
	TEE W/ THRUST BLOCK		PROPOSED INDEX CONTOUR
	BEND W/ THRUST BLOCK		PROPOSED INTERMEDIATE CONTOUR
	END CAP W/ THRUST BLOCK		CURB AND GUTTER
	GATE VALVE		SPILL/CATCH CURB TRANSITION
	REDUCER/INCRASER		SIGN W/ POST
	WATER METER		CURB RAMP
	FIRE HYDRANT		SIDEWALK CHASE
	STORM - 12\"/>		
	STORM - LARGER THAN 12\"/>		
	ROOF DRAIN		
	TRENCH DRAIN		

NOTE: NOT ALL ITEMS SHOWN IN LEGEND ARE ON PLAN

SURVEY LEGEND

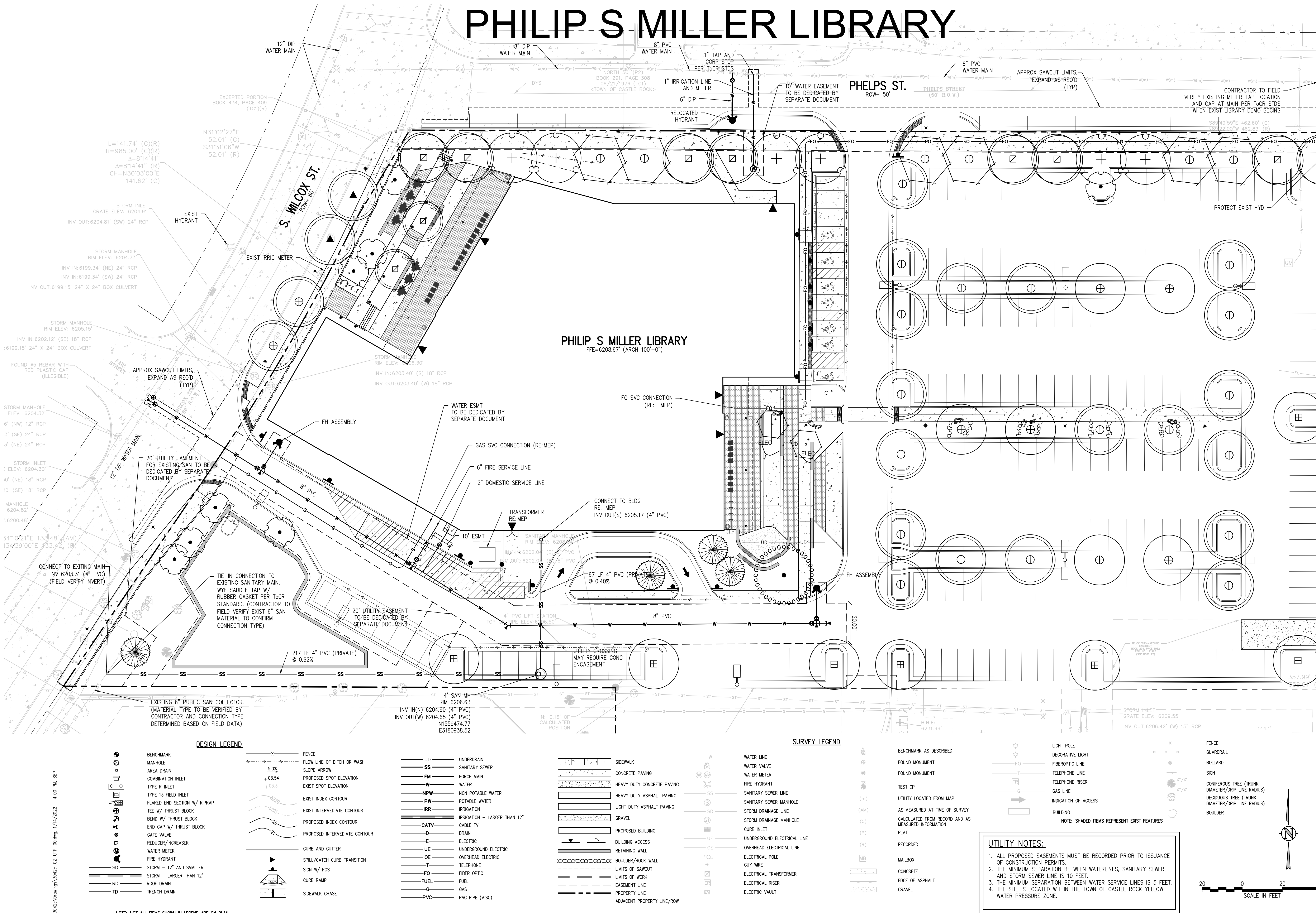
	SIDEWALK		WATER LINE
	CONCRETE PAVING		WATER VALVE
	HEAVY DUTY CONCRETE PAVING		WATER METER
	HEAVY DUTY ASPHALT PAVING		FIRE HYDRANT
	LIGHT DUTY ASPHALT PAVING		SANITARY SEWER LINE
	GRAVEL		SANITARY SEWER MANHOLE
	PROPOSED BUILDING		STORM DRAINAGE LINE
	BUILDING ACCESS		STORM DRAINAGE MANHOLE
	RETAINING WALL		CURB INLET
	BOULDER/ROCK WALL		UNDERGROUND ELECTRICAL LINE
	LIMITS OF SAWCUT		OVERHEAD ELECTRICAL LINE
	LIMITS OF WORK		ELECTRICAL POLE
	EASEMENT LINE		GUY WIRE
	PROPERTY LINE		ELECTRICAL TRANSFORMER
	ADJACENT PROPERTY LINE/ROW		ELECTRICAL RISER
			ELECTRIC VAULT
			BENCHMARK AS DESCRIBED
			FOUND MONUMENT
			FOUND MONUMENT
			TEST CP
			UTILITY LOCATED FROM MAP
			AS MEASURED AT TIME OF SURVEY
			CALCULATED FROM RECORD AND AS MEASURED INFORMATION
			PLAT
			RECORDED
			MAILBOX
			CONCRETE
			EDGE OF ASPHALT
			GRAVEL
			LIGHT POLE
			DECORATIVE LIGHT
			FIBEROPTIC LINE
			TELEPHONE LINE
			TELEPHONE RISER
			GAS LINE
			INDICATION OF ACCESS
			BUILDING
			FENCE GUARDRAIL
			BOLLARD
			SIGN
			CONIFEROUS TREE (TRUNK DIAMETER/DRP LINE RADIUS)
			DECIDUOUS TREE (TRUNK DIAMETER/DRP LINE RADIUS)
			BOULDER

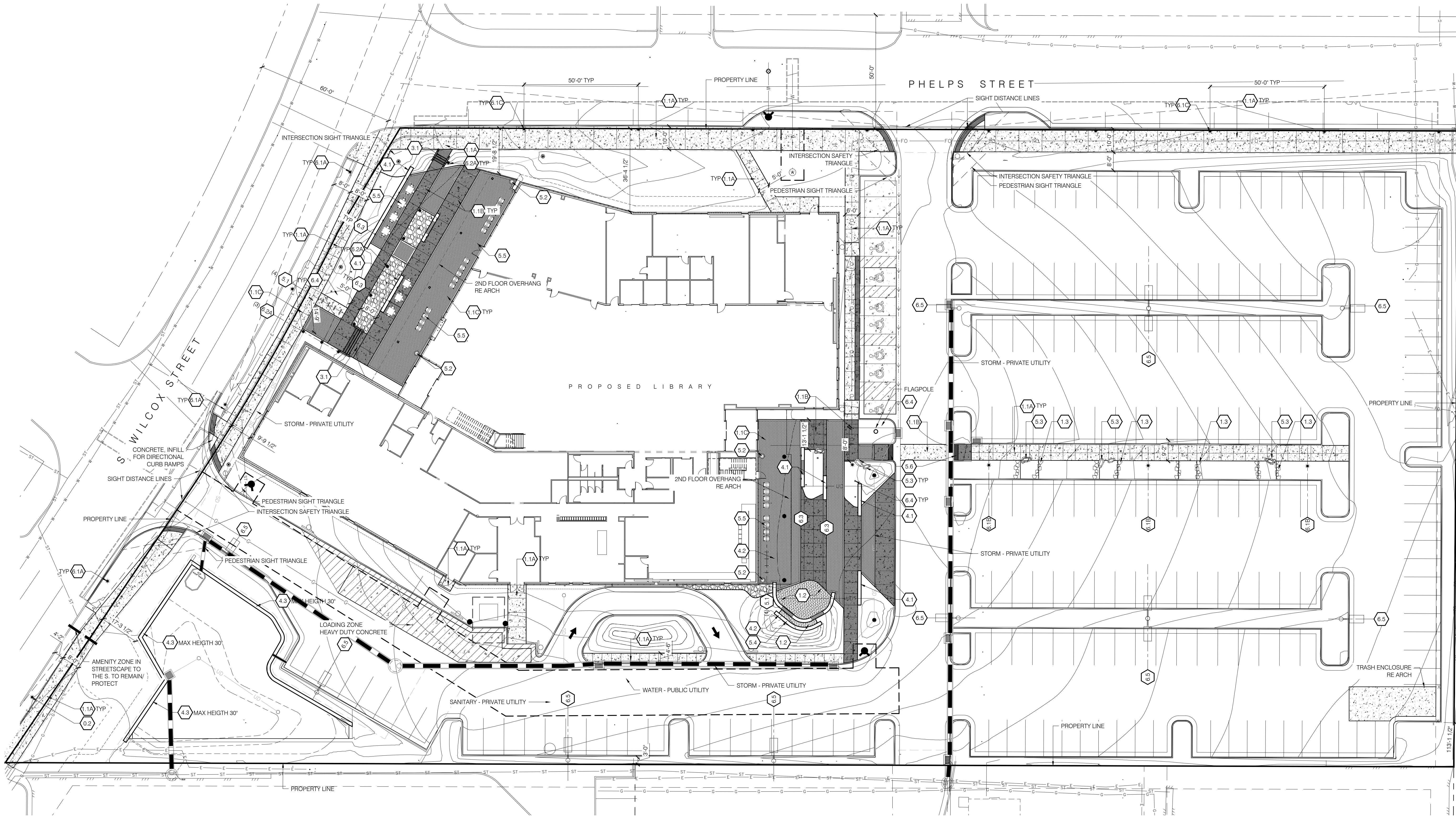
GRADING NOTES:

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
- REFER TO HORIZONTAL CONTROL PLAN FOR FURTHER INFORMATION PERTAINING TO CURB & GUTTER, CHASES, AND DRAINAGE PANS.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITIONS.
- ALL SPOT ELEVATIONS ARE TO FINISHED GRADE OR FLOWLINE UNLESS OTHERWISE SPECIFIED.
- IF WALL IS SHOWN, TG DENOTES THE FINISHED GRADE ADJACENT TO THE HIGH SIDE OF THE WALL. BG DENOTES THE FINISHED GRADE ADJACENT TO THE LOW SIDE OF THE WALL. REFER TO ARCH PLANS/DETAILS FOR WALL ELEVATIONS BEYOND THE ADJACENT FINISHED GRADES (EXPOSED WALL, CAP/FOOTER, ETC.)



PHILIP S MILLER LIBRARY





1 LANDSCAPE SITE PLAN

SCALE: 1" = 20'-0"

MATERIAL KEYNOTES

- 0.0 EXISTING CONDITIONS
0.1 EXISTING TREE TO REMAIN / PROTECT
0.2 EXISTING PEDESTRIAN LIGHT REMAIN / PROTECT

- 1.0 PAVING
1.1A CIP CONC PAVING, GRAY, SAWN JTS, MED BROOM FIN
1.1B CIP CONC PAVING, GRAY, SAWN JTS, SAND | LANDSCAPE FIN
1.1C CONCRETE UNIT PAVERS (SAND SET)
1.2 ARTIFICIAL TURF
1.3 FLAGSTONE SLABS

- 3.0 CURBS, EDGES, STEPS
3.1 CIP CONC STEPS WITH HANDRAILS

- 4.0 WALLS
4.1 CIP CONCRETE SEATWALL
18" AVERAGE HEIGHT ABOVE GRADE
4.2 CIP CONCRETE SEATWALL - TERRACE SEATING
18" AVERAGE HEIGHT TO EACH TERRACE
4.3 MSE RETAINING WALL / MANUFACTURE: KEYSTONE
STYLE: COMPAC REGENCY, COLOR: PRAIRIE BROWN
30" MAX WALL HEIGHT

- 5.0 SITE FURNISHINGS AND ELEMENTS
5.1 BIKE RACK
5.2 TRASH AND RECYCLING RECEPTACLE
5.3 BOULDER
5.4 BENCH (MOUNTED ON SITE WALL)
5.5 FF&E FURNISHING
5.6 TRAFFIC BOLLARD

- 6.0 SITE LIGHTING
6.1A PEDESTRIAN LIGHT, ToCR WILCOX STD (EXISTING TO RELOCATE)
6.1B PEDESTRIAN LIGHT, INTERNAL SITE
6.1C PEDESTRIAN LIGHT, ToCR WILCOX STD (NEW)
6.2A BOLLARD LIGHT
6.3 WALL / STEP LIGHT
6.4 UP LIGHT
6.5 PARKING LOT LIGHT

WILCOX FRONTAGE
INTERNAL TO SITE
PHELPS FRONTAGE

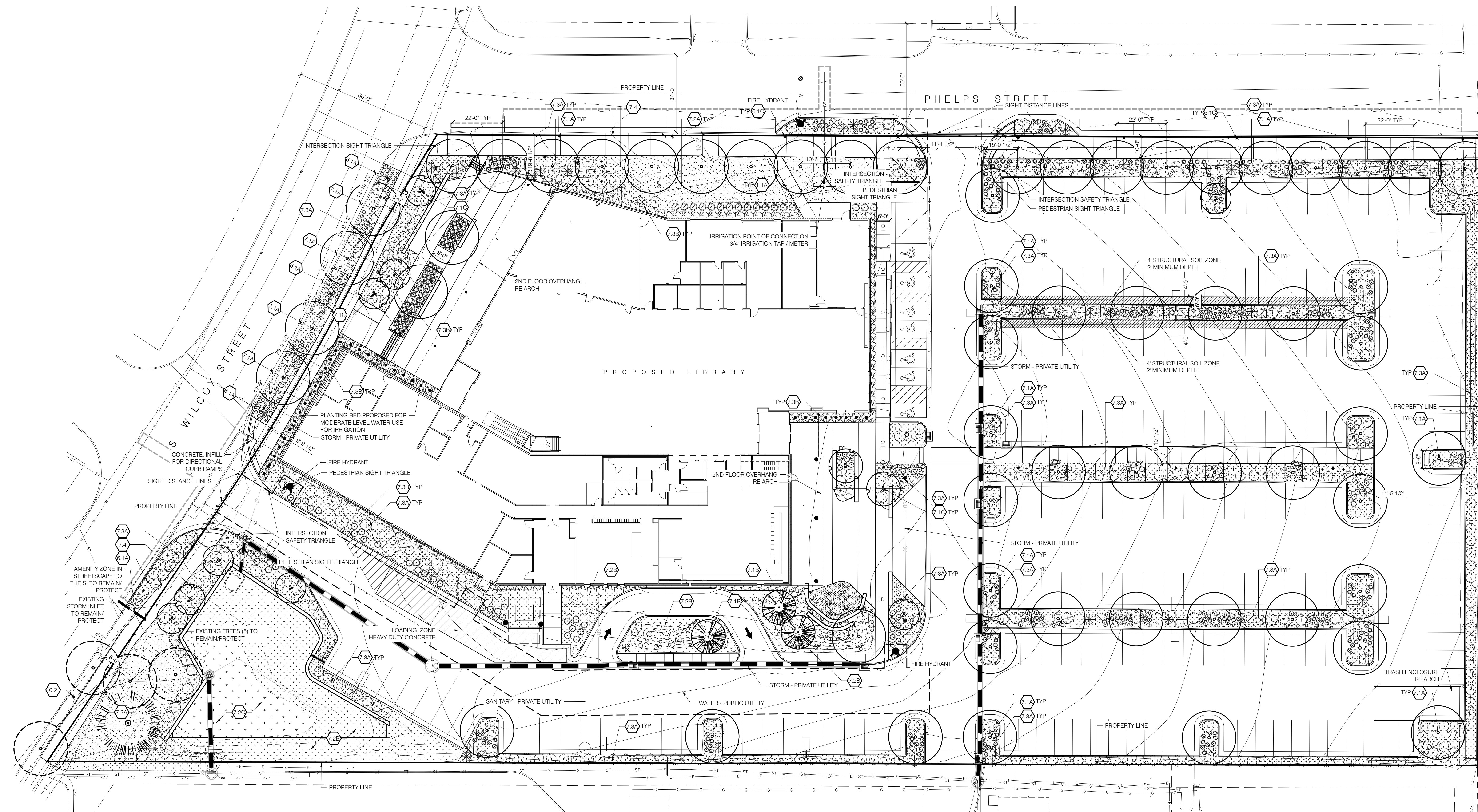
MATERIALS LEGEND

- 1.1A CONCRETE PAVING, NATURAL COLOR,
SAWN JOINTS, BROOM FINISH
1.1B CIP CONC PAVING, GRAY, SAWN JTS,
SAND | LANDSCAPE FIN
1.1C CONCRETE UNIT PAVERS (SAND SET)

UTILITIES LEGEND

- SS SANITARY SEWER LINE
EX-W EXISTING WATER LINE
ST STORM SEWER LINE
UE UNDERGROUND ELECTRICAL LINE
G GAS LINE

NOTE:
REFERENCE CIVIL ENGINEERS' DRAWINGS FOR ALL
UTILITY INFORMATION AND SYMBOLS.



1 PLANTING PLAN

SCALE: 1" = 20'-0"

PLANT SCHEDULE

	ROW	PARKING		
	4	0		DECIDUOUS SHRUBS
	1	0		EVERGREEN SHRUBS
	26	33		GRASSES
	0	3		PERENNIALS
	6	5		
TOTAL TREE	37	41		
% OF LARGE DECIDUOUS	81%	80%		

MATERIAL KEYNOTES

	SITE LIGHTING	
6.1A	PEDESTRIAN LIGHT, T6CR WILCOX STD (EXISTING TO RELOCATE)	WILCOX FRONTAGE
6.1B	PEDESTRIAN LIGHT, INTERNAL SITE	INTERNAL TO SITE
6.1C	PEDESTRIAN LIGHT, T6CR WILCOX STD (NEW)	PHELPS FRONTAGE
6.2A	BOLLARD LIGHT	
6.3	WALL / STEP LIGHT	
6.4	UP LIGHT	
6.5	PARKING LOT LIGHT	
	PLANTING	
7.1A	DECIDUOUS TREE	
7.1B	EVERGREEN TREE	
7.1C	ORNAMENTAL TREE	
7.2A	IRRIGATED TURF (TEXAS HYBRID BLUEGRASS)	
7.2B	NATIVE SEED, TYPE 1	
7.2C	NATIVE SEED, TYPE 2	
7.3A	MULCH, SHREDDED WOOD (PLANTING AREA)	
7.3B	MULCH, 2'-3" COBBLE (PLANTING AREA)	
7.4	STEEL EDGER	

MATERIALS LEGEND

	IRRIGATED TURF (TEXAS HYBRID BLUEGRASS)
	NATIVE SEED, TYPE 1
	NATIVE SEED, TYPE 2
	MULCH, WOOD (PLANTING AREA)
	MULCH, 2'-3" COBBLE (PLANTING AREA)

UTILITIES LEGEND

— SS —	SANITARY SEWER LINE
— EX -W —	EXISTING WATER LINE
— ST —	STORM SEWER LINE
— UE —	UNDERGROUND ELECTRICAL LINE
— G —	GAS LINE

NOTE:
REFERENCE CIVIL ENGINEER'S DRAWINGS FOR ALL
UTILITY INFORMATION AND SYMBOLS.

IRRIGATION NOTES

GENERAL METHOD OF IRRIGATION:

SHRUB BEDS AND TREES WATERED WITH POINT SOURCE DRIP EMITTERS.
NATIVE SEED AREA DESIGN METHOD DEPENDENT ON AREA SIZE/WIDTH AS FOLLOWS:
- <10' - INLINE SUBSURFACE DRIP; 10'-25' WIDTH - 12" POPUP SPRAY; > 25'-12" ROTOR
TURF AREA DESIGN METHOD DEPENDENT ON AREA SIZE/WIDTH AS FOLLOWS:
- <10' - INLINE SUBSURFACE DRIP; 10'-25' WIDTH - 6" POPUP SPRAY; > 25'-6" ROTOR

IRRIGATION POINT OF CONNECTION: AS CALLED OUT ON DRAWING

ALL PLANTING AREAS ASSUME LOW WATER USE WITH THE EXCEPTION OF TURFGRASS AREAS AND
THE PLANTING BED NOTED ON THE PLAN LOCATED AT THE WESTERN BUILDING FRONTAGE

LANDSCAPE COVERAGE SUMMARY



Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional WILLIAM T BOWEN

Town of Castle Rock Registration # N/A State of Colorado License Landscape Architect # LA.0001108

Company Name BACK40 LANDSCAPE ARCHITECTURE Address 2329 CHERRY STREET, DENVER, COLORADO 80207

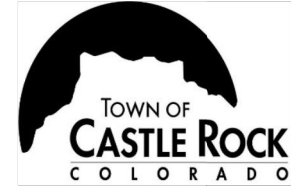
Phone 720.236.6656 Email BILL@BACK40LA.COM Date 2021-10-20

PROJECT NAME DOUGLAS COUNTY LIBRARY - PHILIP S. MILLER BRANCH

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
151,338 SF	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	Yes <u>X</u> No <u> </u>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
69,379 SF	11,395 SF	206	N/A	14	6'-0" SEE NOTE 2 BELOW	14	33	28 OR (4 / 1000 SF)	308

1. VARIANCE FOR REQUIRED PARKING ISLANDS BETWEEN PARKING SPACES APPROVED VIA TCV21-0072
2. VARIANCE FOR MINIMUM REQUIRED WIDTH FOR PARKING LOT ISLAND APPROVED ADMINISTRATIVELY. SEE TCV21-0094

CLWUR CHART



CLWUR (Composite landscape water use rating) Chart

Project Name: Douglas County Libraries - Castle Rock Library

Site Development Plan (SDP) Number: 1-SDP21-0042

Irrigation Spray or Drip?	Plant Name (Common)	Appl. Rate (inches/month)	Zone (V,L,Mod,H,W)	% of Total Area	IA Irrigated area (in sq. ft. for each zone)	LWUR Landscape Water Use Rating	TA Total Area of all Irrigated Landscape Zones	CLWUR (LWUR x IA) /TA
Spray	Texas Hybrid Bluegrass	3.8	High		5,216	3.8	34,558	0.57
Spray	Native Seed 1	1.4	Very low		4,917	1.4	34,558	0.20
Spray	Native Seed 2	1.4	Very low		1,569	1.4	34,558	0.06
Drip	Shrub Bed (Hydrozone 2)	2	Low		22,151	2	34,558	1.28
Drip	Shrub Bed (Hydrozone 3)	2	Low		705	2	34,558	0.04
						Total of the CLWUR	2.16	

Reference Chapter 13.20 of the Castle Rock Municipal Code

LANDSCAPE NOTES

1. FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
2. LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
3. ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
4. DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
6. DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
7. IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
8. IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
9. IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
10. NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
11. NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
12. AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
13. LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
14. DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE(45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
15. SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

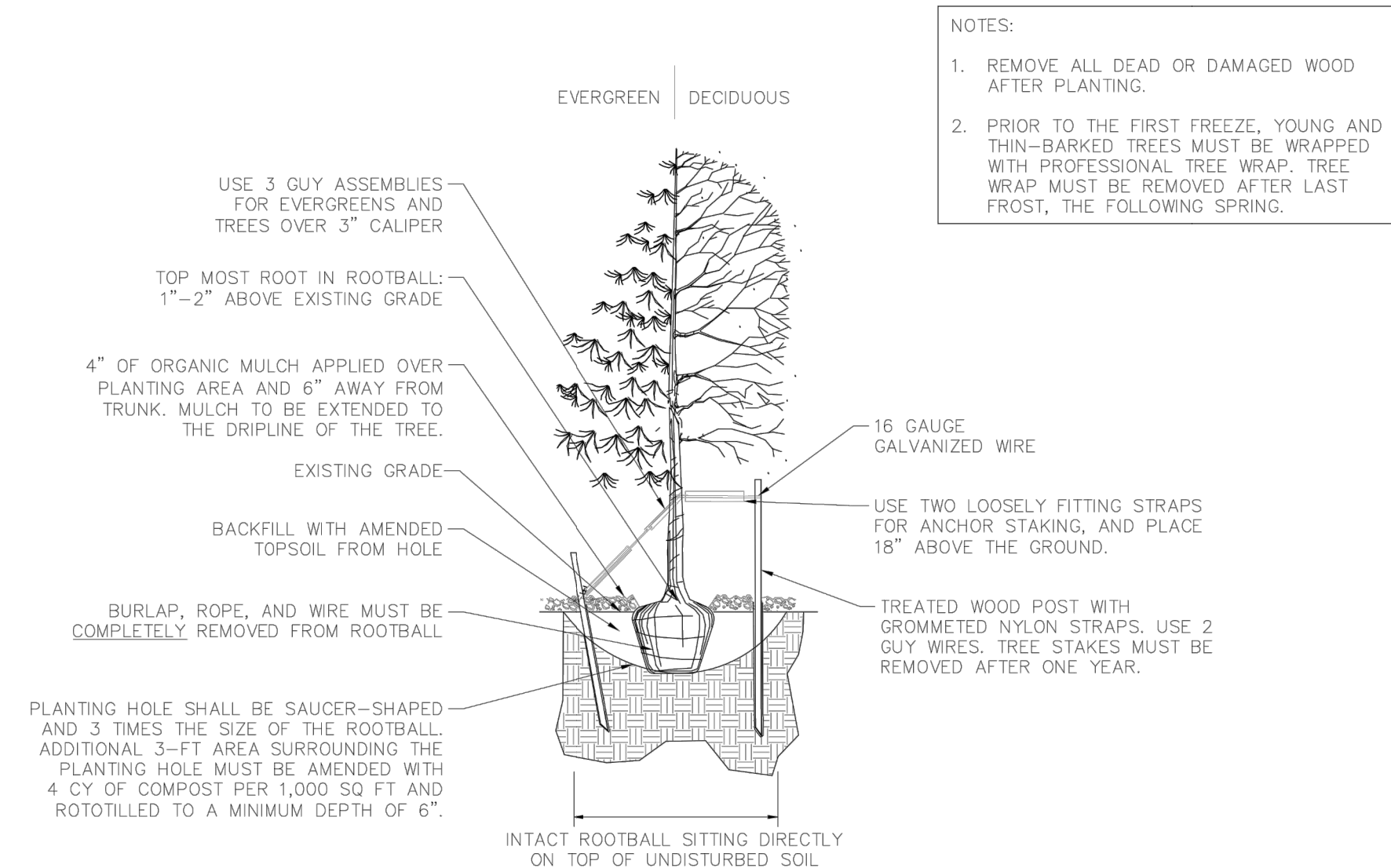
OTHER LANDSCAPE NOTES

1. ALL PLANT AREAS SHALL BE MULCHED WITH 4" ORGANIC SHREDDED HARDWOOD MULCH.
2. ALL DISTURBED LANDSCAPED AREAS SHALL BE SEEDED WITH A DROUGHT TOLERANT NATIVE SEED GRASS MIX OR DROUGHT TOLERANT TURF MIX AS RECOMMENDED IN THE TOWN OF CASTLE ROCK RECOMMENDED PLANT LIST. THESE AREAS SHALL RECEIVE INITIAL SPRAY IRRIGATION TO ESTABLISH PLANT MATERIAL AND SHALL DECREASE IRRIGATION VOLUME AND FREQUENCY AS PLANTS BECOME ESTABLISHED.
3. ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL, AND TREE AREAS SHALL BE DRIP IRRIGATED UNLESS OTHERWISE SPECIFIED.
4. CORNELL UNIVERSITY (CU) STRUCTURAL SOIL REQUIRED FOR ALL PLANTING AREAS LESS THAN 8'-0" IN WIDTH.
5. TOTAL MINIMUM IS 4 CU YDS OF ORGANIC MATTER PER 1,000 SF OF LANDSCAPE AREA. THIS IS TO BE ROTOTILLED TO A DEPTH OF 6 INCHES. CLASS I COMPOST IS REQUIRED.

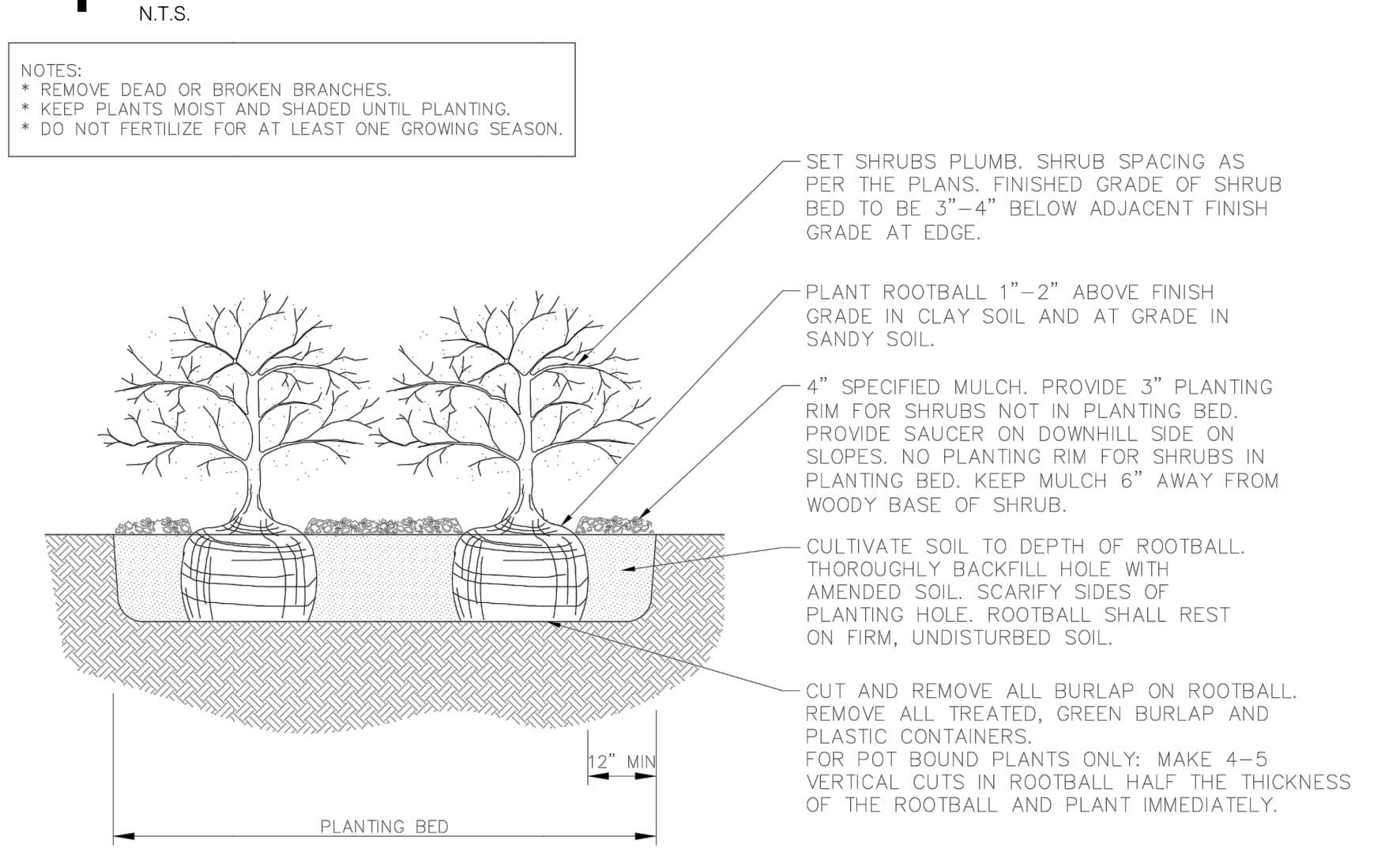
STREETSCAPE

LANDSCAPE REQUIREMENTS									
STREET*	LENGTH	UNITS	TREES REQUIRED (1 PER 22'-0")	TREES PROVIDED	SHRUBS REQUIRED (5 PER TREE)	SHRUBS PROVIDED	PERENNIALS REQUIRED (7 PER TREE)	PERENNIALS PROVIDED	
WILCOX STREET	326'-0"	LF	15	17	5 TREES X 5 = 25	25	10 TREES X 7 = 70	112	
PHELPS STREET	462'-0"	LF	21	20**	11 TREES X 5 = 55	55	10 TREES X 7 = 70	102	
TOTALS			36	37	80	80	140	214	

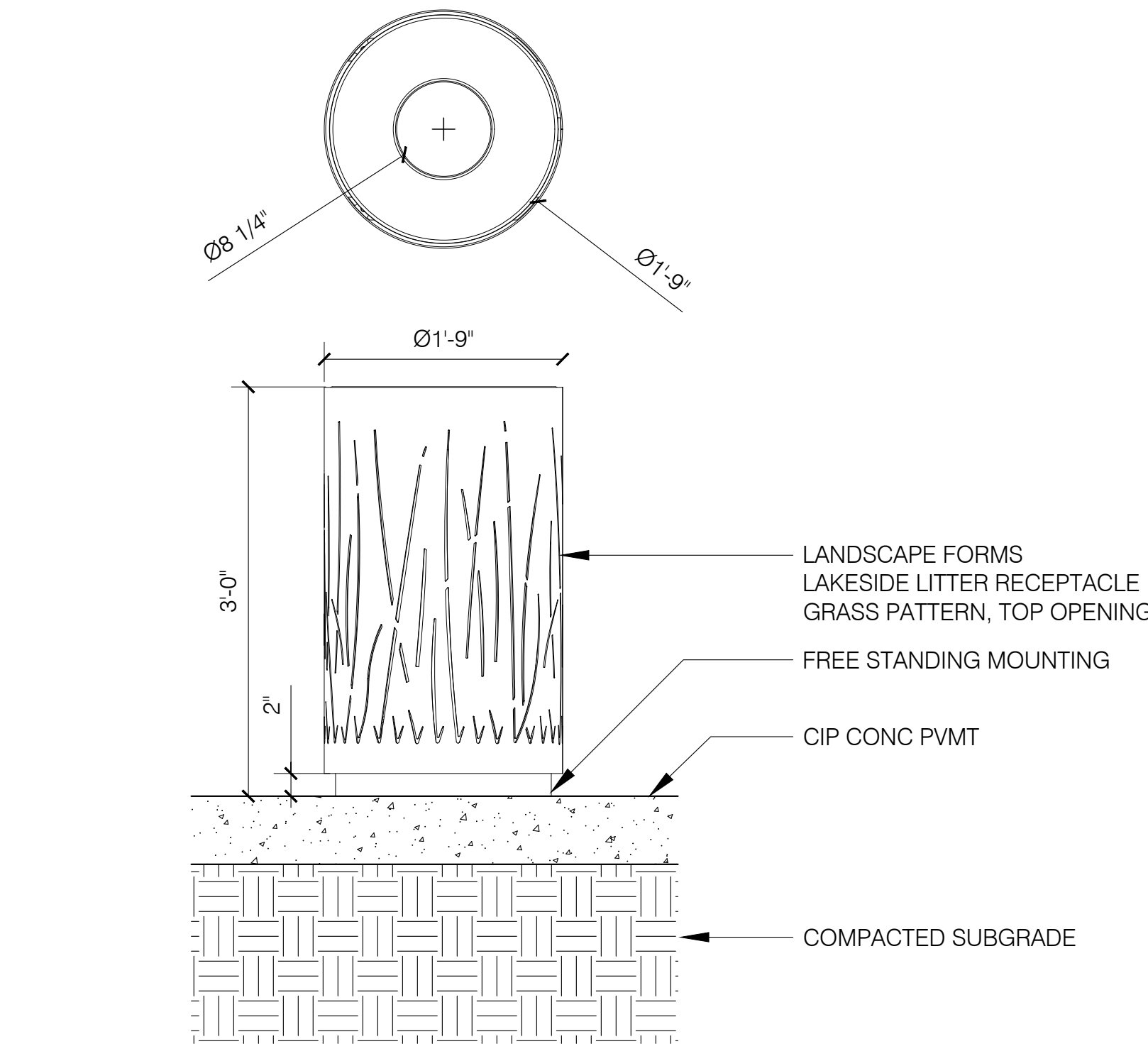
- * PERRY STREET NOT PART OF THIS SDP
- ** VARIANCE FOR MINIMUM REQUIRED STREET TREES APPROVED BY DRB. SEE TCV21-0070.



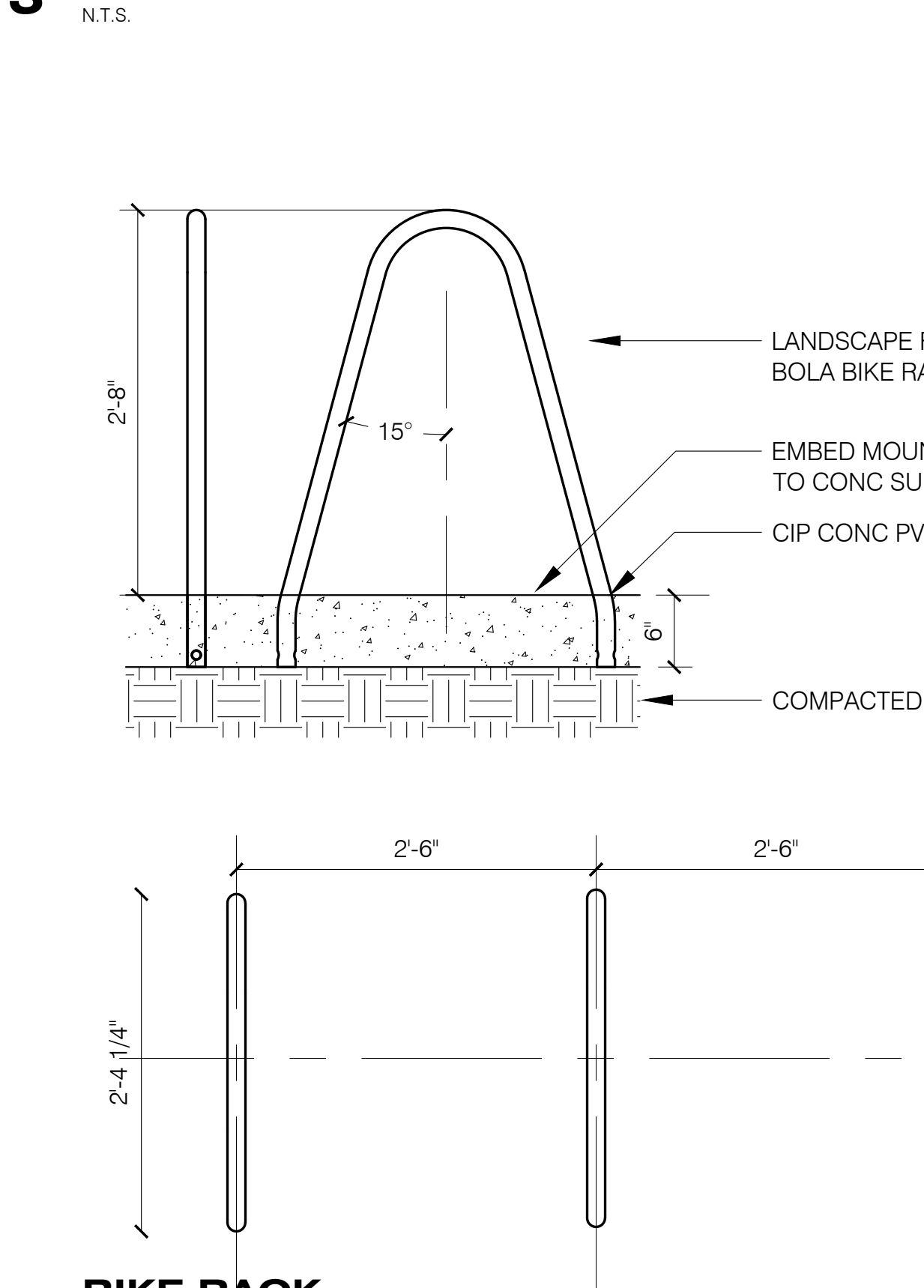
1 TREE PLANTING



2 SHRUB PLANTING



3 LITTER RECEPTACLE



4 BIKE RACK

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1/12/2022

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1-SDP21-0042

LANDSCAPE SUMMARY,
NOTES, & DETAILS

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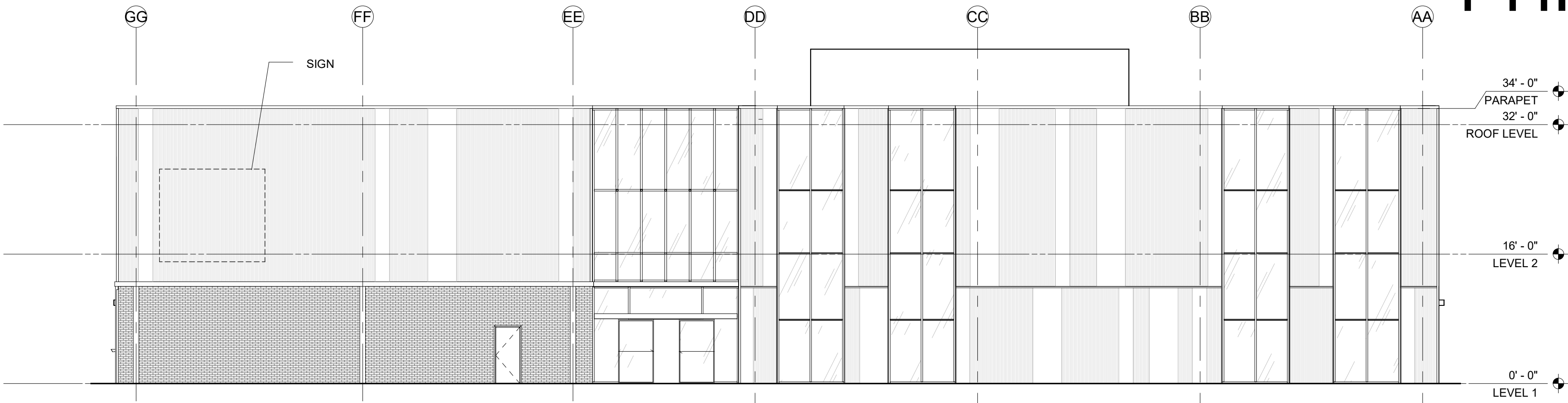
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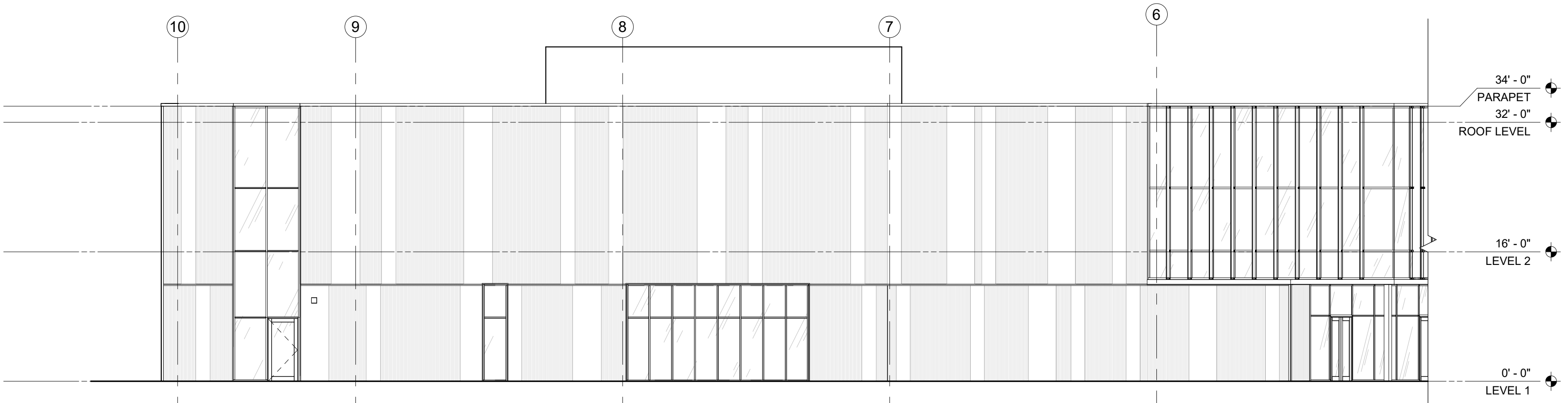
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**2-SDP21-0042 BUILDING
ELEVATIONS**

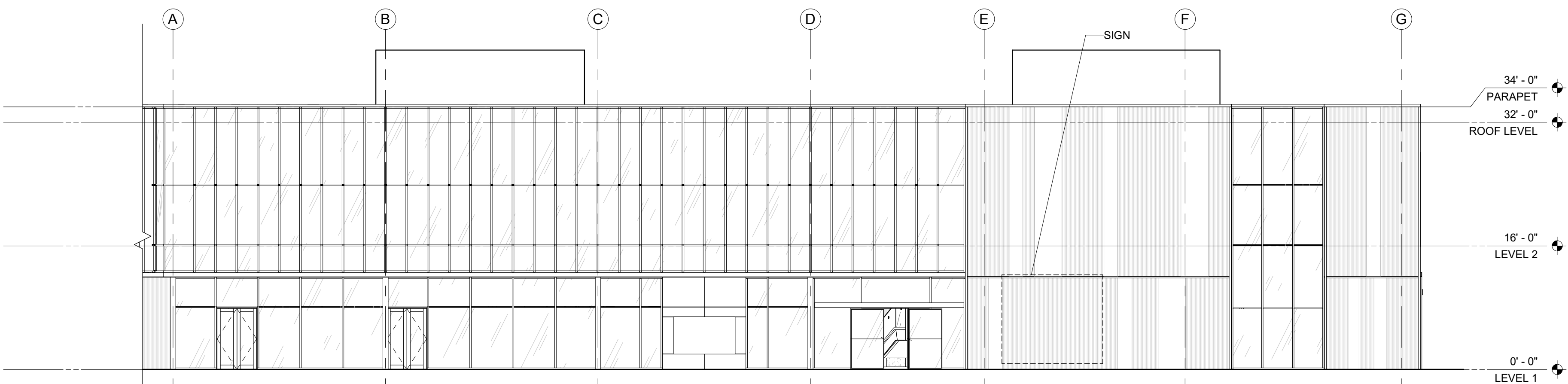
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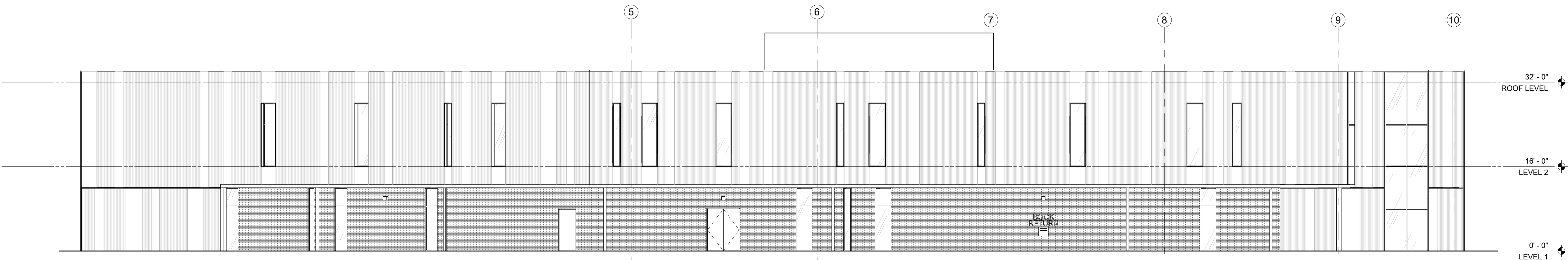
A1 - OVERALL EXTERIOR ELEVATION - EAST
3/32" = 1'-0"



A2 - OVERALL EXTERIOR ELEVATION - NORTH
3/32" = 1'-0"



A3 - OVERALL EXTERIOR ELEVATION - WEST
3/32" = 1'-0"

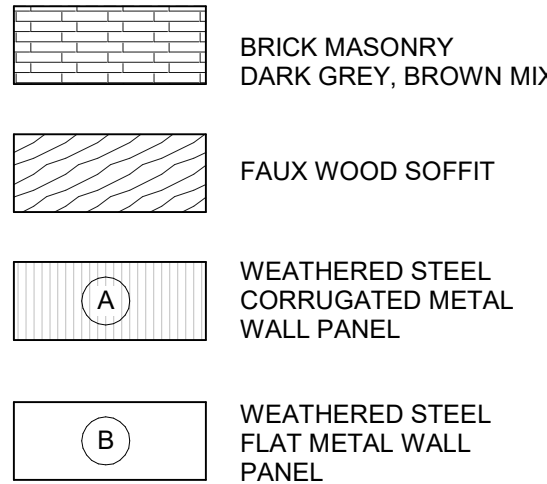


A4 - OVERALL EXTERIOR ELEVATION - SOUTH
3/32" = 1'-0"

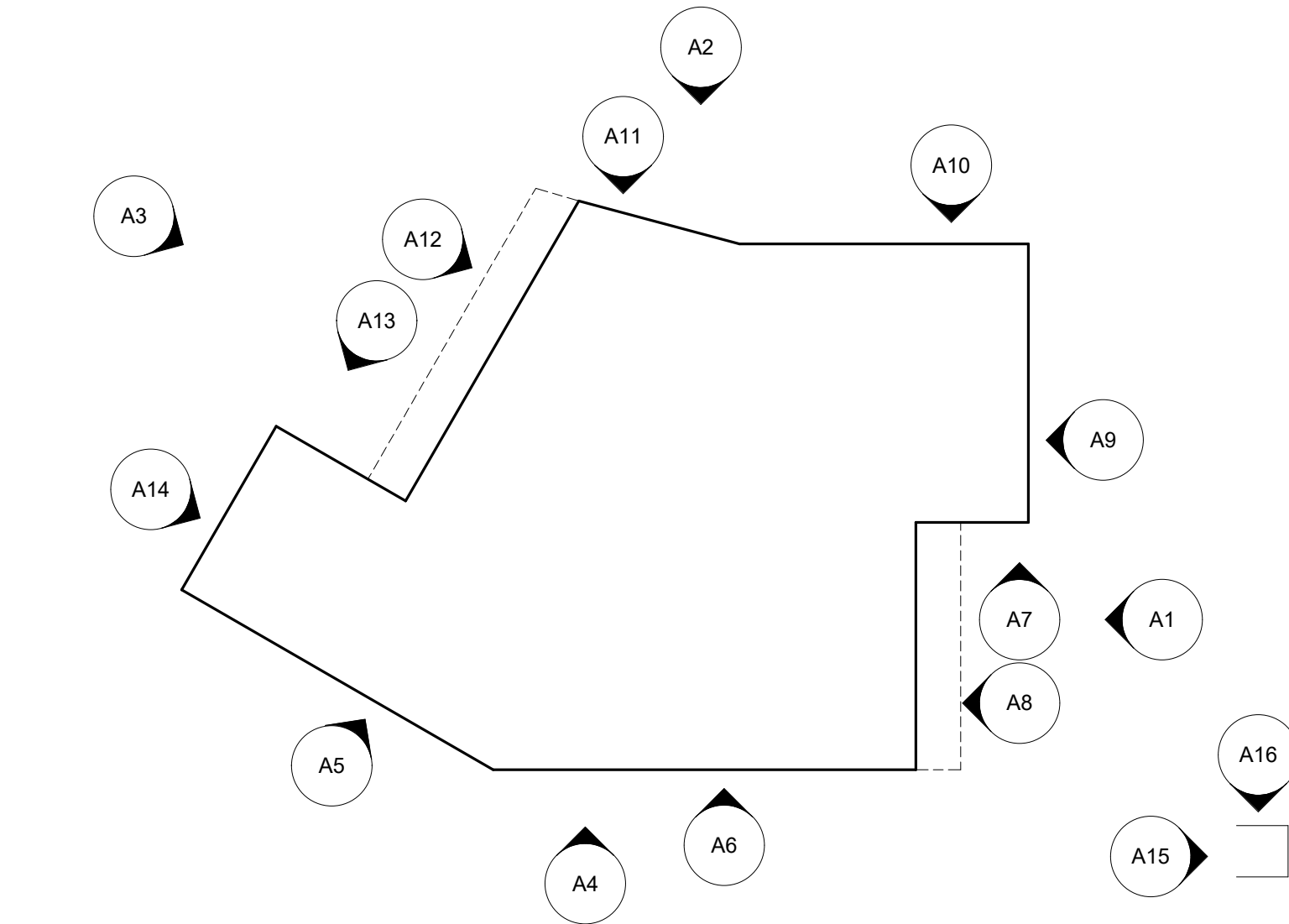
BUILDING SIGN NOTE

All building signs will be reviewed and approved at time of sign permit. All signs to be in conformance with the Town of Castle Rock Sign Code Regulations.

EXTERIOR MATERIALS LEGEND

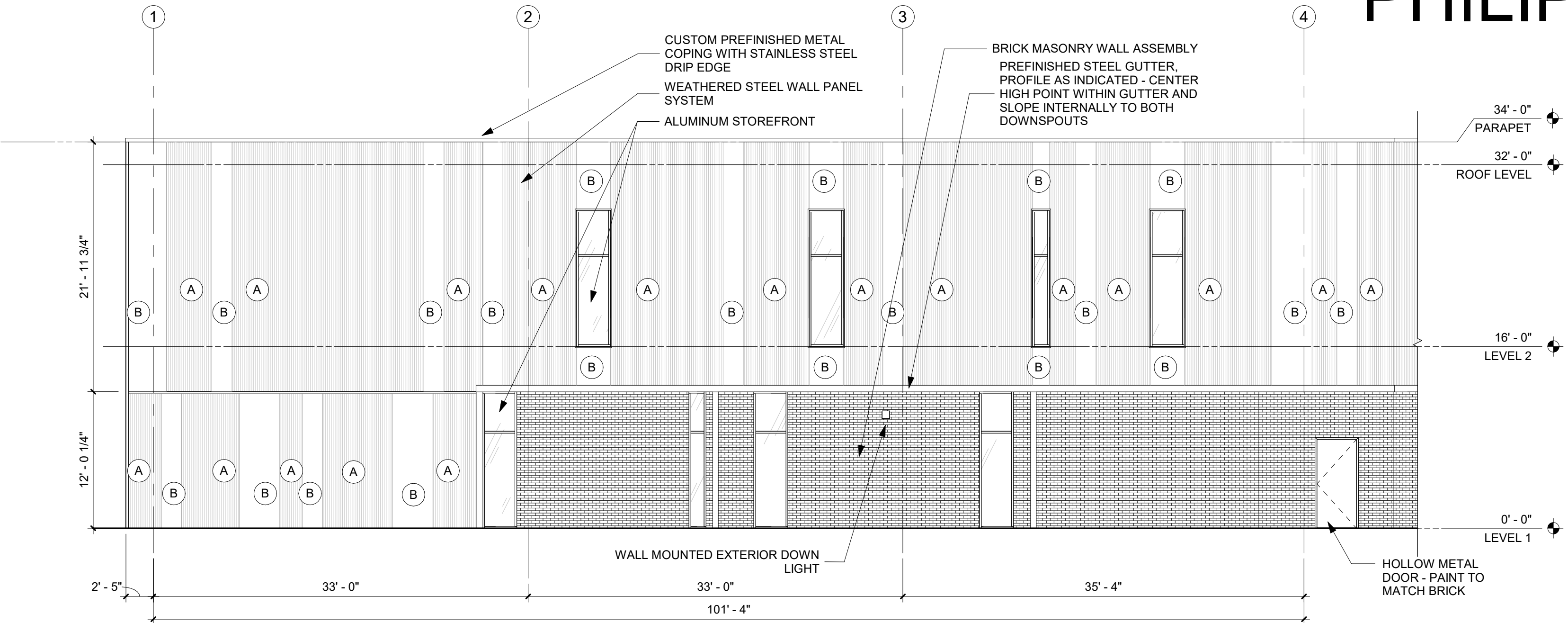


LEGEND - EXTERIOR MATERIALS
1/4" = 1'-0"

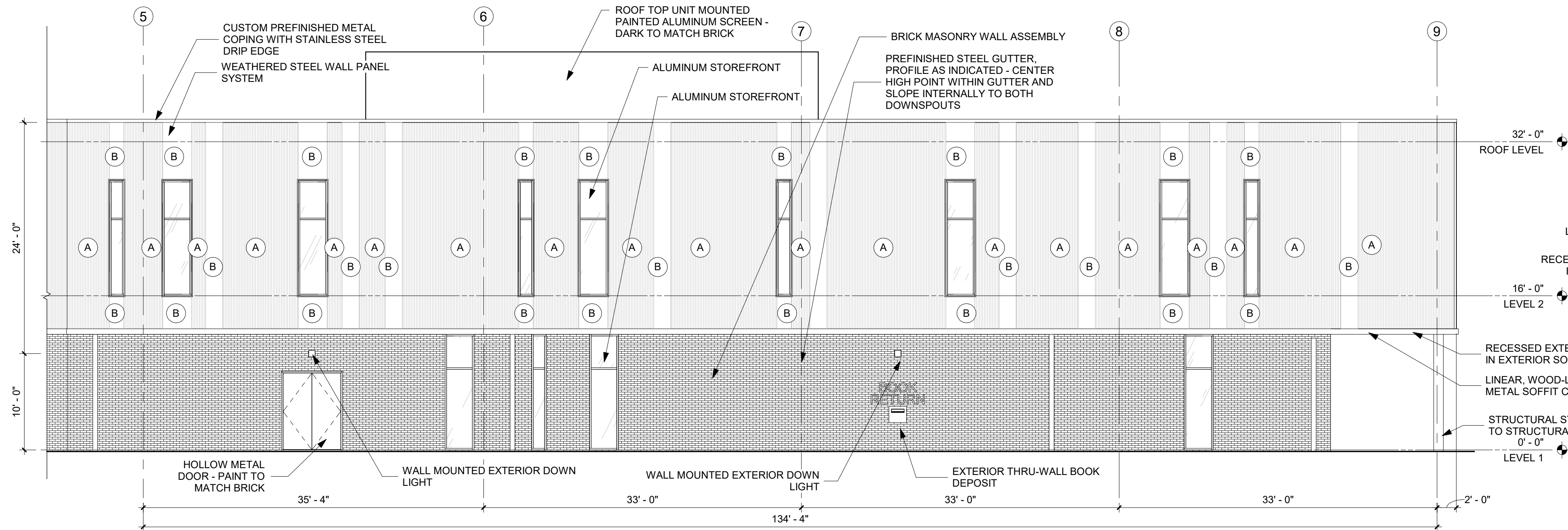


SDP KEY PLAN
1" = 50'-0"

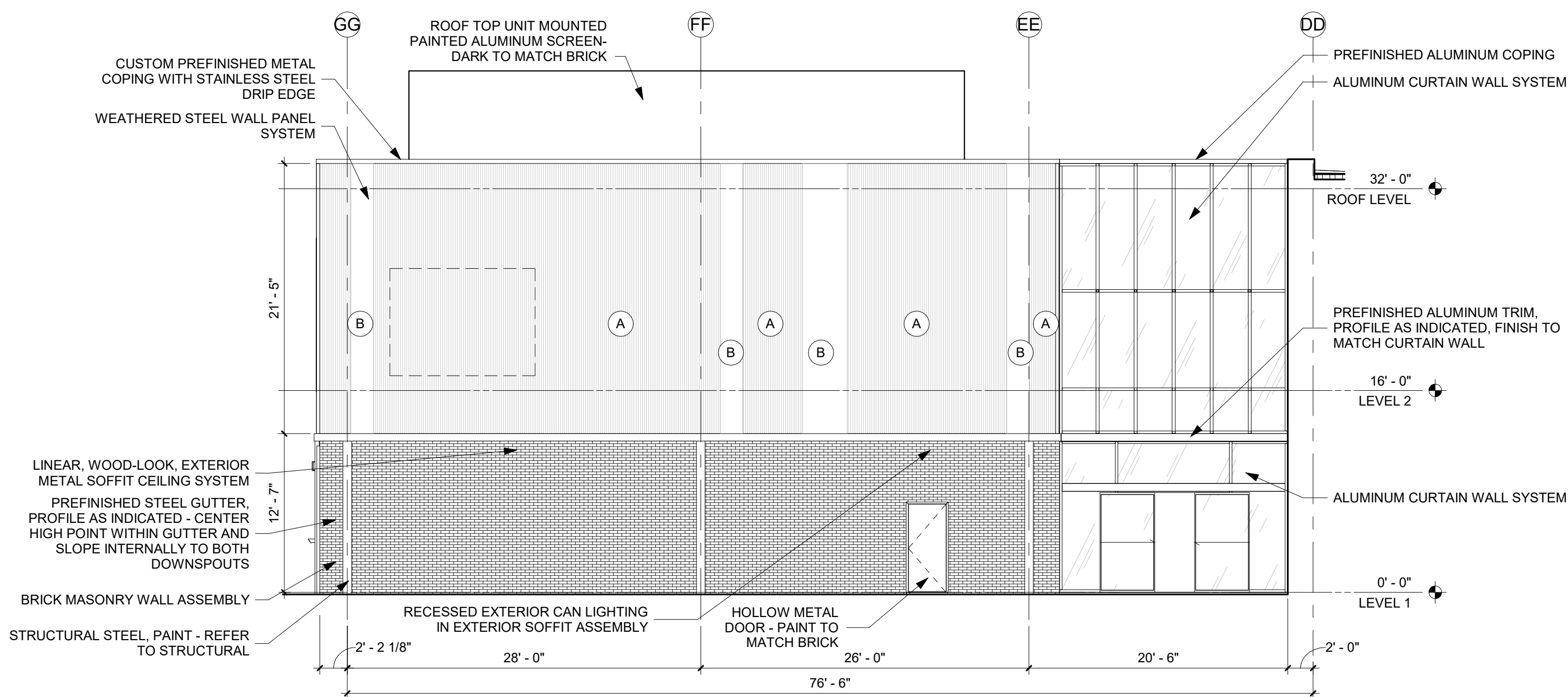
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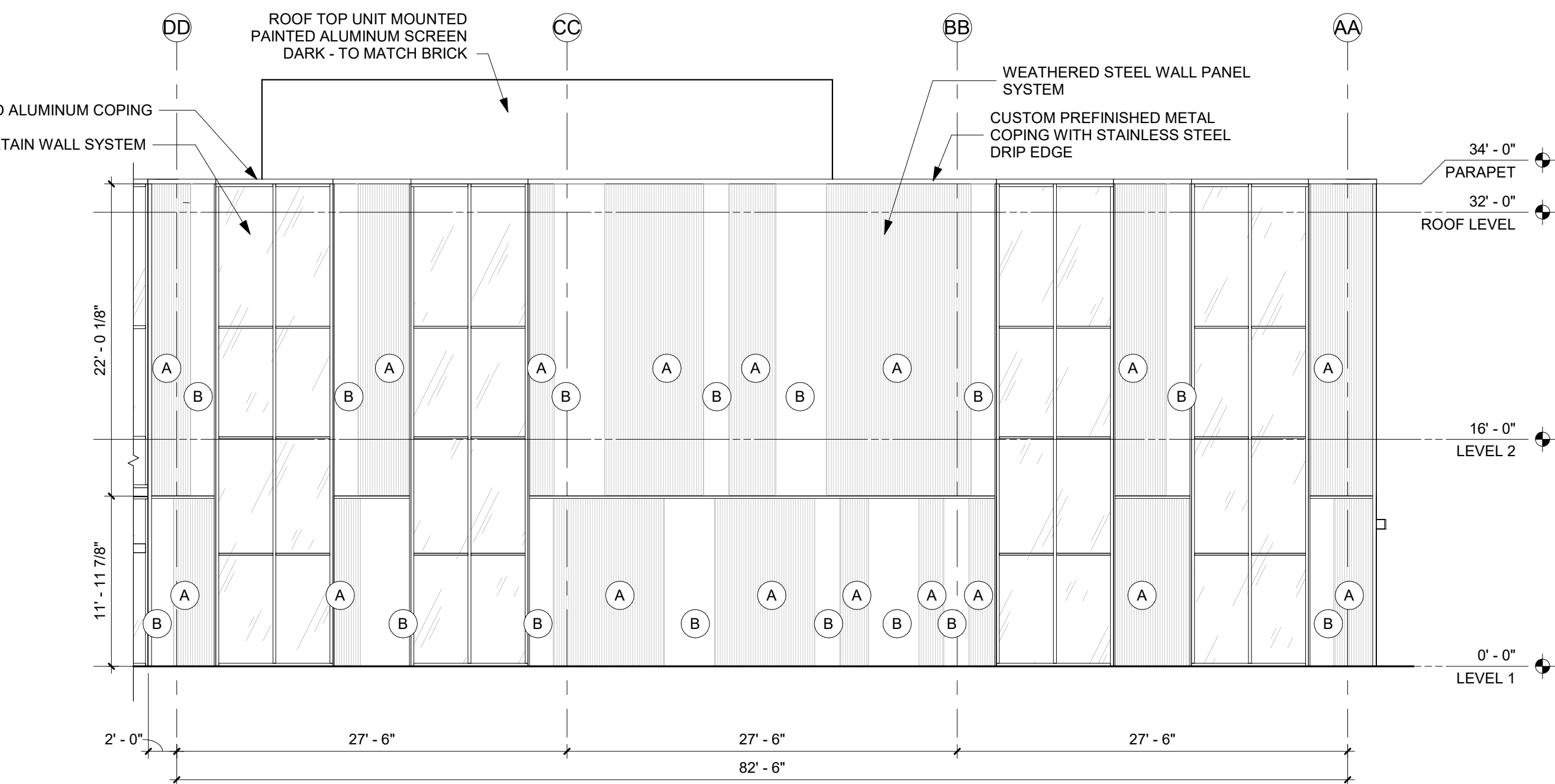
A5 - EXTERIOR ELEVATION - SOUTHWEST
1/8" = 1'-0"



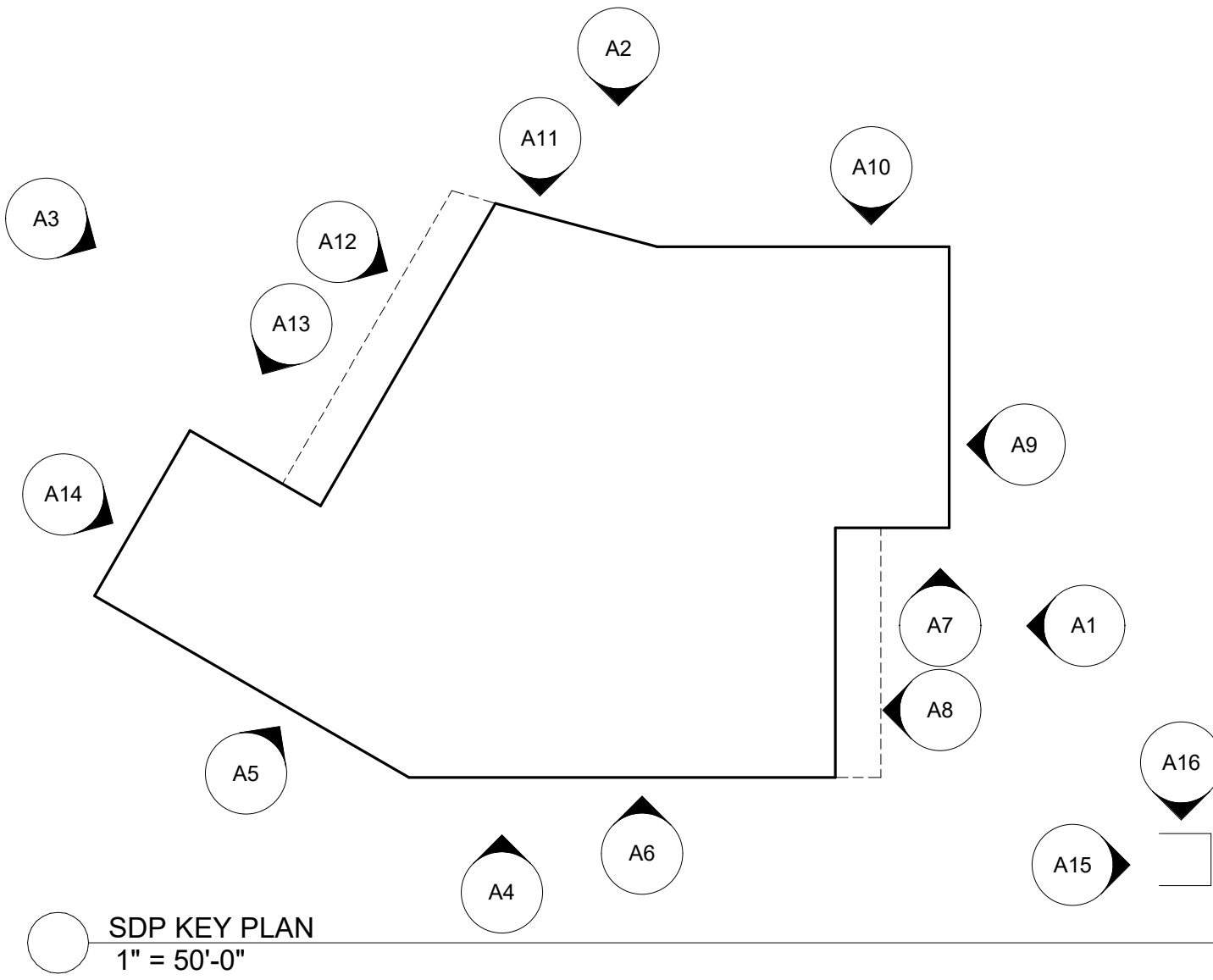
A6 - EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



A8 - EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



A9 - EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



EXTERIOR MATERIALS LEGEND	
	BRICK MASONRY DARK GREY, BROWN MIX
	FAUX WOOD SOFFIT
	WEATHERED STEEL CORRUGATED METAL WALL PANEL
	WEATHERED STEEL FLAT METAL WALL PANEL



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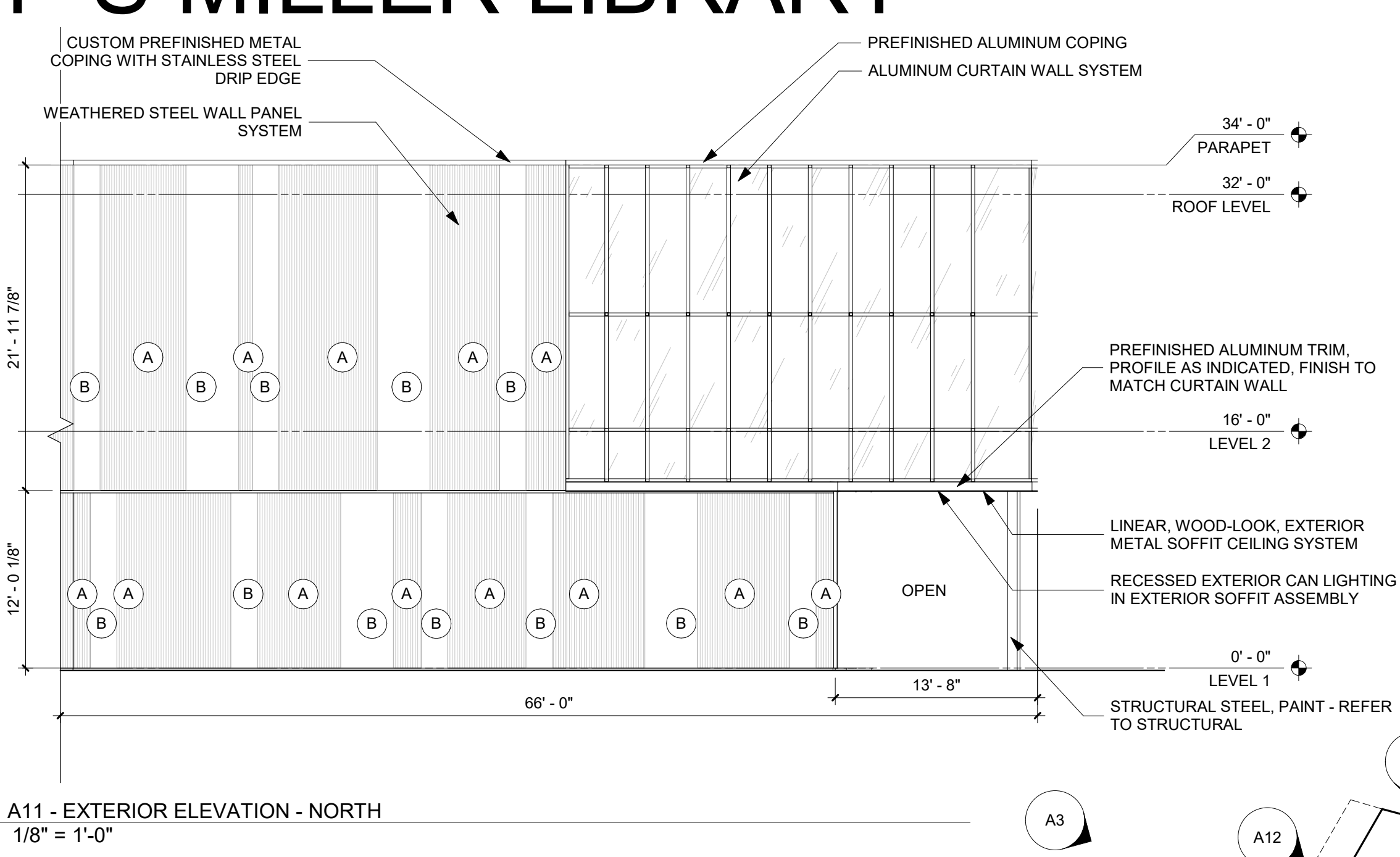
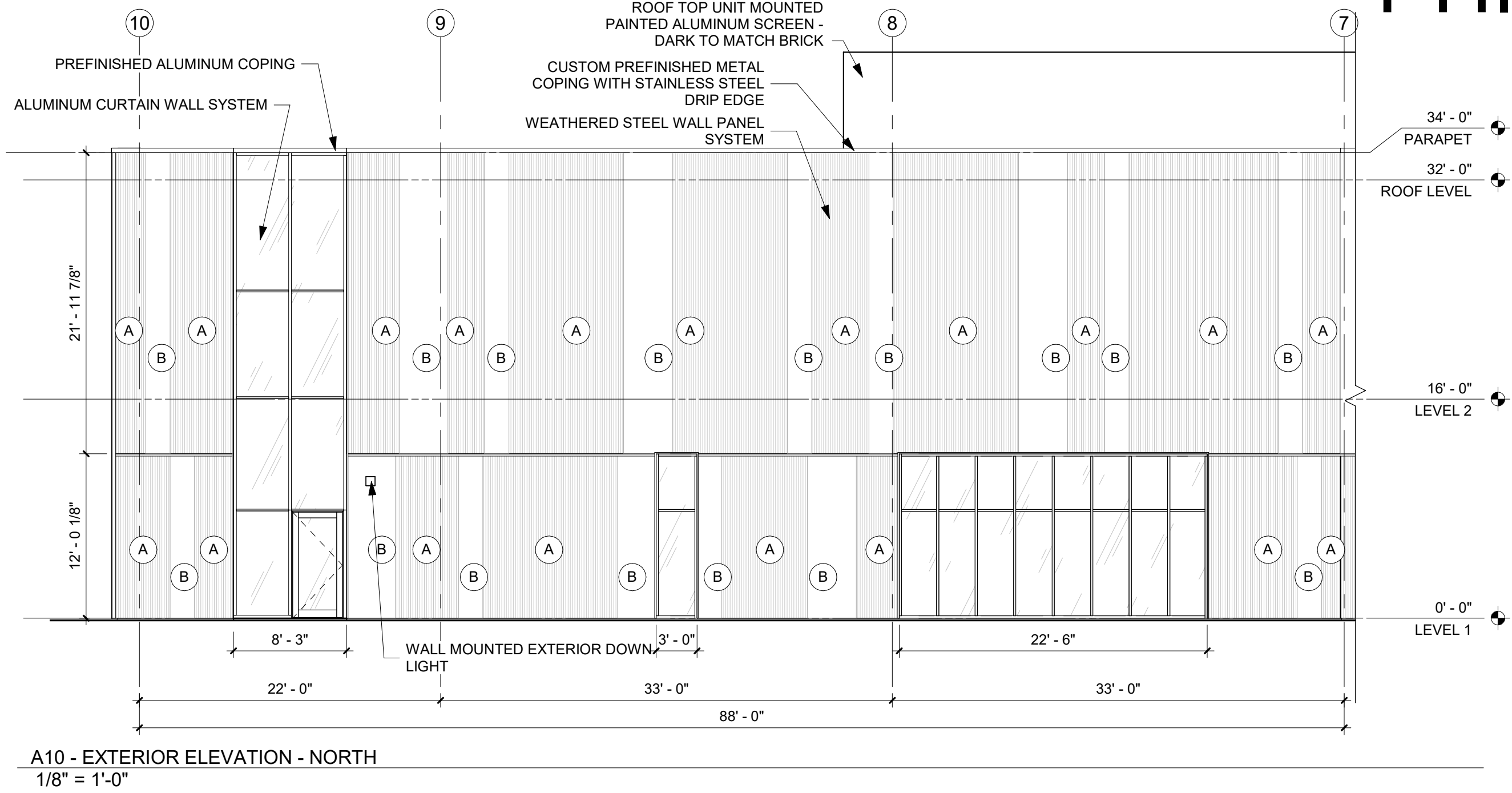
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2-SDP21-0042 BUILDING ELEVATIONS

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- EXTERIOR MATERIALS LEGEND**
- BRICK MASONRY
DARK GREY, BROWN MIX
 - FAUX WOOD SOFFIT
 - WEATHERED STEEL
CORRUGATED METAL
WALL PANEL
 - WEATHERED STEEL
FLAT METAL WALL
PANEL



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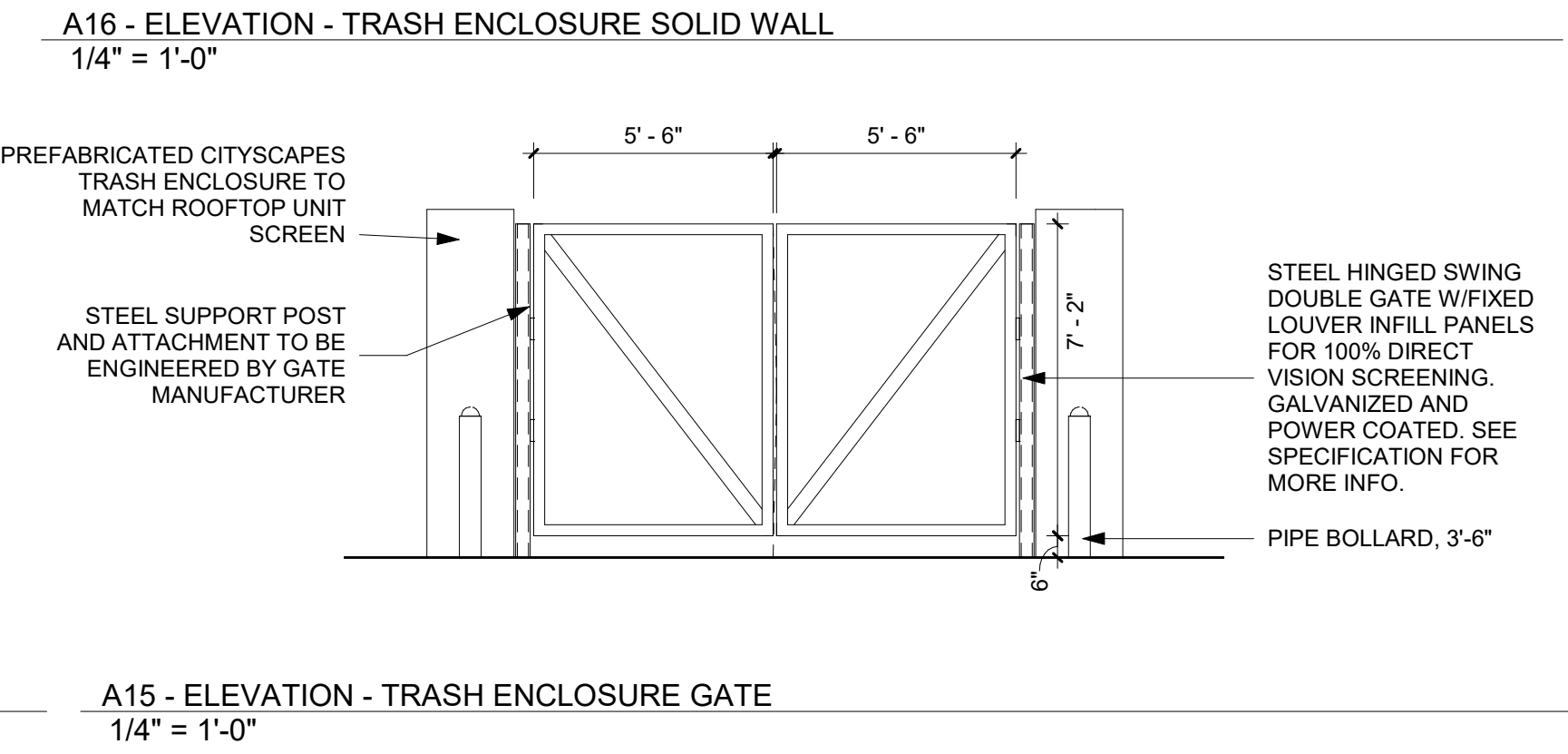
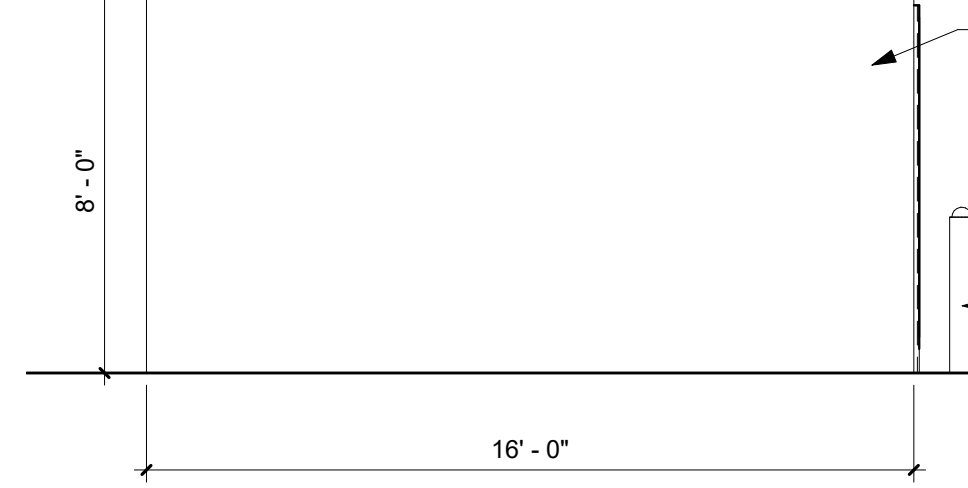
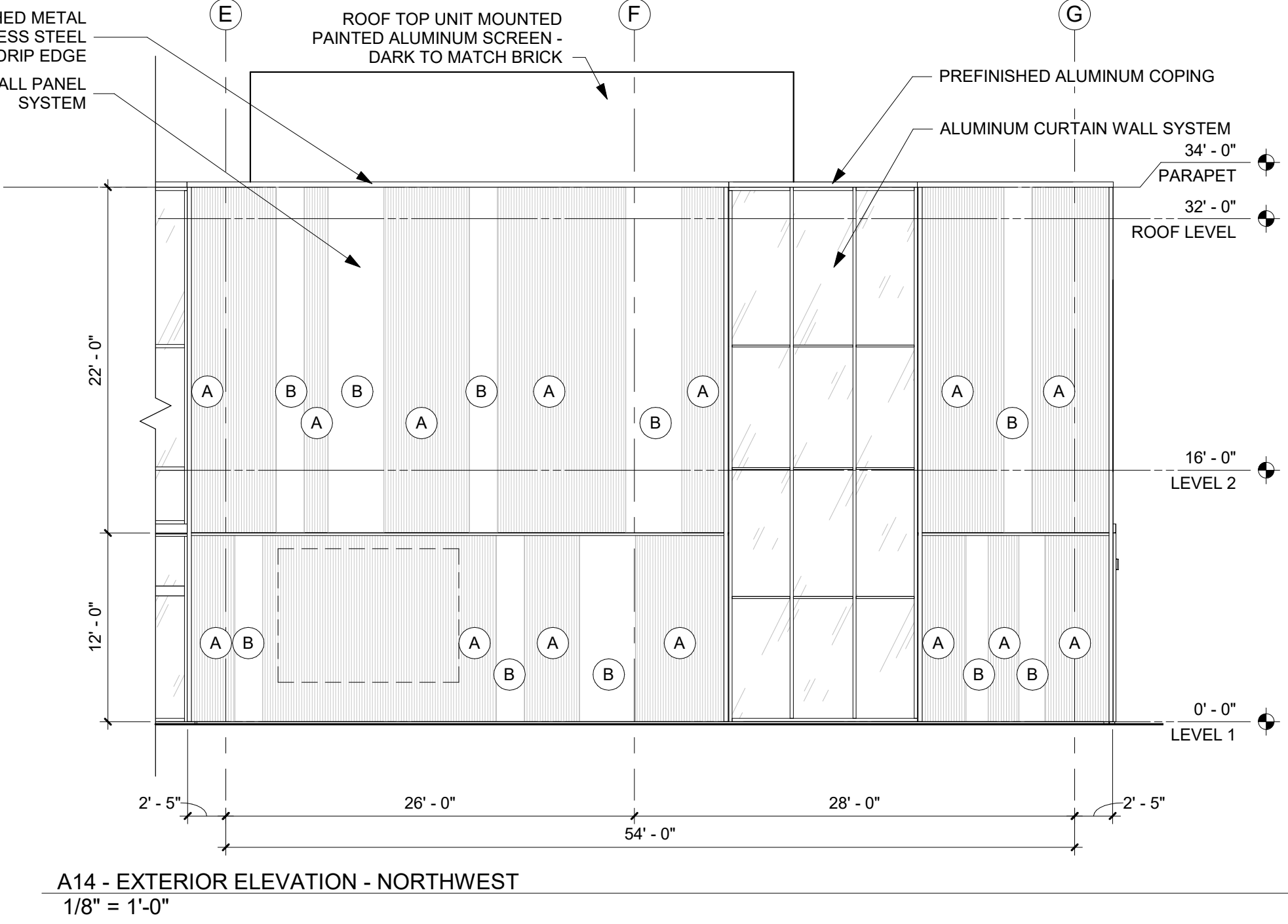
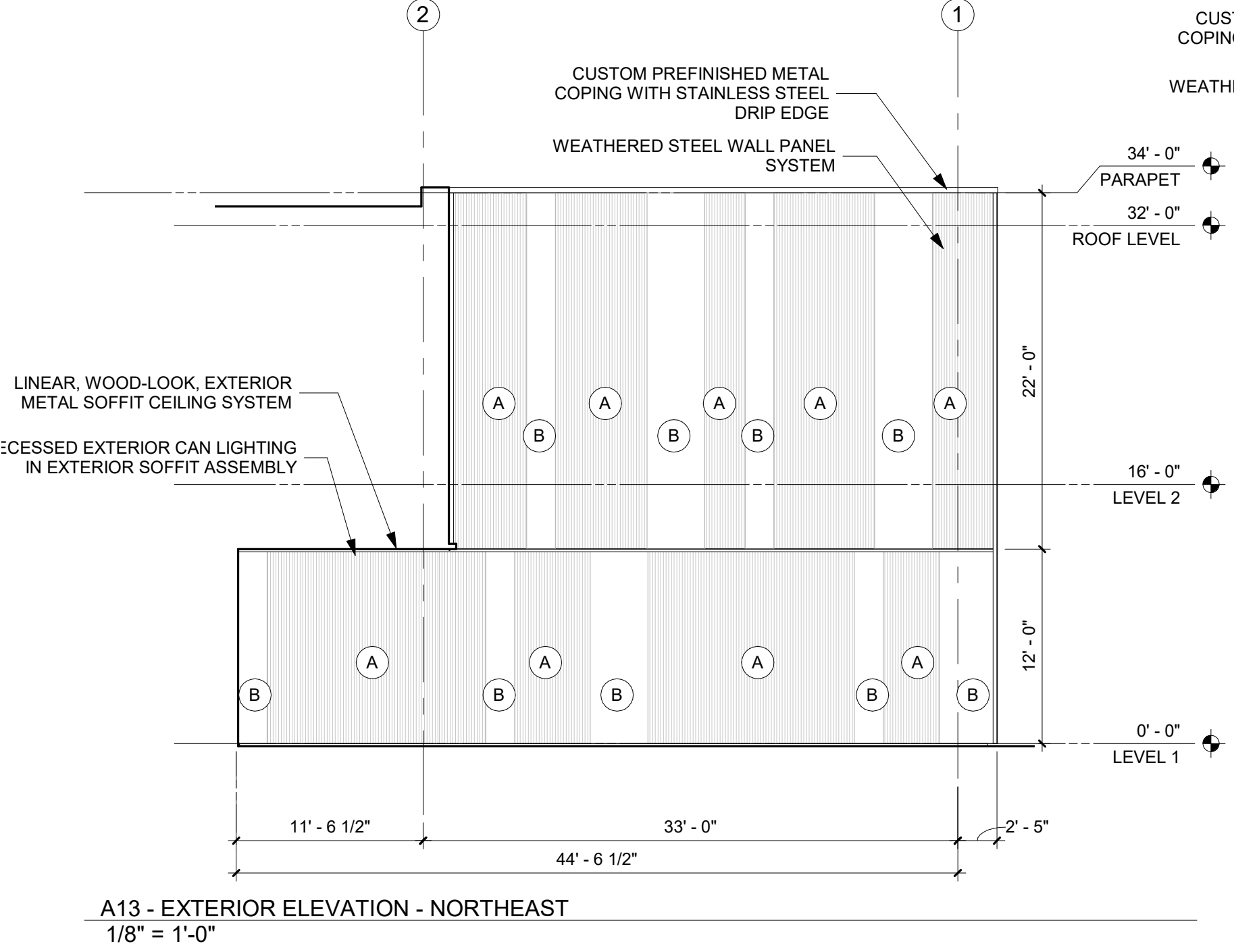
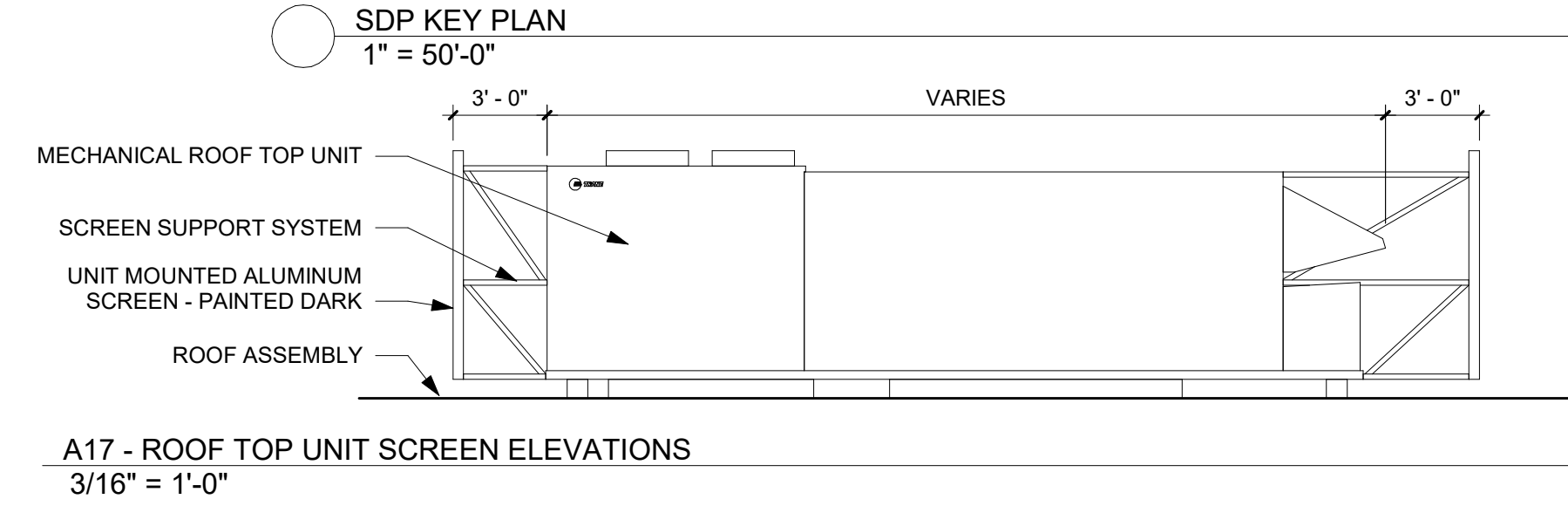
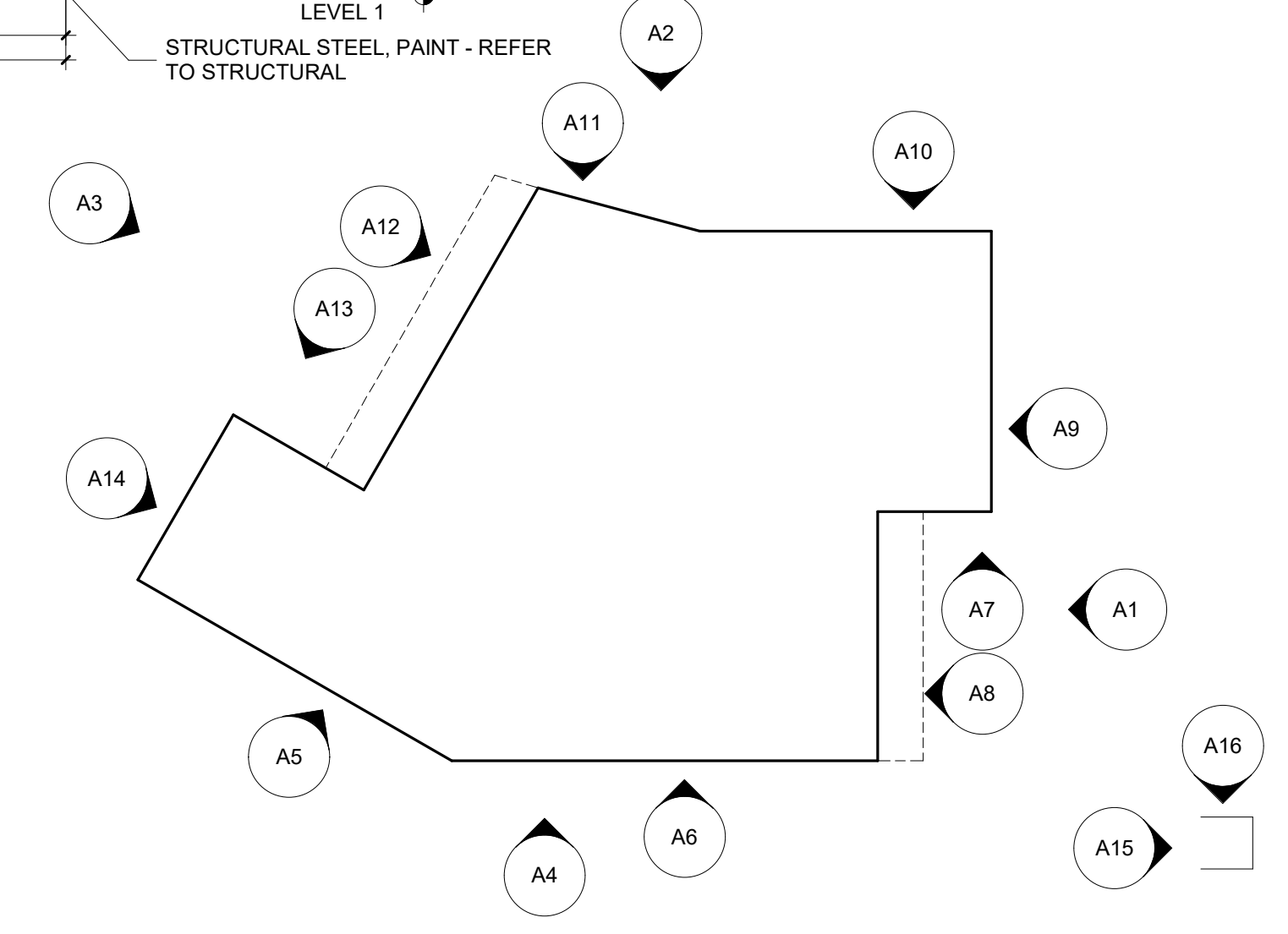
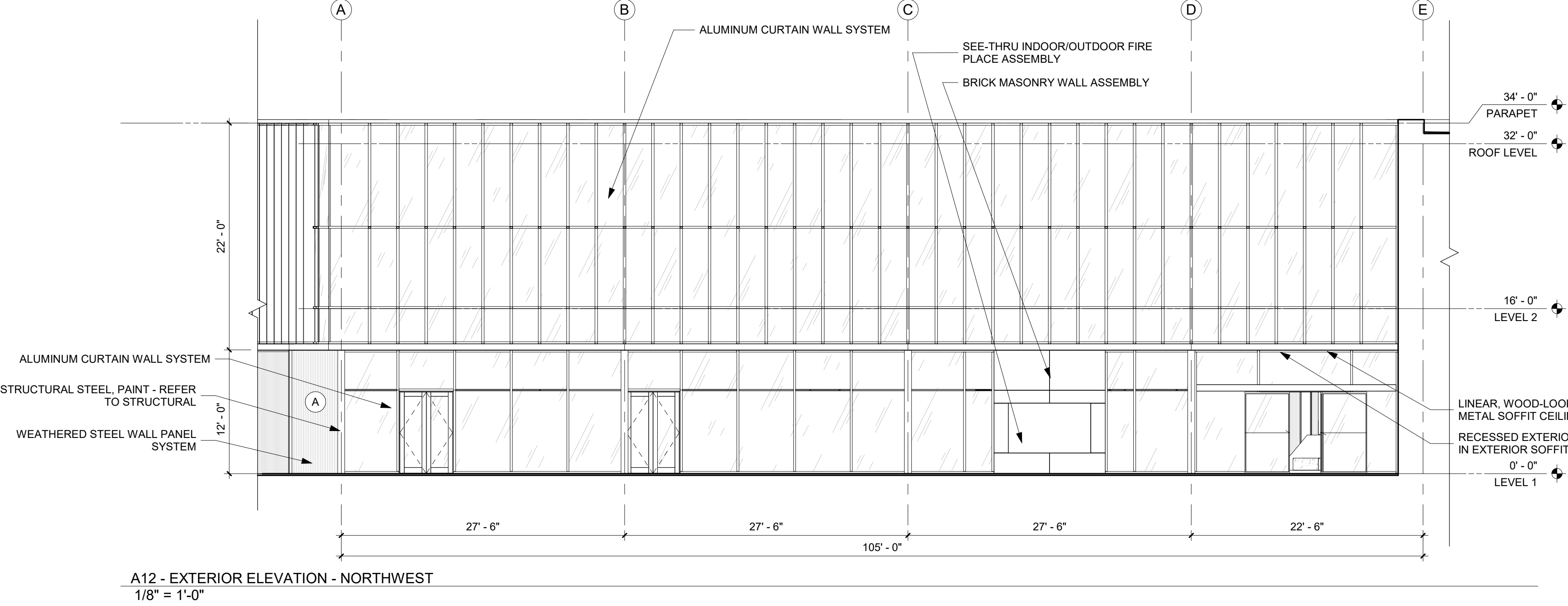
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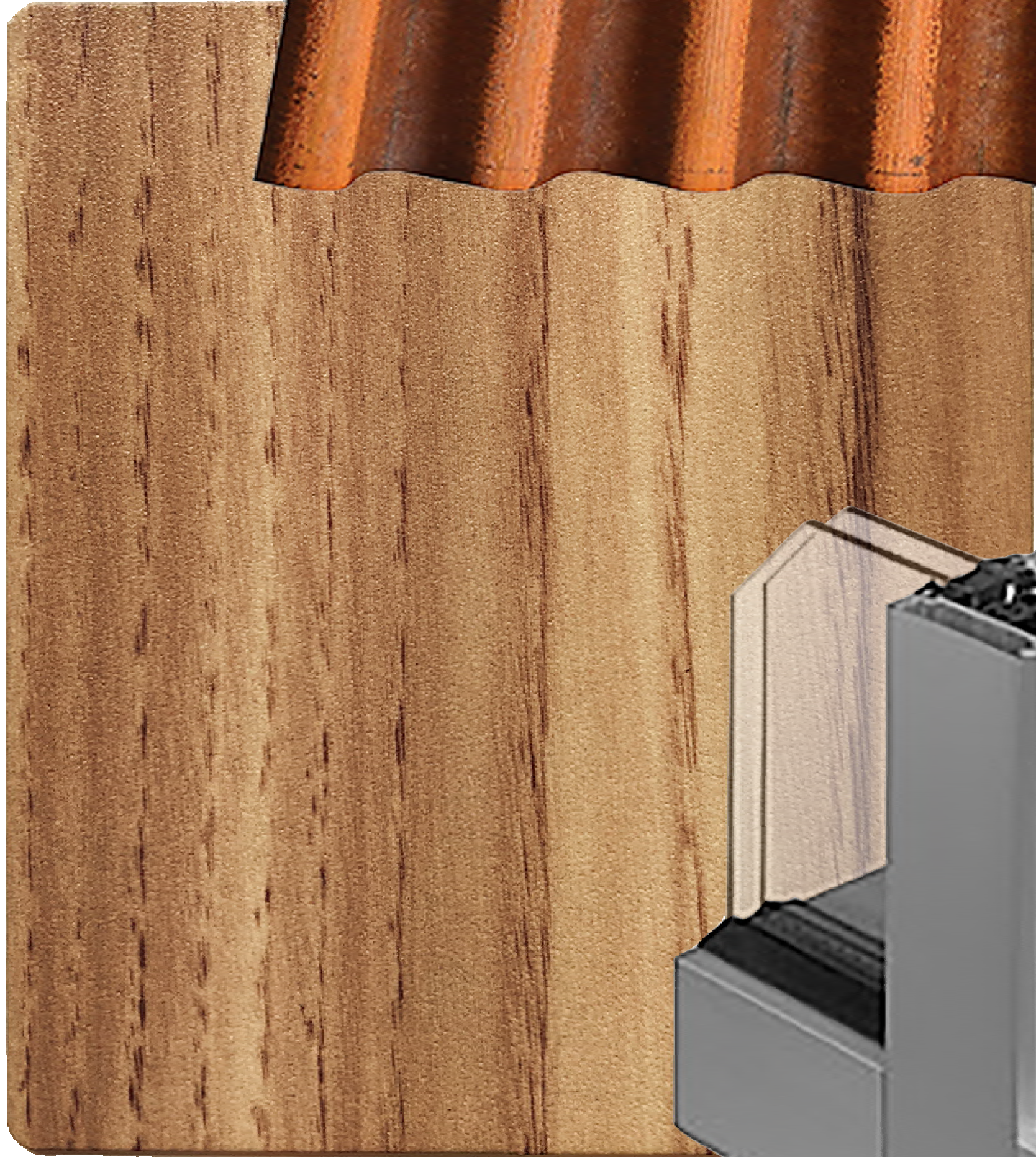
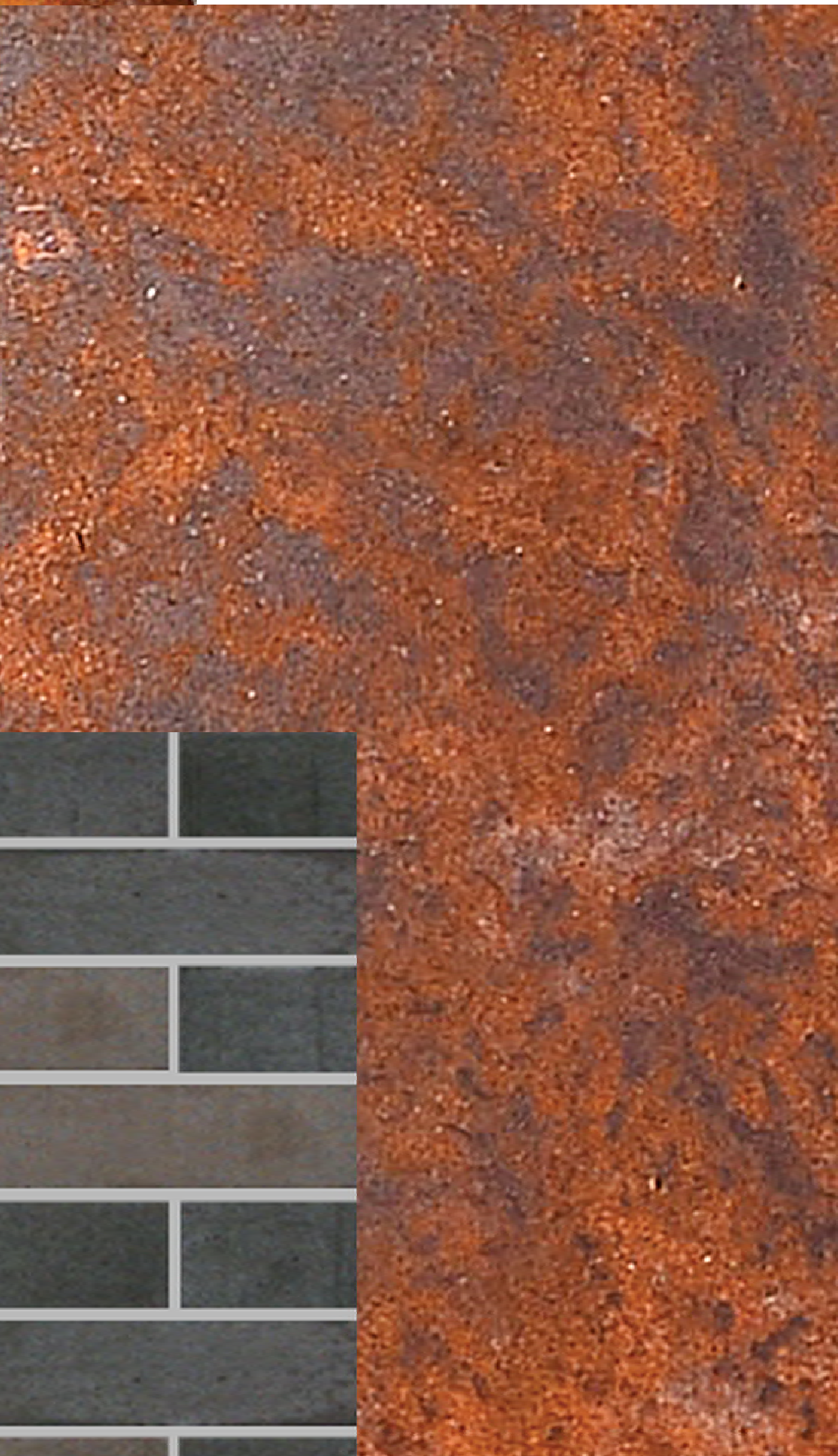


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WEATHERED STEEL
CORRUGATED METAL WALL PANEL



WEATHERED STEEL
FLAT METAL WALL PANEL



LINEAR, WOOD-LOOK, EXTERIOR
METAL SOFFIT CEILING



CLEAR ANODIZED
ALUMINUM GLAZING SYSTEM



BRICK MASONRY

MATERIAL BOARD



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**2-SDP21-0042 EXTERIOR
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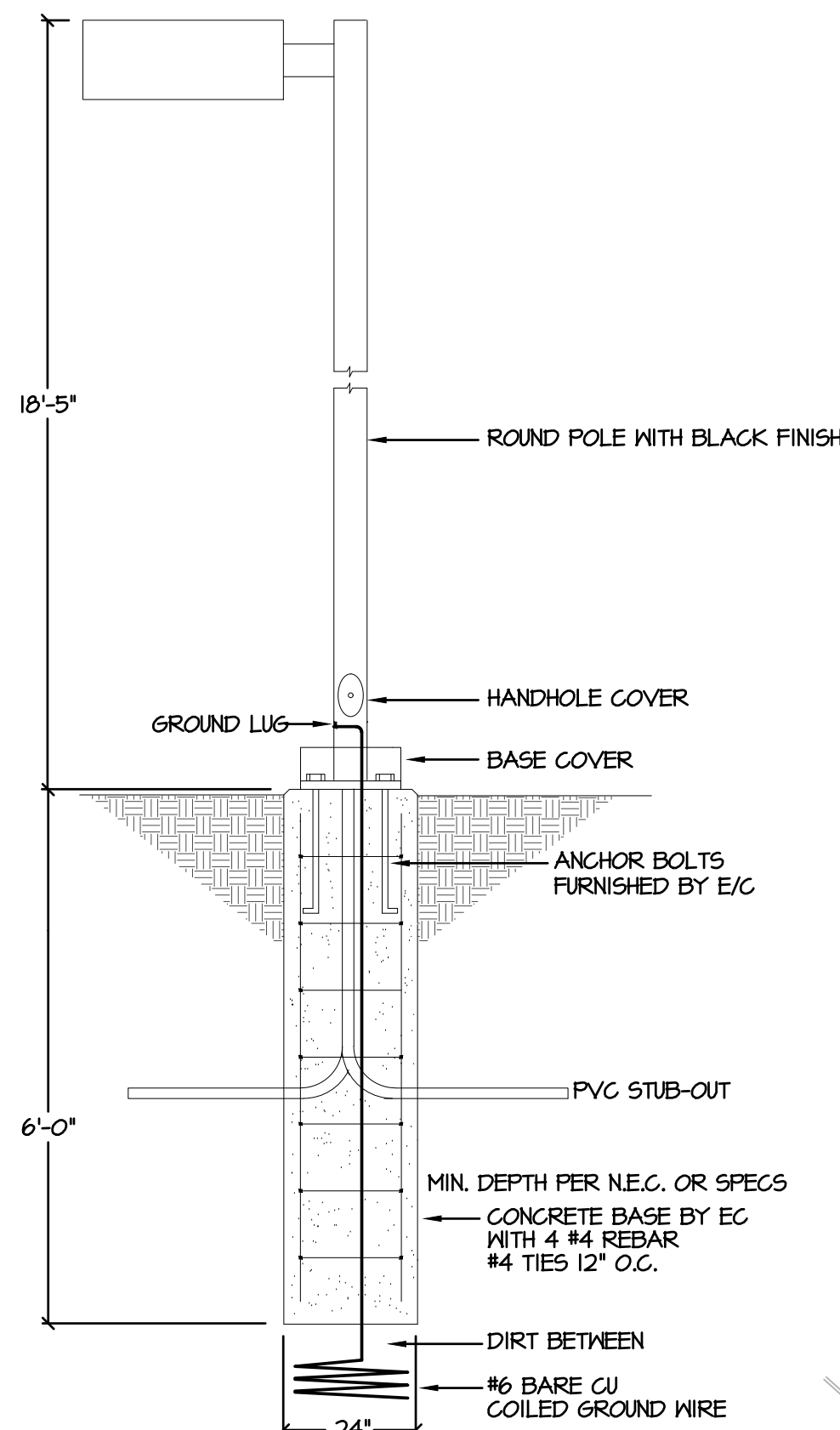
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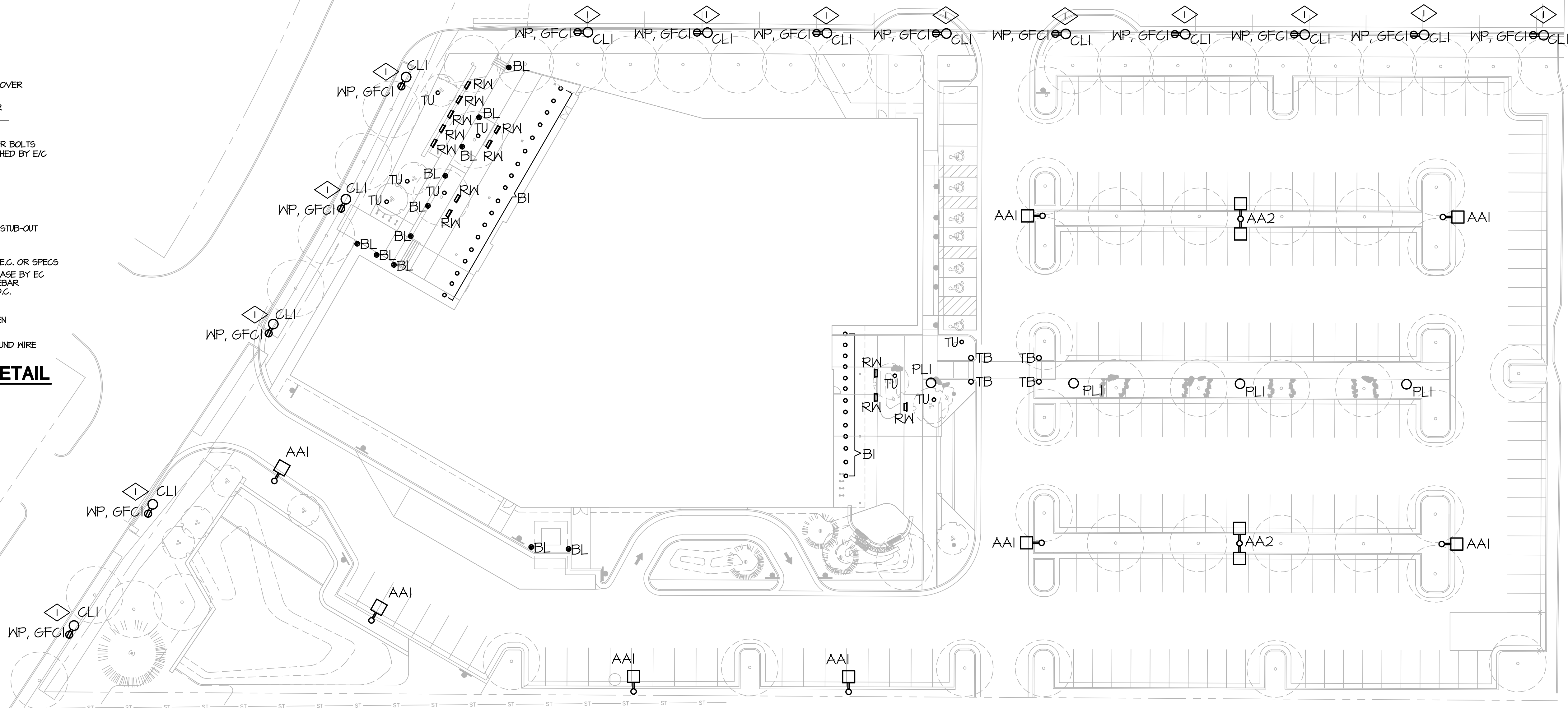
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Sheet Name
2-SDP-21-0042 LIGHTING PLAN

Sheet Number



LIGHTING POLE BASE DETAIL

SCALE: N.T.S.



DRAWING NOTES

1. LIGHTING POLES AND RECEPTACLES TO MATCH CASTLE ROCK CITY STANDARDS. RECEPTACLES TO BE SURFACE MOUNTED AT THE TOP OF EACH POLE. POLES WILL BE CONNECTED TO EXISTING PHOTOCELL LOCATED ON THE BACKSIDE OF A METER TO THE SOUTH BETWEEN EXISTING PIZZA HUT AND GAS STATION.



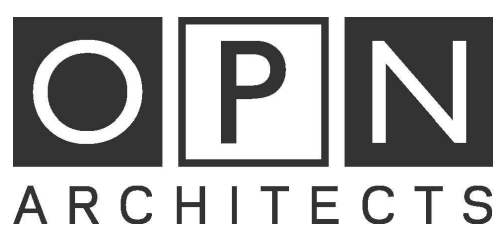
LIGHTING PLAN

SCALE: 1" = 30'-0"

GENERAL LIGHTING PLAN STANDARD NOTES:

1. OBJECTIVE FOR LIGHTING THE SITE: ILLUMINATION OF HARD SURFACES AT THE PARKING AREA, DRIVE ISLES, AND BUILDING PERIMETER FOR SAFETY AND SECURITY. ILLUMINATION OF CODE REQUIRED EXIT DISCHARGE POINTS.
2. HOURS OF OPERATION: DUSK TO DAWN. EXTERIOR LIGHTING TO BE CONTROLLED BY LIBRARY'S LIGHTING CONTROL PANEL WITH PHOTOCELL AND TIMER.
3. MITIGATION TO THE ADJACENT PROPERTIES: FULL CUT-OFF TYPE LIGHTING FIXTURES UTILIZED TO LIMIT GLARE AND LIGHT SPILL BEYOND PROPERTY LINE.
4. THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.

PHILIP S MILLER LIBRARY



200 5th Ave. SE, Suite 201
Cedar Rapids, IA 52401
P: 319-363-6018
F: 319-363-7349
www.opnarchitects.com

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Owner

Douglas County Libraries
100 S. Wilcox St
Castle Rock, CO 80104

Project

Castle Rock Library
100 S. Wilcox St
Castle Rock, CO 80104

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P: 303-783-3900

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1319 Spruce Street
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P: 303-444-1951

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MEP Engineering Inc.
6402 S. Troy Cir
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Low Voltage + Technology Consultant

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Seal

Revision Description Date

OPN Project No.
SD21212000

Sheet Issue Date
SDP SUBMISSION 5 1/12/2022

Sheet Name
2-SDP21-0042
LIGHTING SCHEDULE
AND FIXTURE
CUTSHEETS

Sheet Number

LTP444 LED-FT

116-0207 (previous product code: 645-4420 for reference only)

1/2



Description	IP64, Class I, K10, Marine-grade aluminum construction, SCE superior corrosion protection including PCS hardware, Silicone, CDSB Controlled Compression Gasket, Polycarbonate lens, Integral driver in thermally separated compartment, CAG-optimized indirect optics for superior illumination and glare control. Factory installed LED circuit board. Ideal for pathway lighting applications. Luminaire spacing up to 30 ft. Available as an Impact-Resist Fixture (ISCF, PL444), specify impact designation with your order, option below. Specify product with 7 digit product code - Finish Color (Other accessories, such as mounting, optical, and electrical, must be specified separately). Example: XXX-XXXX-9304 (Black) + XXX-XXXX (Accessories) Optional 2200K color version available. To be specified at time of ordering.
Beam Type	three-sided light output
Light Source	LED FT-27W (2000K)
CR	80
Gear Type	electronic gear
Nominal Lumens Flux (lm)	LED Lumens 6300 lm LEDs 1 Total Lumens 6300 lm Ta 25 °C
Delivered Lumens Flux (lm)	LED Lumens 2540 S lm Total Lumens 2540 S lm Ta 25 °C
Rated Input Power	42 W

KTY234 LED II

114-9093 (previous product code: 638-3672 for reference only)

1/4



Description	IP68, Class I, K10, Marine grade, all aluminum construction, SCE superior corrosion protection including PCS hardware, Silicone, CDSB Controlled Compression Gasket, Polycarbonate lens, Integral driver in thermally separated compartment, CAG-optimized indirect optics for superior illumination and glare control. Factory installed LED circuit board. Ideal for pathway lighting applications. Luminaire spacing up to 30 ft. Available as an Impact-Resist Fixture (ISCF, PL444), specify impact designation with your order, option below. Specify product with 7 digit product code - Finish Color (Other accessories, such as mounting, optical, and electrical, must be specified separately). Example: XXX-XXXX-9304 (Black) + XXX-XXXX (Accessories) Optional 2200K color version available. To be specified at time of ordering.
Beam Type	symmetric distribution [C30]
Light Source	LED 6/26W / 1400 mA - 3000 K
CR	80
Gear Type	electronic gear
Nominal Lumens Flux (lm)	LED Lumens 4960 lm LEDs 6 Total Lumens 2976 lm Ta 85 °C
Delivered Lumens Flux (lm)	LED Lumens 1935 S lm Total Lumens 1935 S lm Ta 25 °C
Rated Input Power	30 W

KTY234 LED IIC

410 S Executive Drive / Westborough, MA 01080 U.S.A. | Tel: +1 (204) 142-0028 | Fax: +1 (204) 142-0028 | info@sternberglighting.com | www.sternberglighting.com | 1-800-302-2121

PL1

we-ef

DESCRIPTION

The patented Lumark Crosstour® LED Wall Pack Series of luminaires provides an architectural piece with superior light, energy efficient LEDs, the low-voltage, rugged die-cast aluminum construction, stainless steel mesh back, stainless steel mounting plate, and a die-cast aluminum enclosure. The Crosstour wall pack is ideal for use in a variety of applications, including: walkways, entrances, exits, and parking areas. The Crosstour wall pack is also ideal for use in a variety of applications, including: walkways, entrances, exits, and parking areas.

Construction

The Crosstour wall pack is constructed from die-cast aluminum, stainless steel, and polycarbonate. The Crosstour wall pack is constructed from die-cast aluminum, stainless steel, and polycarbonate. The Crosstour wall pack is constructed from die-cast aluminum, stainless steel, and polycarbonate.

Optical

The Crosstour wall pack is constructed from die-cast aluminum, stainless steel, and polycarbonate. The Crosstour wall pack is constructed from die-cast aluminum, stainless steel, and polycarbonate. The Crosstour wall pack is constructed from die-cast aluminum, stainless steel, and polycarbonate.

Electrical

The Crosstour wall pack is constructed from die-cast aluminum, stainless steel, and polycarbonate. The Crosstour wall pack is constructed from die-cast aluminum, stainless steel, and polycarbonate. The Crosstour wall pack is constructed from die-cast aluminum, stainless steel, and polycarbonate.

XTOR CROSSTOUR LED

APPLICATIONS: WALL, CEILING, FLOOR, POLE, AND LOW VOLTAGE. INVERTED, BELL, AND OTHER.

CERTIFICATION DATA

LED 12/12/09 / 1200 mA - 3000 K

TECHNICAL DATA

LED 12/12/09 / 1200 mA - 3000 K

WARRANTY

Five-year warranty.

COOPER LIGHTING

ESC130 LED

185-3077 (previous product code: 610-3321 for reference only)

1/2

DESCRIPTION

The ESC130 LED is a compact, die-cast aluminum luminaire with a stainless steel mesh back and a die-cast aluminum enclosure. The ESC130 LED is ideal for use in a variety of applications, including: walkways, entrances, exits, and parking areas. The ESC130 LED is also ideal for use in a variety of applications, including: walkways, entrances, exits, and parking areas.

Construction

The ESC130 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The ESC130 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The ESC130 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate.

Optical

The ESC130 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The ESC130 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The ESC130 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate.

Electrical

The ESC130 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The ESC130 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The ESC130 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate.

ESC130 LED

185-3077 (previous product code: 610-3321 for reference only)

1/2

we-ef

TU

Project	Catalog #	Type	AA1/AA2
Requested by	Notes	Date	

McGraw-Edison

GLEON Galleon

Area / Site Luminaire

Product Features

- Interactive Menu
- Ordering Information
- Mounting Details
- Optical Distribution
- Product Specifications
- Energy and Performance Data
- Control Options

Quick Facts

- Luminaire packages range from 4,200 - 80,800 (34W - 540W)
- Efficiency up to 156 lumens per watt

Dimensional Details

Product Certifications

- ENEC
- CE
- ENEC
- CE
- ENEC
- CE

Connected Systems

- WaveLinx
- Enlight

Beam Type	rectangular asymmetric Type II [RHS]
Light Source	LED 3-30W / 750 mA - 3000 K
CR	80
Gear Type	electronic gear
Nominal Lumens Flux (lm)	LED Lumens 246 lm LEDs 3 Total Lumens 228 lm Ta 85 °C
Delivered Lumens Flux (lm)	LED Lumens 194 lm Total Lumens 502.1 lm Ta 25 °C
Rated Input Power	7.7 W

COOPER LIGHTING

PSY414 LED

114-0128 (previous product code: 637-5620 for reference only)

1/2

DESCRIPTION

The PSY414 LED is a compact, die-cast aluminum luminaire with a stainless steel mesh back and a die-cast aluminum enclosure. The PSY414 LED is ideal for use in a variety of applications, including: walkways, entrances, exits, and parking areas. The PSY414 LED is also ideal for use in a variety of applications, including: walkways, entrances, exits, and parking areas.

Construction

The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate.

Optical

The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate.

Electrical

The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate.

PSY414 LED

114-0128 (previous product code: 637-5620 for reference only)

1/2

we-ef

BL

PSY414 LED

114-0128 (previous product code: 637-5620 for reference only)

1/2

we-ef

PSY414 LED

114-0128 (previous product code: 637-5620 for reference only)

1/2

DESCRIPTION

The PSY414 LED is a compact, die-cast aluminum luminaire with a stainless steel mesh back and a die-cast aluminum enclosure. The PSY414 LED is ideal for use in a variety of applications, including: walkways, entrances, exits, and parking areas. The PSY414 LED is also ideal for use in a variety of applications, including: walkways, entrances, exits, and parking areas.

Construction

The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate.

Optical

The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate.

Electrical

The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate. The PSY414 LED is constructed from die-cast aluminum, stainless steel, and polycarbonate.

PSY414 LED

114-0128 (previous product code: 637-5620 for reference only)

1/2

Project	Catalog #	Type	B1
Requested by	Notes	Date	

HALO®

RLS6 Wireless

600 Series

5/6-Inch LED

Recessed Retrofit

Module-Trim

90CRI

Range from 2700K-5000K

FOR USE IN INSULATED CEILING AND NON-INSULATED CEILING/HOUSING

HIGH-EFFICIENCY LED WITH INTERNAL DRIVER

Description

The HALO® RLS6 Wireless is a compact, die-cast aluminum luminaire with a stainless steel mesh back and a die-cast aluminum enclosure. The HALO® RLS6 Wireless is ideal for use in a variety of applications, including: walkways, entrances, exits, and parking areas. The HALO® RLS6 Wireless is also ideal for use in a variety of applications, including: walkways, entrances, exits, and parking areas.

Construction

The HALO® RLS6 Wireless is constructed from die-cast aluminum, stainless steel, and polycarbonate. The HALO® RLS6 Wireless is constructed from die-cast aluminum, stainless steel, and polycarbonate. The HALO® RLS6 Wireless is constructed from die-cast aluminum, stainless steel, and polycarbonate.

Optical

The HALO® RLS6 Wireless is constructed from die-cast aluminum, stainless steel, and polycarbonate. The HALO® RLS6 Wireless is constructed from die-cast aluminum, stainless steel, and polycarbonate. The HALO® RLS6 Wireless is constructed from die-cast aluminum, stainless steel, and polycarbonate.

Electrical

The HALO® RLS6 Wireless is constructed from die-cast aluminum, stainless steel, and polycarbonate. The HALO® RLS6 Wireless is constructed from die-cast aluminum, stainless steel, and polycarbonate. The HALO® RLS6 Wireless is constructed from die-cast aluminum, stainless steel, and polycarbonate.

HALO®

RLS6 Wireless

600 Series

5/6-Inch LED

Recessed Retrofit

Module-Trim

90CRI

Range from 2700K-5000K

FOR USE IN INSULATED CEILING AND NON-INSULATED CEILING/HOUSING

HIGH-EFFICIENCY LED WITH INTERNAL DRIVER

we-ef

CL1

B750-VCOB AVENUE SERIES

LED

114-0128 (previous product code: 637-5620 for reference only)

1/2

DESCRIPTION

The B750-VCOB Avenue Series is a compact, die-cast aluminum luminaire with a stainless steel mesh back and a die-cast aluminum enclosure. The B750-VCOB Avenue Series is ideal for use in a variety of applications, including: walkways, entrances, exits, and parking areas. The B750-VCOB Avenue Series is also ideal for use in a variety of applications, including: walkways, entrances, exits, and parking areas.

Construction

The B750-VCOB Avenue Series is constructed from die-cast aluminum, stainless steel, and polycarbonate. The B750-VCOB Avenue Series is constructed from die-cast aluminum, stainless steel, and polycarbonate. The B750-VCOB Avenue Series is constructed from die-cast aluminum, stainless steel, and polycarbonate.

Optical

The B750-VCOB Avenue Series is constructed from die-cast aluminum, stainless steel, and polycarbonate. The B750-VCOB Avenue Series is constructed from die-cast aluminum, stainless steel, and polycarbonate. The B750-VCOB Avenue Series is constructed from die-cast aluminum, stainless steel, and polycarbonate.

Electrical

The B750-VCOB Avenue Series is constructed from die-cast aluminum, stainless steel, and polycarbonate. The B750-VCOB Avenue Series is constructed from die-cast aluminum, stainless steel, and polycarbonate. The B750-VCOB Avenue Series is constructed from die-cast aluminum, stainless steel, and polycarbonate.

B750-VCOB Avenue Series

114-0128 (previous product code: 637-5620 for reference only)

1/2

Sternberg Lighting

114-0128 (previous product code: 637-5620 for reference only)

1/2

COOPER LIGHTING

114-0128 (previous product code: 637-5620 for reference only)

1/2