

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2
SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE DEVELOPMENT PLAN GENERAL NOTES:

- THE TOWN OF CASTLE ROCK RESERVES THE RIGHT OF ACCESS TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUCCESSOR OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, MAINTENANCE AND REPAIR OF ALL SUCH FACILITIES. TO INLETS, PIERS, CHUTE VENTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CASTLE ROCK AND THE COLORADO DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION. THE PROPERTY OWNER SHALL MAINTAIN SAID FACILITIES TO MEET ALL APPLICABLE STANDARDS AND REGULATIONS AND SHALL BE RESPONSIBLE FOR THE COSTS OF OPERATION AND MAINTENANCE. THE PROPERTY OWNER SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE OF SAID FACILITIES AND SHALL BE RESPONSIBLE FOR THE COSTS OF OPERATION AND MAINTENANCE. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CASTLE ROCK AND THE COLORADO DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION.
- IN ADDITION TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE MAINTENANCE ORDINANCE, THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE PROVIDED BY THE TOWN OF CASTLE ROCK. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, MAINTENANCE AND REPAIR OF ALL SUCH FACILITIES TO MEET ALL APPLICABLE STANDARDS AND REGULATIONS AND SHALL BE RESPONSIBLE FOR THE COSTS OF OPERATION AND MAINTENANCE. THE PROPERTY OWNER SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE OF SAID FACILITIES AND SHALL BE RESPONSIBLE FOR THE COSTS OF OPERATION AND MAINTENANCE. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CASTLE ROCK AND THE COLORADO DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY OTHER REGULATIONS OR STANDARDS SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) SHALL BE PLACED IN OR ON THE STREET OR ANY ADJACENT DRIVEWAY, UTILITY CABINETS, WALLS, FENCES, DISTANCE LIGHTS AND SIGN DISTANCE LIGHTS.
- THE PROPOSED SIGNAGE AND MARKING SHALL BE THE DESIGN AND MAINTAINED BY THE PROPERTY OWNER. THE SIGNAGE AND MARKING SHALL BE PLACED WITHIN THE BOUNDARY OF THE LOT AND SHALL BE CONFORMANT WITH THE TOWN OF CASTLE ROCK SIGNAGE AND MARKING ORDINANCE.
- ALL UTILITY LINES AND SERVICES SHALL BE DEEPENED AND MARKED BY THE PROPERTY OWNER. THE MARKING SHALL BE IN ACCORDANCE WITH THE TOWN OF CASTLE ROCK SIGNAGE AND MARKING ORDINANCE.
- PA 45 IS ZONED AS R-B. PA 48 IS ZONED AS WF1-B PER THE APPROVED CASTLE OAKS PD (REC. #0003010494).
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK EMERGENCY ACCESS ROAD REGULATIONS AND STANDARDS. ALL EMERGENCY ACCESS ROADS SHALL BE DESIGNED BY THE PROPERTY OWNER IN CONSULTATION WITH THE TOWN OF CASTLE ROCK ENGINEER AND MUST BE APPROVED BY THE TOWN OF CASTLE ROCK ENGINEER AND THE METROPOLITAN DISTRICTS HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10' UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5' UTILITY EASEMENTS ALONG ALL SIDE LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY. ALL UTILITY EASEMENTS SHALL BE INSTALLED, MAINTAINED AND OPERATED IN ACCORDANCE WITH ALL APPLICABLE TOWNSHIP, COUNTY, STATE AND FEDERAL REGULATIONS, ORDINANCES AND STANDARDS. ALL UTILITY EASEMENTS SHALL BE INSTALLED, MAINTAINED AND OPERATED IN ACCORDANCE WITH ALL APPLICABLE TOWNSHIP, COUNTY, STATE AND FEDERAL REGULATIONS, ORDINANCES AND STANDARDS.
- SECTIONS OF WALLS 4'-FEET IN HEIGHT OR HIGHER OR REED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST BE APPROVED BY THE TOWN OF CASTLE ROCK ENGINEER PRIOR TO ISSUANCE OF THE PUBLIC WORKS PERMITS FROM THE TOWN OF CASTLE ROCK.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- THE 100-YEAR ZONE A FLOODPLAIN FOR WOLFPOUR GULCH DOES NOT ENCHANCE ONTO THE SITE. PER THE FEMA FIRM MAP PANEL NUMBERS 0805050189F AND 0805050189F.

TRACT SUMMARY

TRACT	AC	LAND USE	OWNERSHIP	MAINTENANCE
TRACT A	0.617 AC	OSP/RP/UT	HOA	HOA
TRACT B	0.819 AC	OSP/RP/UT	HOA	HOA
TRACT C	8.884 AC	OSP/RP/UT	HOA	HOA
TRACT D	22.992 AC	OSP/RP/UT	HOA	HOA

LAND USE SUMMARY

LAND USE	PROPOSED ACREAGE	PROPOSED UNITS/SF*	GROSS DENSITY	NET DENSITY	MIN. AREA	AVE. AREA	MAX. AREA	SETBACKS TO GARAGE	SETBACKS TO LIVING AREA	SETBACKS TO LOT	SETBACKS TO INTERIOR	SETBACKS TO STREET	MAX. HEIGHT
R-SF	45	76	17.23%	7.85	4,950 SF	5,767 SF	12,407 SF	20'	10'	12'	5'	10'	35'
R-SF	50'	79	17.71%	7.07	5,500 SF	6,239 SF	10,186 SF	20'	15'	5'	10'	35'	
OSP	PRIVATE	-	-	-	-	-	-	-	-	-	-	-	-
ROW	PROPOSED LOCAL STREETS - PA 45-46	60,701 AC	100%	100%	6,279 AC	-	-	-	-	-	-	-	-

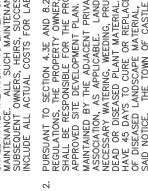
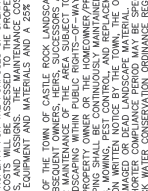
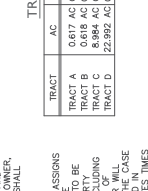
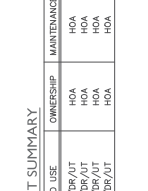
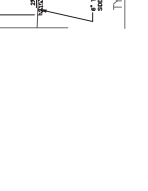
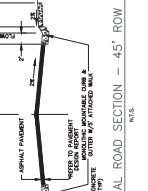
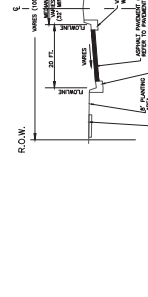
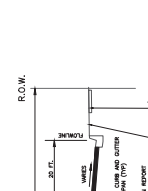
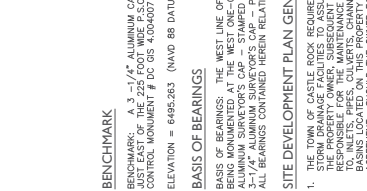
BASIS OF BEARINGS

BASE OF BEARINGS: THE WEST LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 31 TOWNSHIP 8 SOUTH, RANGE 66 WEST, IS BEAR 210°00'00" AND AT THE SOUTHWEST CORNER BY A 3-1/4" ALUMINUM SURVEYOR'S CAP - P.L.S. #1206, BEING ASSUMED TO BEAR N0071227E, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERE TO.

MONUMENT LEGEND

- FOUND MONUMENT AS NOTED
- FOUND ALMOST MONUMENT AS NOTED

EMERGENCY ACCESS SECTION



GENERAL NOTES AND DETAILS

1. THE TOWN OF CASTLE ROCK RESERVES THE RIGHT OF ACCESS TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUCCESSOR OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, MAINTENANCE AND REPAIR OF ALL SUCH FACILITIES. TO INLETS, PIERS, CHUTE VENTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CASTLE ROCK AND THE COLORADO DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION. THE PROPERTY OWNER SHALL MAINTAIN SAID FACILITIES TO MEET ALL APPLICABLE STANDARDS AND REGULATIONS AND SHALL BE RESPONSIBLE FOR THE COSTS OF OPERATION AND MAINTENANCE. THE PROPERTY OWNER SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE OF SAID FACILITIES AND SHALL BE RESPONSIBLE FOR THE COSTS OF OPERATION AND MAINTENANCE. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CASTLE ROCK AND THE COLORADO DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION.

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3. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.

4. APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY OTHER REGULATIONS OR STANDARDS SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.

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6. THE PROPOSED SIGNAGE AND MARKING SHALL BE THE DESIGN AND MAINTAINED BY THE PROPERTY OWNER. THE SIGNAGE AND MARKING SHALL BE PLACED WITHIN THE BOUNDARY OF THE LOT AND SHALL BE CONFORMANT WITH THE TOWN OF CASTLE ROCK SIGNAGE AND MARKING ORDINANCE.

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8. PA 45 IS ZONED AS R-B. PA 48 IS ZONED AS WF1-B PER THE APPROVED CASTLE OAKS PD (REC. #0003010494).

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10. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10' UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5' UTILITY EASEMENTS ALONG ALL SIDE LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY. ALL UTILITY EASEMENTS SHALL BE INSTALLED, MAINTAINED AND OPERATED IN ACCORDANCE WITH ALL APPLICABLE TOWNSHIP, COUNTY, STATE AND FEDERAL REGULATIONS, ORDINANCES AND STANDARDS. ALL UTILITY EASEMENTS SHALL BE INSTALLED, MAINTAINED AND OPERATED IN ACCORDANCE WITH ALL APPLICABLE TOWNSHIP, COUNTY, STATE AND FEDERAL REGULATIONS, ORDINANCES AND STANDARDS.

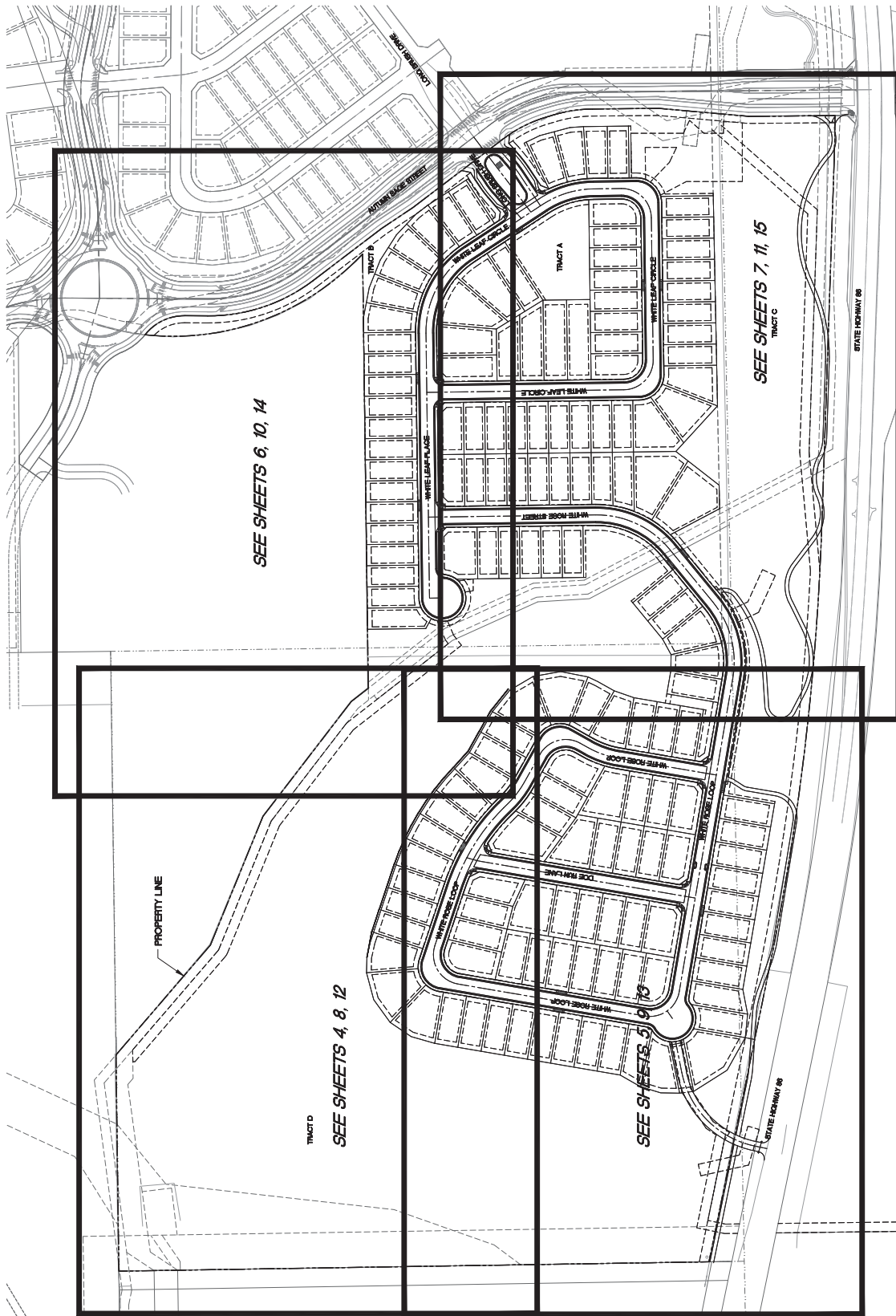
11. SECTIONS OF WALLS 4'-FEET IN HEIGHT OR HIGHER OR REED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST BE APPROVED BY THE TOWN OF CASTLE ROCK ENGINEER PRIOR TO ISSUANCE OF THE PUBLIC WORKS PERMITS FROM THE TOWN OF CASTLE ROCK.

12. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

13. THE 100-YEAR ZONE A FLOODPLAIN FOR WOLFPOUR GULCH DOES NOT ENCHANCE ONTO THE SITE. PER THE FEMA FIRM MAP PANEL NUMBERS 0805050189F AND 0805050189F.

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH; RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 2
PROJECT# SDF15-0023

SHEET INDEX

3 OF 22

CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
PLANNING
CONSULTANTS
CORE
CONSULTANTS
1800 W. LARAMIE AVENUE, 100
LITTLETON, COLORADO 80120

Civil and Land
Consulting
INCORPORATED
1800 W. LARAMIE AVENUE, 100
LITTLETON, COLORADO 80120



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CHECKED BY: [unintelligible]
REVISIONS

#	DESCRIPTION	DATE
1	PER TOWN COMMENTS	10/14/2015
2	PER TOWN COMMENTS	10/14/2015

TOWN OF CASTLE ROCK, COLORADO
TERRAIN FILING NO. 2
SHEET INDEX

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REVISIONS

SHEET INDEX

3 OF 22

**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 2
SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH; RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO**

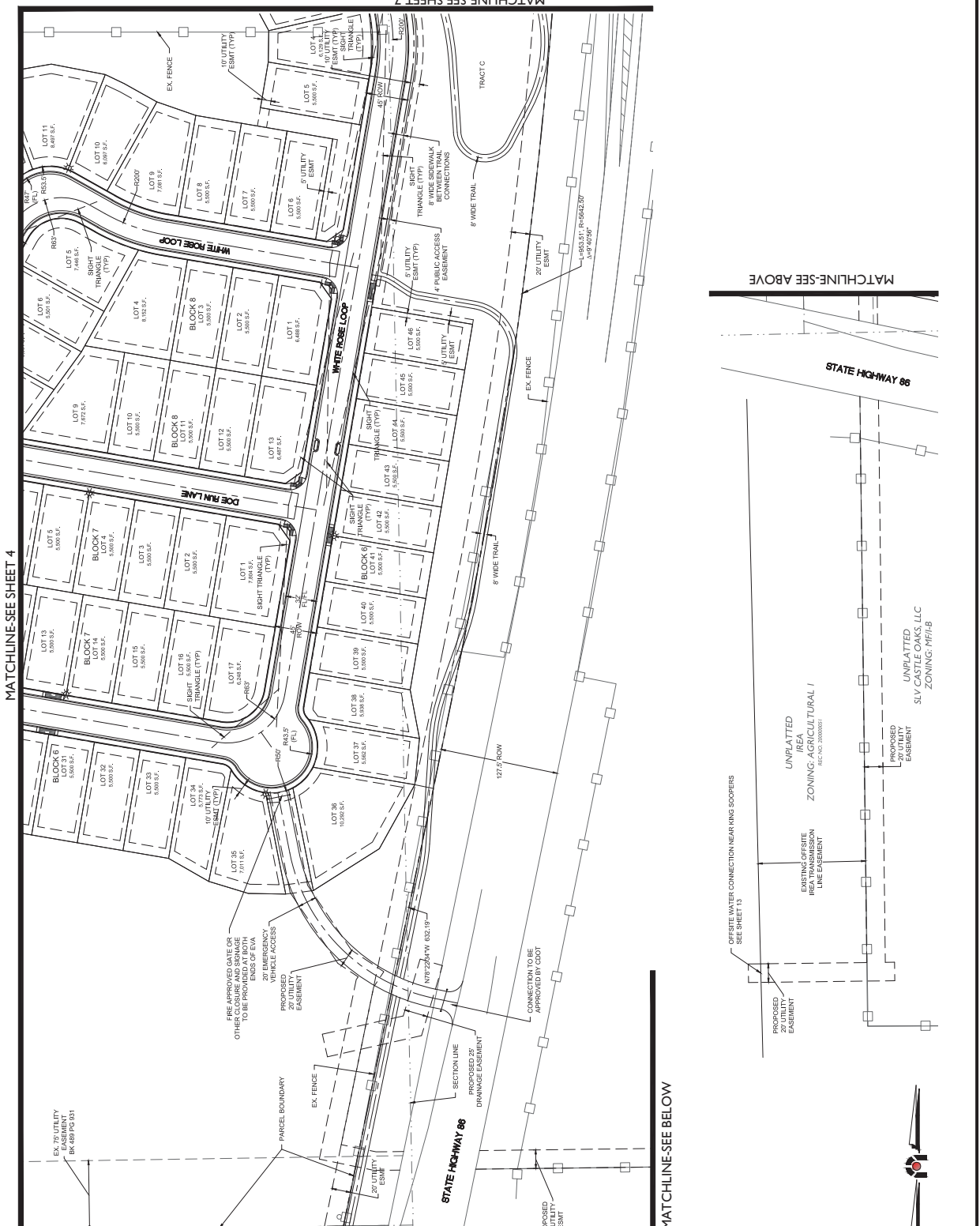
REVISIONS

#	DESCRIPTION	DATE
1	PER TOWN COMMENTS	10/14/15
2	PER TOWN COMMENTS	10/14/15

LEGEND:

- SANITARY SEWER
- PROPOSED GRAVITY SEWER
- PIPE WITH PILE
- SANITARY SERVICE, 4" PIPE WITH MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE WITH PILE & B.O.
- FIRE HYDRANT
- WATER VALVE
- BEND AND THRUST BLOCK
- TRANSMISSION MAIN
- STORM DRAIN
- INLET PIPE AND PIPE
- EX. MANHOLE AND PIPE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

NOTE:
LOTS MARKED WITH * SHALL HAVE NO SOLID CONTROL DEVICES AND TRAFFIC SIGNS EXCEEDING THIRTY (30) INCHES IN HEIGHT ADJACENT STREET, INCLUDING BUT NOT LIMITED TO FENCES, LANDSCAPE PLANTINGS, CROPS, OUTSLOPES, AND BERMS SHALL BE PLACED WITHIN THE LINES AND SIGHT DISTANCE EASEMENTS.



MATCHLINE-SEE SHEET 4

MATCHLINE-SEE ABOVE

MATCHLINE-SEE BELOW

REVISIONS

#	DESCRIPTION	DATE
1	PER TOWN COMMENTS	10/14/15
2	PER TOWN COMMENTS	10/14/15

LEGEND:

- SANITARY SEWER
- PROPOSED GRAVITY SEWER
- PIPE WITH PILE
- SANITARY SERVICE, 4" PIPE WITH MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE WITH PILE & B.O.
- FIRE HYDRANT
- WATER VALVE
- BEND AND THRUST BLOCK
- TRANSMISSION MAIN
- STORM DRAIN
- INLET PIPE AND PIPE
- EX. MANHOLE AND PIPE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

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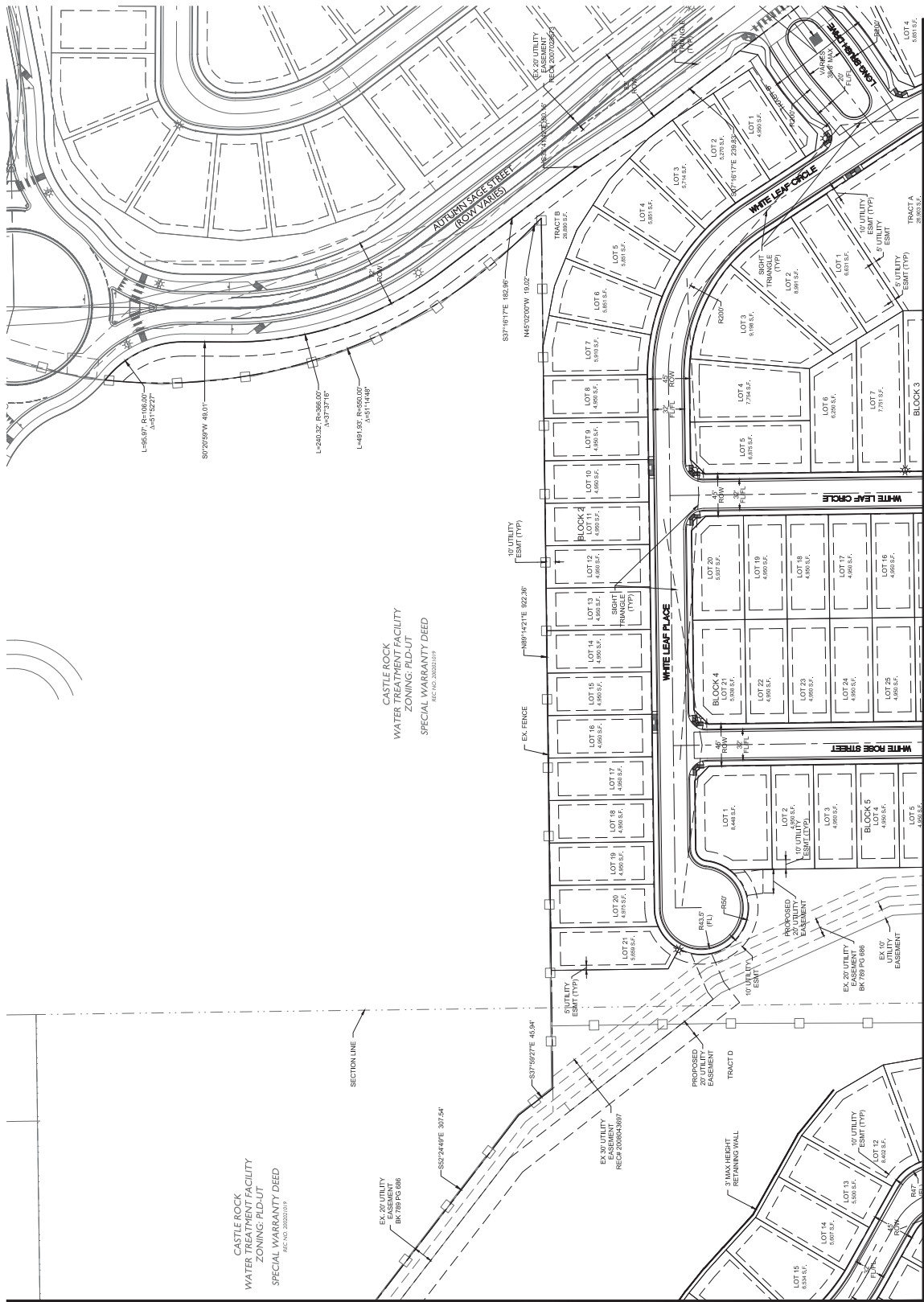
MATCHLINE-SEE SHEET 7

MATCHLINE-SEE ABOVE

MATCHLINE-SEE BELOW

**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 2**

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH; RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



CASTLE ROCK
WATER TREATMENT FACILITY
ZONING: PUD-UT
SPECIAL WARRANTY DEED
REC NO. 200201919

CASTLE ROCK
WATER TREATMENT FACILITY
ZONING: PUD-UT
SPECIAL WARRANTY DEED
REC NO. 200201919

MATCHLINE-SEE SHEET 4

MATCHLINE-SEE SHEET 7

LEGEND:

- SANITARY SEWER
- PROPOSED GRAVITY SEWER
- PIPE WITH FLUSH
- SANITARY SERVICE - 4" PIPE
- PIPE WITH MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE WITH JUNCTION & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND and THRUST BLOCK
- TRANSMISSION MAIN
- STORM DRAIN
- INLET and PIPE
- FLARED END SECTION
- EX. MANHOLE and PIPE
- CUSTOMER DEPT. UTILITY
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- EASEMENT
- FIBER OPTIC LINE
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

NOTE:

LOTS MARKED WITH * SHALL HAVE NO SOLID FENCE, DRIVEWAY OR SIDEWALK CONTROL DEVICES AND TRAFFIC SIGNS EXCEEDING THIRTY (30) INCHES IN HEIGHT AND SHALL BE LOCATED AT THE ADJACENT STREET INCLUDING BUT NOT LIMITED TO DRIVEWAYS, SIDEWALKS, FENCES, LANDSCAPE PLANTINGS, CROPS, OUTSLOPES, AND BERMS SHALL BE PLACED WITHIN THE LINES AND SHORT DISTANCE EASEMENTS.

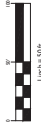
TOWN OF CASTLE ROCK, COLORADO

TERRAIN FILING NO. 2

SITE PLAN

SITE DEVELOPMENT PLAN FOR

#	DESCRIPTION	DATE
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2	PER TOWN COMMENTS	
3	PER TOWN COMMENTS	
4	PER TOWN COMMENTS	
5	PER TOWN COMMENTS	
6	PER TOWN COMMENTS	
7	PER TOWN COMMENTS	
8	PER TOWN COMMENTS	
9	PER TOWN COMMENTS	
10	PER TOWN COMMENTS	



SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 2
PROJECT# SDF15-0023

PREPARED BY: JIM
DESIGNED BY: JIM
CHECKED BY: JIM

JOB NO. 14-001
SHEET 6 OF 22





PROJECT NO. 15-0023
 SHEET 7 OF 22
 DATE: 10/14/2019 2:02:52 PM

REVISIONS	
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2	TOWN COMMONS
3	TOWN COMMONS
4	TOWN COMMONS

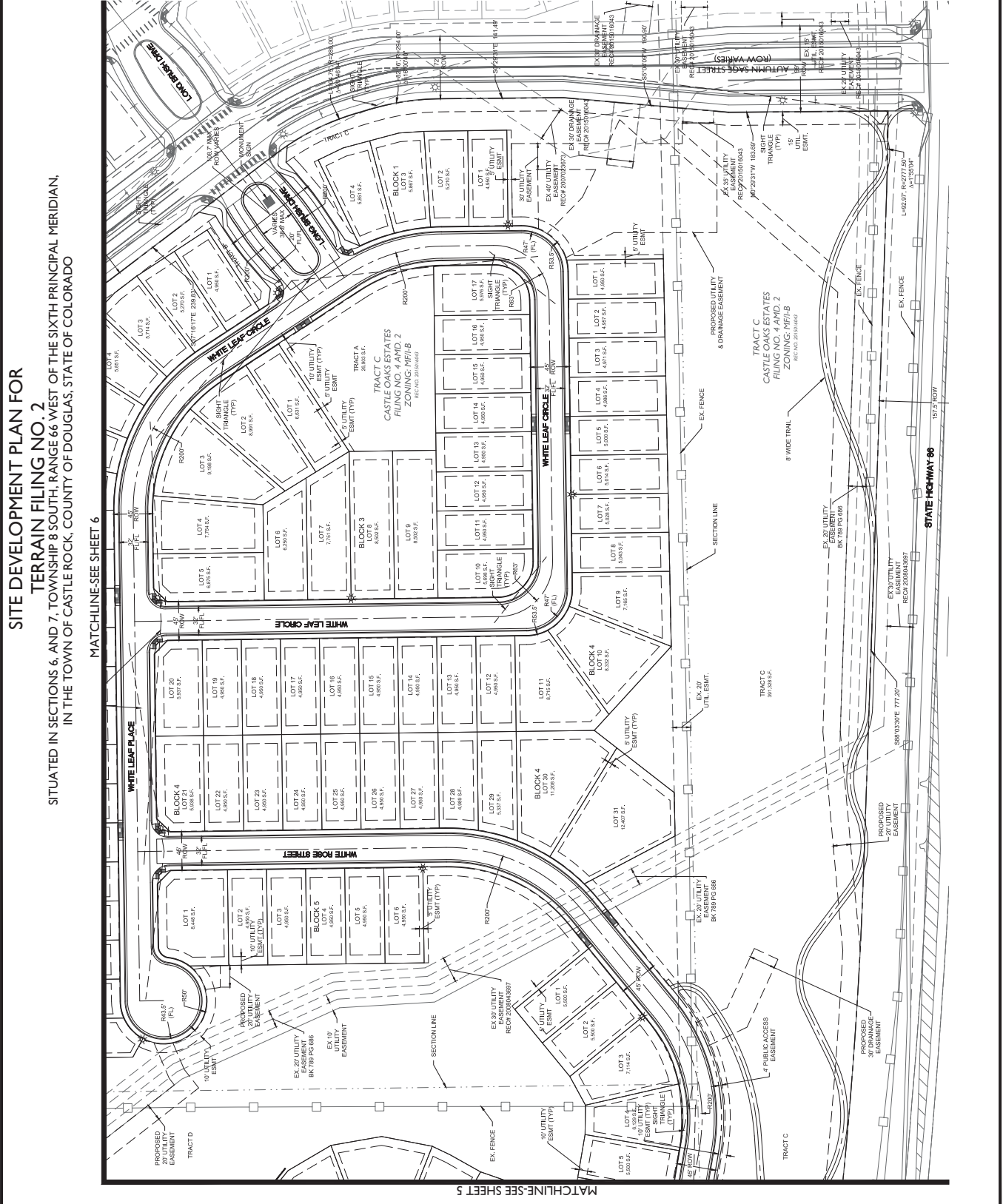
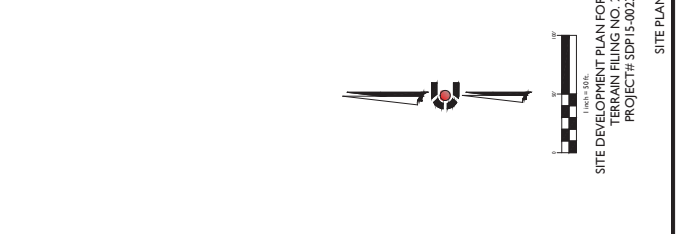
TOWN OF CASTLE ROCK, COLORADO
 SITE PLAN
 TERRAIN FILING NO. 2
 SITE DEVELOPMENT PLAN FOR

PROPERTY: 14-001
 PROJECT#: SDP15-0023
 SHEET: 7 OF 22
 SITE PLAN

LEGEND:

- SANITARY SEWER
- PROPOSED GRAVITY SEWER
- PIPE WITH 4" MANSION
- SANITARY SERVICE, 4" MANHOLE
- WATER
- WATER MANSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- MATE WITH 4" MANSION
- WATER VALVE
- FIRE HYDRANT
- BEND AND THRUST BLOCK
- TRANSMISSION MAIN
- STORM DRAIN
- EX. MANHOLE AND PIPE
- FLARED END SECTION
- EX. MANHOLE AND PIPE
- CASSING, DEPT. UTILITY
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
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NOTE:
 LOTS MARKED WITH * SHALL HAVE NO SOID CONTROL DEVICES AND TRAFFIC SIGNS EXCEEDING THIRTY (30) INCHES IN HEIGHT ADJACENT STREET, INCLUDING BUT NOT LIMITED TO FENCES, LANDSCAPE PLANTINGS, OUTSLORES, AND BERMS SHALL BE PLACED WITHIN THE LINES AND SHORT DISTANCE EASEMENTS.



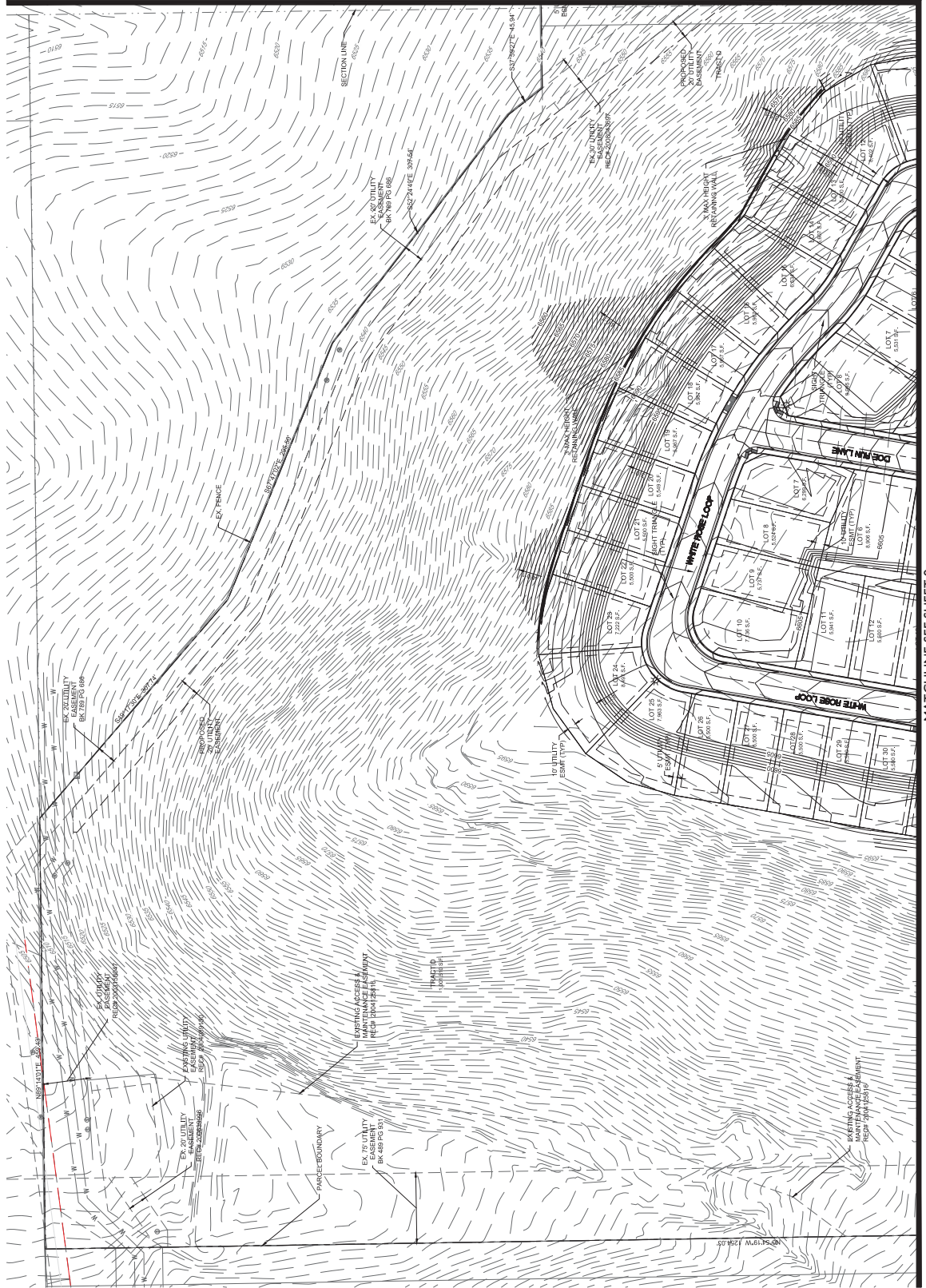
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MATCHLINE-SEE SHEET 6

MATCHLINE-SEE SHEET 5

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IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



MATCHLINE-SEE SHEET 10

MATCHLINE-SEE SHEET 9

LEGEND

- PROPOSED STORM DRAIN
- MANHOLE and PIPE
- FLARED END SECTION
- EXISTING STORM DRAIN
- MANHOLE and PIPE
- FLARED END SECTION
- INLET
- GAS LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY LINE
- PROPOSED MAJOR
- PROPOSED MINOR
- EXISTING MAJOR
- EXISTING MINOR
- CONTOUR ANGLE
- AROUND FINISHED LOT
- LIMITS OF CONSTRUCTION
- HANDICAPPED RAMP
- SPOT ELEVATION



SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 2
PROJECT# SDF15-0023
JOB NO.
14-001
SHEET
8 OF 22

CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
PLANNING
DESIGN
CONSTRUCTION

CORE CONSULTANTS

1000 W. Lincoln Ave., Suite 100
Littleton, Colorado 80120
Phone: 303.741.1100
Fax: 303.741.1101
www.coreconsultants.com

CDOT

Colorado Department of Transportation
1515 W. Alameda Ave., Suite 100
Denver, Colorado 80202
Phone: 303.761.1000
Fax: 303.761.1001
www.codot.gov

REVISIONS

#	DESCRIPTION	DATE
1	PER TOWN COMMENTS	11/11/15
2	PER TOWN COMMENTS	11/11/15

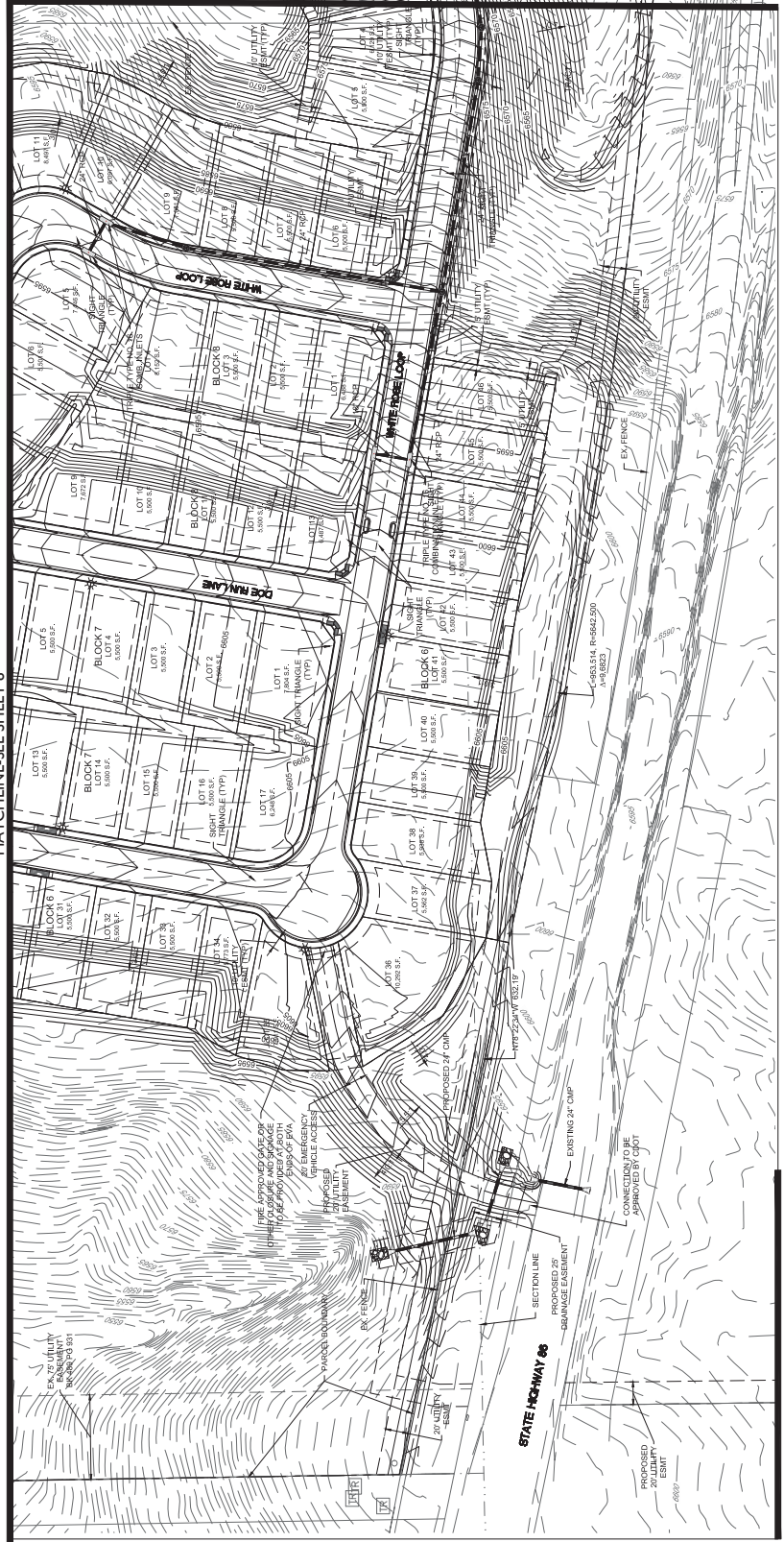
TOWN OF CASTLE ROCK, COLORADO
TERRAIN FILING NO. 2
GRADING PLAN

DATE: 10/14/2015 2:22:54 PM

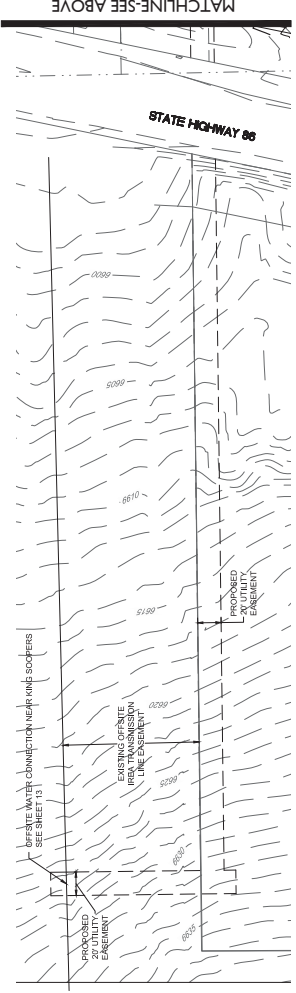
**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 2**

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH; RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATCHLINE-SEE SHEET 8



MATCHLINE-SEE BELOW



LEGEND

- PROPOSED STORM DRAIN
- MANHOLE and PIPE
- FLARED END SECTION
- EXISTING STORM DRAIN
- MANHOLE and PIPE
- FLARED END SECTION
- GAS LINE
- EASEMENT
- PROPERTY BOUNDARY LINE
- CENTER LINE
- CONTOUR MAJOR
- CONTOUR MINOR
- PROPOSED MINOR
- CONTOUR MAJOR
- CONTOUR MINOR
- EXISTING MINOR
- CONTOUR MAJOR
- AROUND FINISHED LOT
- LIMITS OF CONSTRUCTION
- HANDICAPPED RAMP
- SPOT ELEVATION

MATCHLINE-SEE SHEET 11

REVISIONS

#	DESCRIPTION	DATE
1	PER TOWN COMMENTS	10/14/2015
2	PER TOWN COMMENTS	10/14/2015

REVISIONS

#	DESCRIPTION	DATE
1	PER TOWN COMMENTS	10/14/2015
2	PER TOWN COMMENTS	10/14/2015

REVISIONS

#	DESCRIPTION	DATE
1	PER TOWN COMMENTS	10/14/2015
2	PER TOWN COMMENTS	10/14/2015

REVISIONS

#	DESCRIPTION	DATE
1	PER TOWN COMMENTS	10/14/2015
2	PER TOWN COMMENTS	10/14/2015

REVISIONS

#	DESCRIPTION	DATE
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2	PER TOWN COMMENTS	10/14/2015

REVISIONS

#	DESCRIPTION	DATE
1	PER TOWN COMMENTS	10/14/2015
2	PER TOWN COMMENTS	10/14/2015

REVISIONS

#	DESCRIPTION	DATE
1	PER TOWN COMMENTS	10/14/2015
2	PER TOWN COMMENTS	10/14/2015

REVISIONS

#	DESCRIPTION	DATE
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2	PER TOWN COMMENTS	10/14/2015

REVISIONS

#	DESCRIPTION	DATE
1	PER TOWN COMMENTS	10/14/2015
2	PER TOWN COMMENTS	10/14/2015

REVISIONS

#	DESCRIPTION	DATE
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2	PER TOWN COMMENTS	10/14/2015

REVISIONS

#	DESCRIPTION	DATE
1	PER TOWN COMMENTS	10/14/2015
2	PER TOWN COMMENTS	10/14/2015

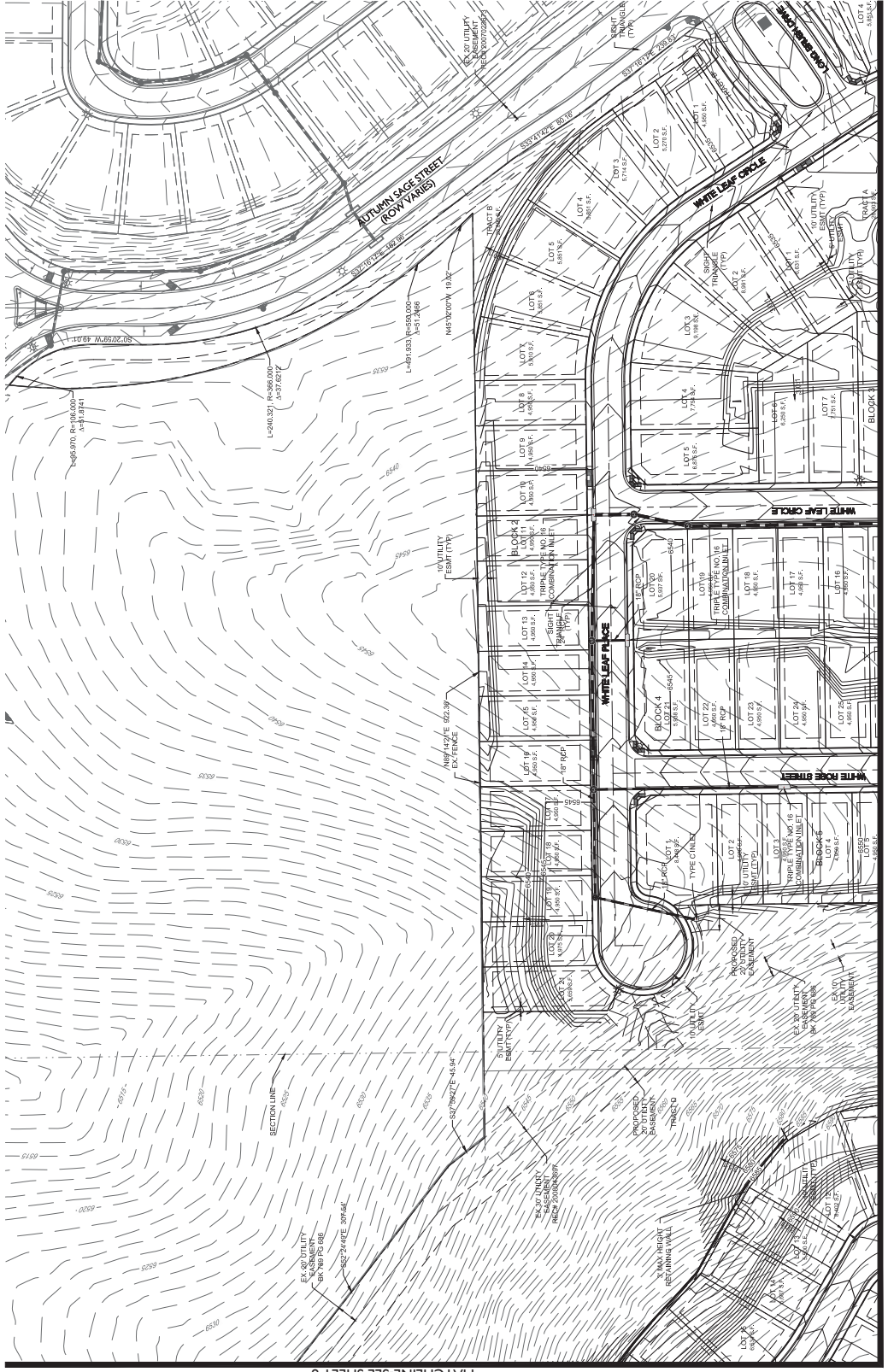
SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH; RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND

	PROPOSED STORM DRAIN
	MANHOLE AND PIPE
	FLARED END SECTION
	EXISTING STORM DRAIN
	MANHOLE AND PIPE
	INLET
	FLARED END SECTION
	GAS LINE
	EASEMENT
	CENTER LINE
	PROPERTY BOUNDARY LINE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MINOR CONTOUR
	LIMITS OF CONSTRUCTION
	HANDICAPPED RAMP
	SPOT ELEVATION



MATCHLINE-SEE SHEET 11

MATCHLINE-SEE SHEET 8

CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
1000 W. Lincoln Ave., Suite 100
Littleton, Colorado

CORE
CONSULTANTS

Castle Rock, Colorado

Printed on: 10/14/2015 2:28:28 PM
Project: 14-001

DATE: 10/14/2015
DRAWN BY: JLM
CHECKED BY: JLM
DATE: 10/14/2015
DESCRIPTION: TERRAIN FILING NO. 2
REVISIONS

TOWN OF CASTLE ROCK, COLORADO
TERRAIN FILING NO. 2
GRADING PLAN
SITE DEVELOPMENT PLAN FOR

SHEET 10 OF 22

PROJECT# SDF15-0023

TERRAIN FILING NO. 2

SITE DEVELOPMENT PLAN FOR

JOB NO. 14-001

DATE: 10/14/2015

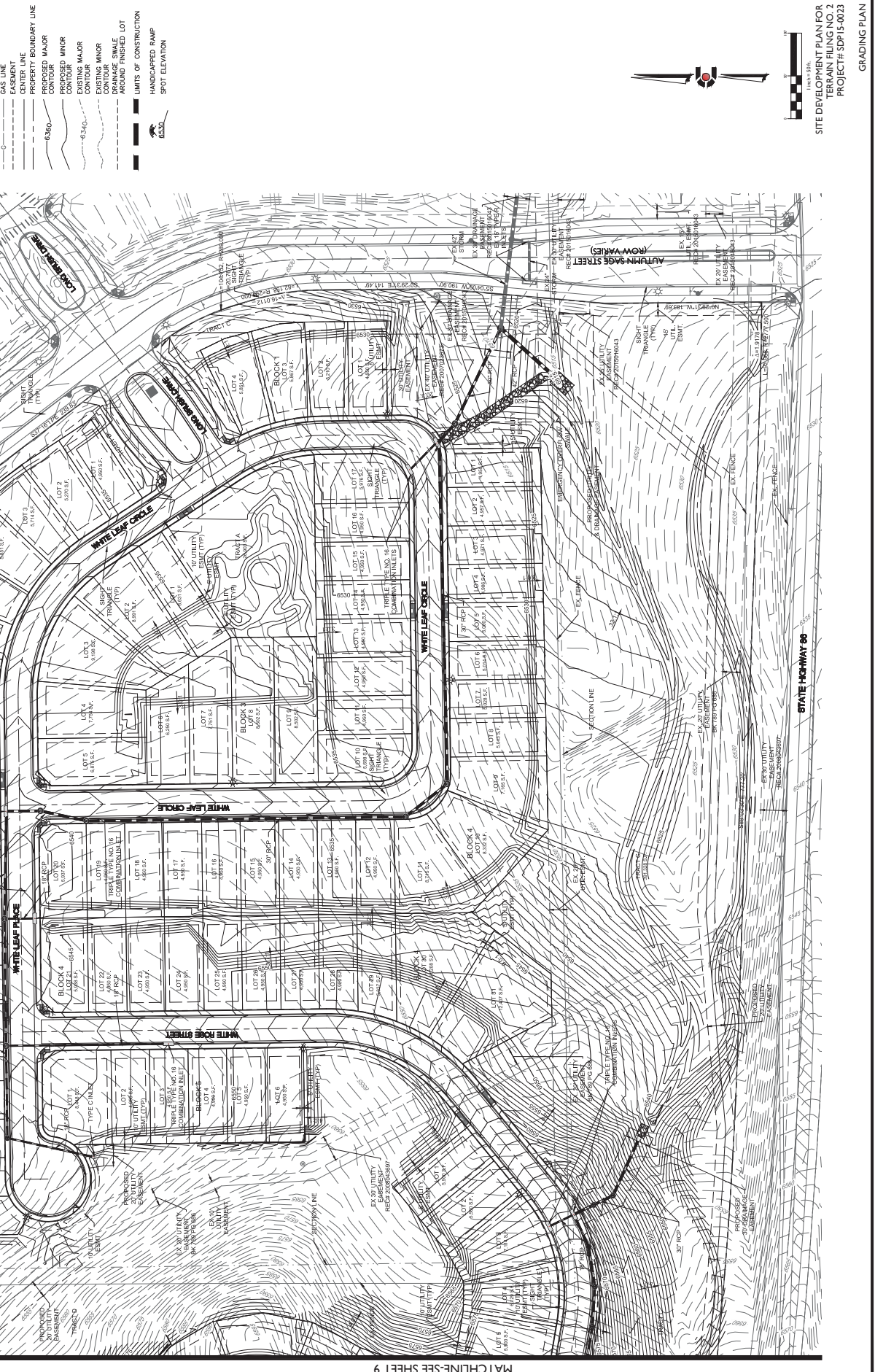
DESIGNED BY: JLM

CHECKED BY: JLM

DRAWN BY: JLM

DATE: 10/14/2015

**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 2
SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH; RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO**



MATCHLINE-SEE SHEET 9

MATCHLINE-SEE SHEET 10

LEGEND

	PROPOSED STORM DRAIN
	MANHOLE and PIPE
	FLARED END SECTION
	EXISTING STORM DRAIN
	MANHOLE and PIPE
	FLARED END SECTION
	GAS LINE
	EASEMENT
	PROPERTY BOUNDARY LINE
	CENTER LINE
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	ARCHED FINISHED LOT
	LIMITS OF CONSTRUCTION
	HANDICAPPED RAMP
	SPOT ELEVATION

REVISIONS

#	DESCRIPTION	DATE
1	PER TOWN COMMENTS	10/14/15
2	PER TOWN COMMENTS	10/14/15

Scale: 1" = 40' (Horizontal), 1" = 20' (Vertical)

DATE: 10/14/15

PROJECT: TOWN OF CASTLE ROCK, COLORADO

TERRAIN FILING NO. 2

GRADING PLAN FOR

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 2

PROJECT# SDF15-0023

JOB NO. 14-001

SHEET 11 OF 22

GRADING PLAN

Scale: 1" = 40' (Horizontal), 1" = 20' (Vertical)

DATE: 10/14/15

PROJECT: TOWN OF CASTLE ROCK, COLORADO

TERRAIN FILING NO. 2

GRADING PLAN FOR

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 2

PROJECT# SDF15-0023

JOB NO. 14-001

SHEET 11 OF 22

GRADING PLAN

Scale: 1" = 40' (Horizontal), 1" = 20' (Vertical)

DATE: 10/14/15

PROJECT: TOWN OF CASTLE ROCK, COLORADO

TERRAIN FILING NO. 2

GRADING PLAN FOR

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 2

PROJECT# SDF15-0023

JOB NO. 14-001

SHEET 11 OF 22

GRADING PLAN

Scale: 1" = 40' (Horizontal), 1" = 20' (Vertical)

DATE: 10/14/15

PROJECT: TOWN OF CASTLE ROCK, COLORADO

TERRAIN FILING NO. 2

GRADING PLAN FOR

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 2

PROJECT# SDF15-0023

JOB NO. 14-001

SHEET 11 OF 22

GRADING PLAN

Scale: 1" = 40' (Horizontal), 1" = 20' (Vertical)

DATE: 10/14/15

PROJECT: TOWN OF CASTLE ROCK, COLORADO

TERRAIN FILING NO. 2

GRADING PLAN FOR

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 2

PROJECT# SDF15-0023

JOB NO. 14-001

SHEET 11 OF 22

GRADING PLAN

Scale: 1" = 40' (Horizontal), 1" = 20' (Vertical)

DATE: 10/14/15

PROJECT: TOWN OF CASTLE ROCK, COLORADO

TERRAIN FILING NO. 2

GRADING PLAN FOR

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 2

PROJECT# SDF15-0023

JOB NO. 14-001

SHEET 11 OF 22

GRADING PLAN

Scale: 1" = 40' (Horizontal), 1" = 20' (Vertical)

DATE: 10/14/15

PROJECT: TOWN OF CASTLE ROCK, COLORADO

TERRAIN FILING NO. 2

GRADING PLAN FOR

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 2

PROJECT# SDF15-0023

JOB NO. 14-001

SHEET 11 OF 22

GRADING PLAN

Scale: 1" = 40' (Horizontal), 1" = 20' (Vertical)

DATE: 10/14/15

PROJECT: TOWN OF CASTLE ROCK, COLORADO

TERRAIN FILING NO. 2

GRADING PLAN FOR

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 2

PROJECT# SDF15-0023

JOB NO. 14-001

SHEET 11 OF 22

GRADING PLAN

Scale: 1" = 40' (Horizontal), 1" = 20' (Vertical)

DATE: 10/14/15

PROJECT: TOWN OF CASTLE ROCK, COLORADO

TERRAIN FILING NO. 2

GRADING PLAN FOR

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 2

PROJECT# SDF15-0023

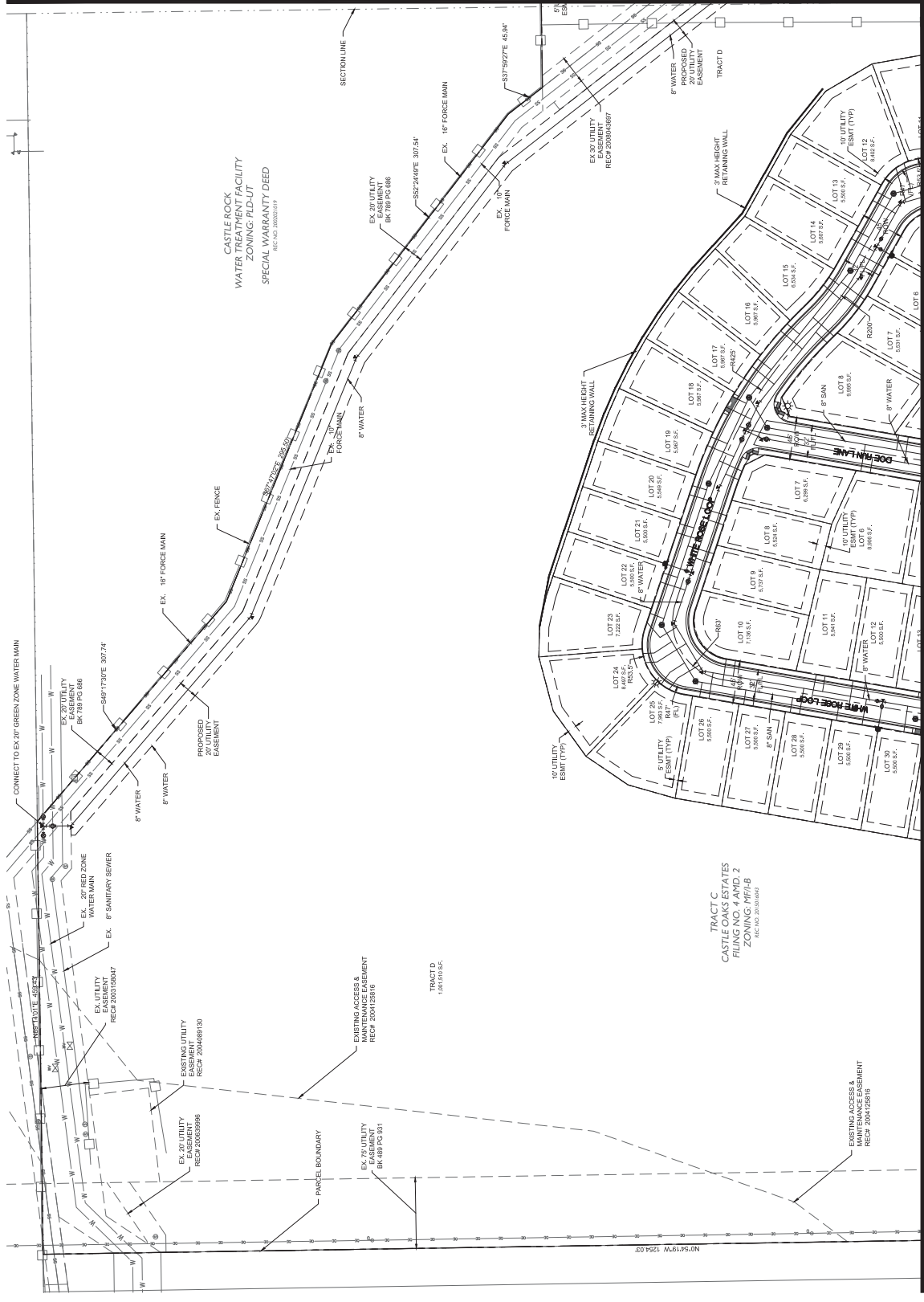
JOB NO. 14-001

SHEET 11 OF 22

GRADING PLAN

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH; RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND:

—	SANITARY SEWER
—	PROPOSED GRAVITY SEWER
—	PIPE WITH PULL BOX
—	SANITARY SERVICE, 4" PIPE
—	PIPE WITH MANHOLE
—	WATER
—	MISSION MAIN
—	RAW WATER LINE
—	IRRIGATION LINE
—	WATER VALVE
—	WATER VALVE & B.O.
—	FIRE HYDRANT
—	BEND AND THRUST BLOCK
—	TRANSMISSION MAIN
—	STORM DRAIN
—	INLET PIPE
—	FLARED END SECTION
—	EX. MANHOLE AND PIPE
—	C
—	EXISTING DRY UTILITY
—	UNDERGROUND ELECTRIC
—	UNDERGROUND TELEPHONE
—	FIBER OPTIC LINE
—	EASEMENT
—	PROPERTY BOUNDARY LINE
—	HANDICAPPED RAMP
—	PROPOSED STREET LAMP
—	EXISTING STREET LAMP

NOTE: * SHALL HAVE NO SOLD OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC SIGNALS, TRAFFIC LIGHTS, OR SIGNAGE) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FINISH ELEVATION OF THE ADJACENT STREET OR DRIVEWAY. ALL UTILITIES TO BUILDINGS, UTILITY CABINETS, WALLS, SLOPES, AND BERMS SHALL BE PLACED WITHIN SHORT DISTANCE LINES AND SIGHT DISTANCE SUBMENTS.

UTILITY NOTES:

1. ALL PROPOSED EASEMENTS MUST BE CONSTRUCTION PERMITS.
2. THE MINIMUM SEPARATION BETWEEN SEWER LINES IS 10 FEET.
3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 6 FEET.
4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK AND IS SUBJECT TO THE PRESSURE ZONES.

REVISIONS

#	DESCRIPTION	DATE
1	PER TOWN COMMENTS	01/11/15
2	PER TOWN COMMENTS	02/11/15

TOWN OF CASTLE ROCK, COLORADO
SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 2
UTILITY PLAN

SCALE:
 1" = 40'-0"

UTILITY PLAN

PROJECT# SDF15-0023
TERRAIN FILING NO. 2
JOB NO. 14-001
SHEET 12 OF 22

THESE NOTES GOVERN OVER ALL OTHER NOTES ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

REVISIONS

#	DESCRIPTION	DATE
1	TERRAIN FILING NO. 2	10/14/2015
2	TERRAIN FILING NO. 2	10/14/2015
3	TERRAIN FILING NO. 2	10/14/2015

TOWN OF CASTLE ROCK, COLORADO
TERRAIN FILING NO. 2
UTILITY PLAN

- LEGEND:**
- SANITARY SEWER
 - PROPOSED GRAVITY SEWER
 - PIPE WITH FLOOR
 - SANITARY SERVICE, 4" DIAMETER
 - PIPE WITH MANHOLE
 - WATER
 - TRANSMISSION MAIN
 - RAW WATER LINE
 - IRRIGATION LINE
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT
 - BEND AND THRUST BLOCK
 - TRANSMISSION MAIN
 - STORM DRAIN
 - STORM DRAIN AND PIPE
 - FLARED END SECTION
 - EX. MANHOLE AND PIPE
 - COSMETIC DRY UTILITY
 - UNDERGROUND ELECTRIC
 - UNDERGROUND TELEPHONE
 - FIBER OPTIC LINE
 - EASEMENT
 - PROPERTY BOUNDARY LINE
 - HANDICAPPED RAMP
 - PROPOSED STREET LAMP
 - EXISTING STREET LAMP
 - LOTS MARKED WITH * SHALL HAVE NO SOILD OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC SIGNS, AND SIGNAGE) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE FINISH GRADE. ELEVATION OF THE UNITS TO BUILDINGS, UTILITY CABINETS, WALLS, GUTTERS, AND BERMS SHALL BE PLACED WITHIN SHORT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.

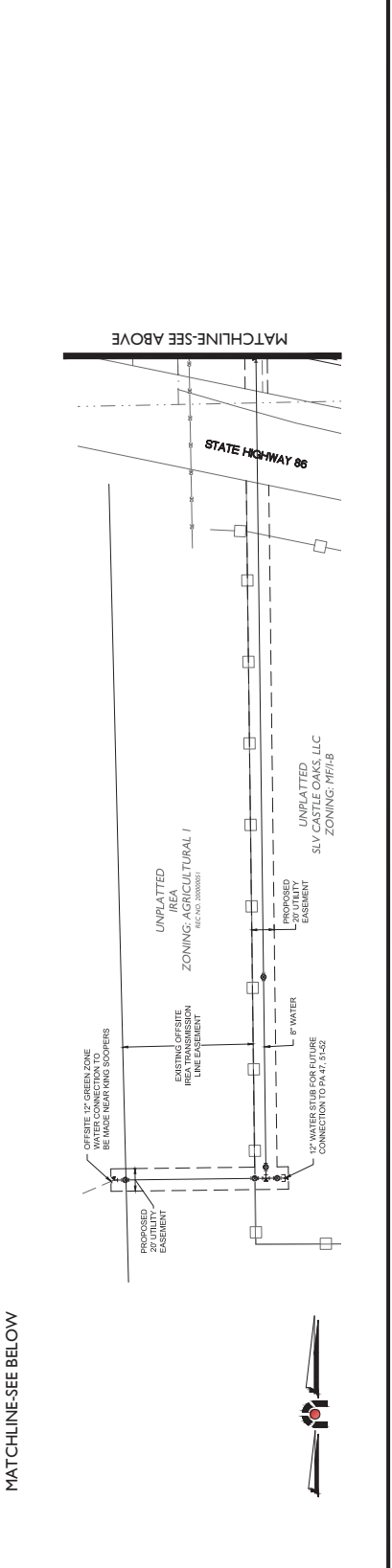
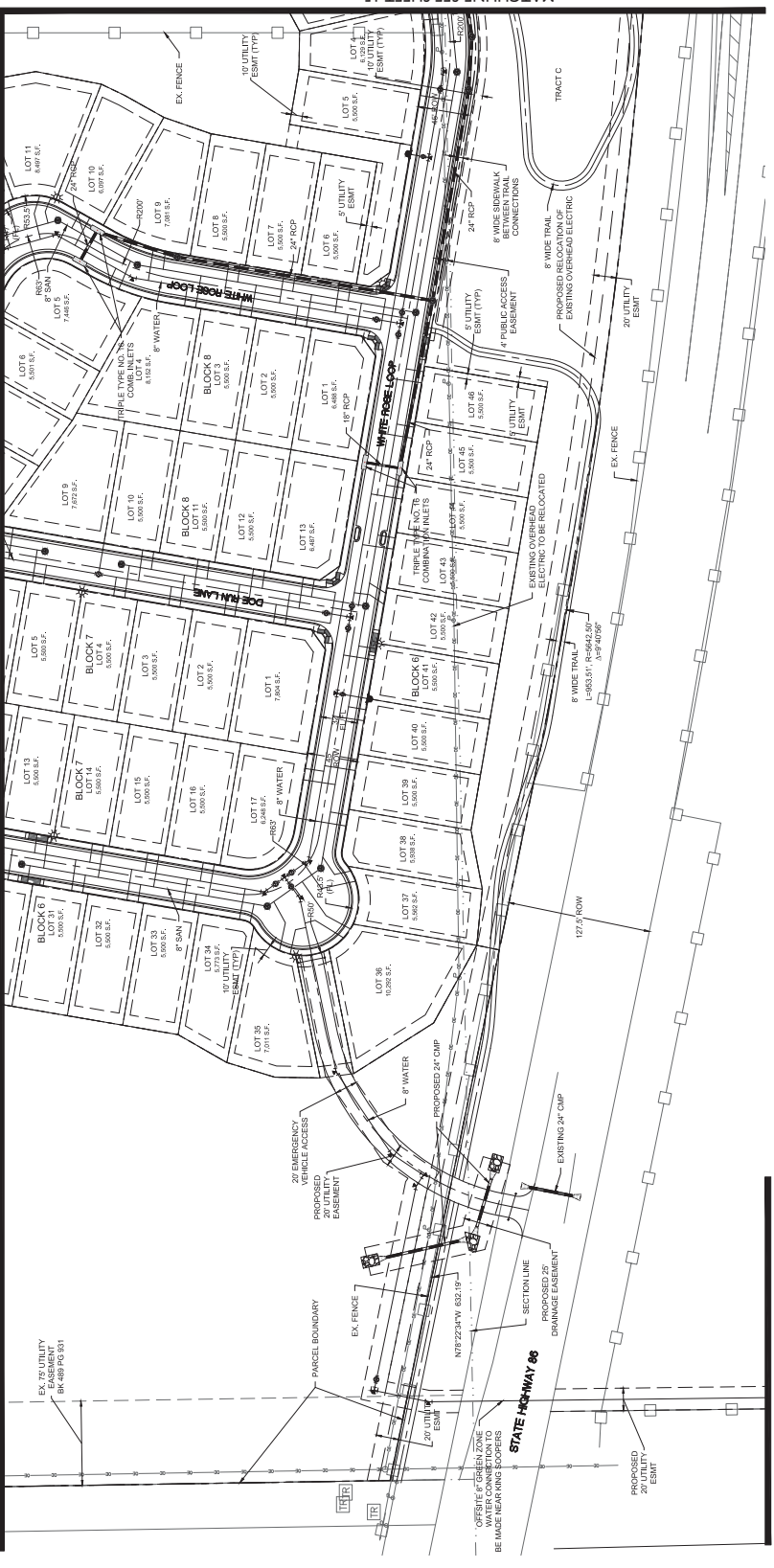
- UTILITY NOTES:**
- ALL PROPOSED EASEMENTS MUST BE CONSTRUCTION PERMITS.
 - THE MINIMUM SEPARATION BETWEEN SEWER LINES IS 10 FEET. BETWEEN WATER SERVICE LINES IS 5 FEET.
 - THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK, COLORADO.
 - PRESSURE ZONES.

REVISIONS

#	DESCRIPTION	DATE
1	TERRAIN FILING NO. 2	10/14/2015
2	TERRAIN FILING NO. 2	10/14/2015
3	TERRAIN FILING NO. 2	10/14/2015

UTILITY PLAN
SHEET 13 OF 22

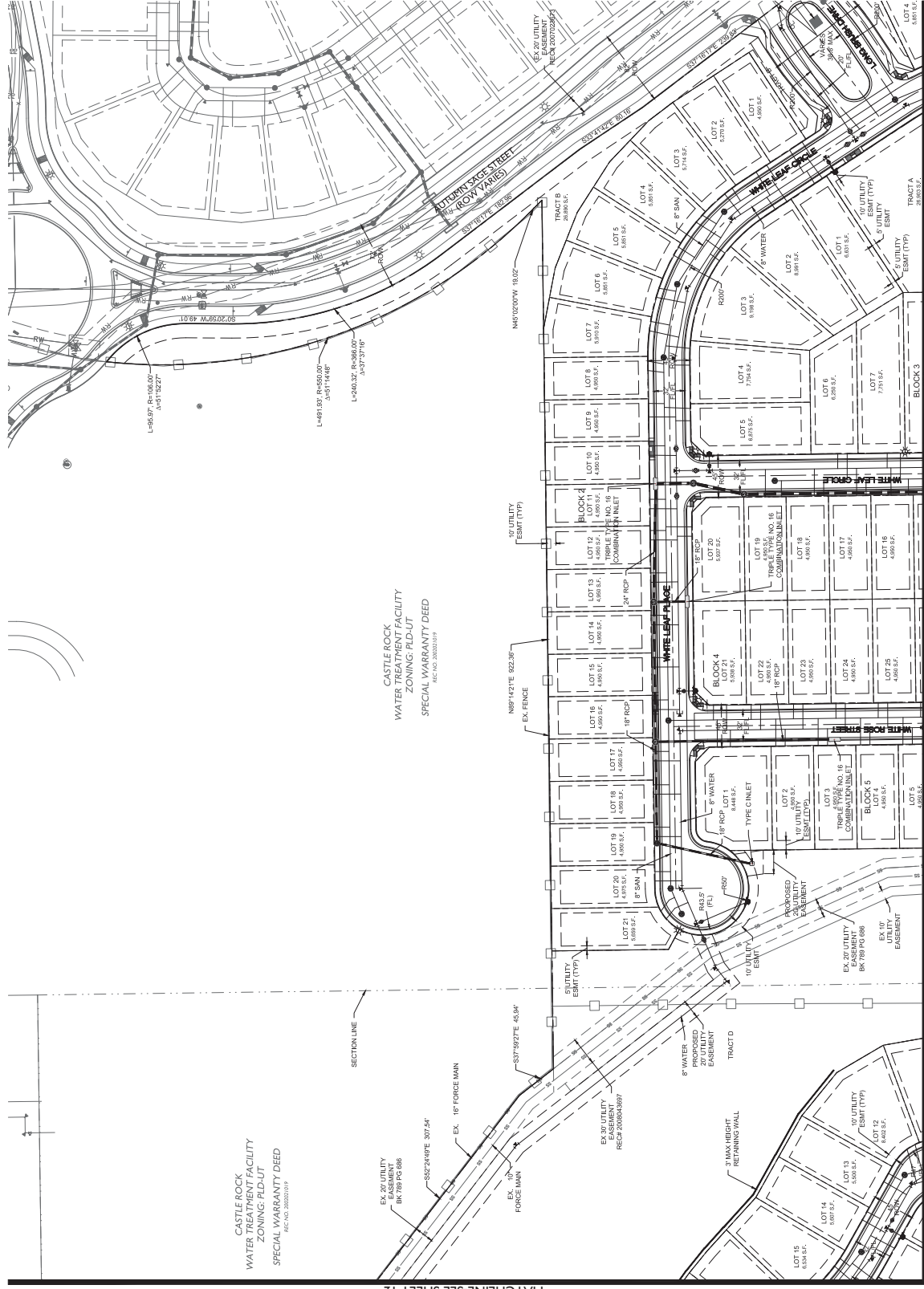
SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2
SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LOGOS AND CONTACT INFORMATION: CIVIL ENGINEERING, LAND SURVEYING, CORE CONSULTANTS, etc.

**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 2**

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH; RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND:

—	SANITARY SEWER
—	PROPOSED GRAVITY SEWER
—	PIPE WITH PULL BOX
—	SANITARY SERVICE - 4" PIPE
—	PIPE WITH MANHOLE
—	WATER
—	TRANSMISSION MAIN
—	RAW WATER LINE
—	IRRIGATION LINE
—	PIPE WITH VALVE & B.O.
—	WATER SERVICE
—	WATER VALVE
—	FIRE HYDRANT
—	BEND AND THRUST BLOCK
—	TRANSMISSION MAIN
—	STORM DRAIN
—	INLET AND PIPE
—	FLARED END SECTION
—	EX. MANHOLE and PIPE
—	EXISTING DRY UTILITY
—	UNDERGROUND ELECTRIC
—	UNDERGROUND TELEPHONE
—	FIBER OPTIC LINE
—	EASEMENT
—	PROPERTY BOUNDARY LINE
—	HANDICAPPED RAMP
—	PROPOSED STREET LAMP
—	EXISTING STREET LAMP

NOTE:

- LOTS MARKED WITH * SHALL HAVE NO SOLD OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC SIGNALS, AND SIGNAGE) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE FINISHED GRADE. ELEVATION OF THE UNITS TO BUILDINGS, UTILITY CABINETS, WALLS, OUTSLOPPES, AND BERMS SHALL BE PLACED WITHIN SHORT DISTANCE LINES AND SIGHT DISTANCE LIMITATIONS.

UTILITY NOTES:

- ALL PROPOSED EASEMENTS MUST BE CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK, COLORADO.

REVISIONS

#	DESCRIPTION	DATE
1	PER TOWN COMMENTS	08/15/18
2	PER TOWN COMMENTS	08/15/18

**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 2
UTILITY PLAN**

TOWN OF CASTLE ROCK, COLORADO

SCALE:
1" = 40'

DATE:
08/15/18

DESIGNED BY:
J. B. BROWN

CHECKED BY:
J. B. BROWN

PROJECT NO.:
SDP15-0023

SHEET NO.:
14 OF 22

UTILITY PLAN

**CASTLE ROCK WATER TREATMENT FACILITY
ZONING: PFD-UJ
SPECIAL WARRANTY DEED**
REC. NO. 200001019

**CASTLE ROCK WATER TREATMENT FACILITY
ZONING: PFD-UJ
SPECIAL WARRANTY DEED**
REC. NO. 200001019

**CASTLE ROCK WATER TREATMENT FACILITY
ZONING: PFD-UJ
SPECIAL WARRANTY DEED**
REC. NO. 200001019

CIVIL ENGINEERING
LAND SURVEYING

CORE CONSULTANTS

1500 W. 14TH AVE., SUITE 100
DENVER, CO 80202

- LEGEND:**
- SANITARY SEWER
 - PROPOSED GRAVITY SEWER
 - PIPE WITH PILING
 - SANITARY SERVICE, 4" PIPE WITH MANHOLE
 - WATER
 - IRRIGATION LINE
 - RAW WATER LINE
 - W/ 1/2" MFL & B.O.
 - WATER SERVICE
 - FIRE HYDRANT
 - BEND AND THRUST BLOCK
 - TRANSMISSION MAIN
 - STORM DRAIN
 - INLET PIPE
 - EX. MANHOLE AND PIPE
 - FLARED END SECTION
 - C
 - U
 - UNDERGROUND ELECTRIC
 - UNDERGROUND TELEPHONE
 - FIBER OPTIC LINE
 - EASEMENT
 - PROPERTY BOUNDARY LINE
 - HANDICAPPED RAMP
 - PROPOSED STREET LAMP
 - EXISTING STREET LAMP

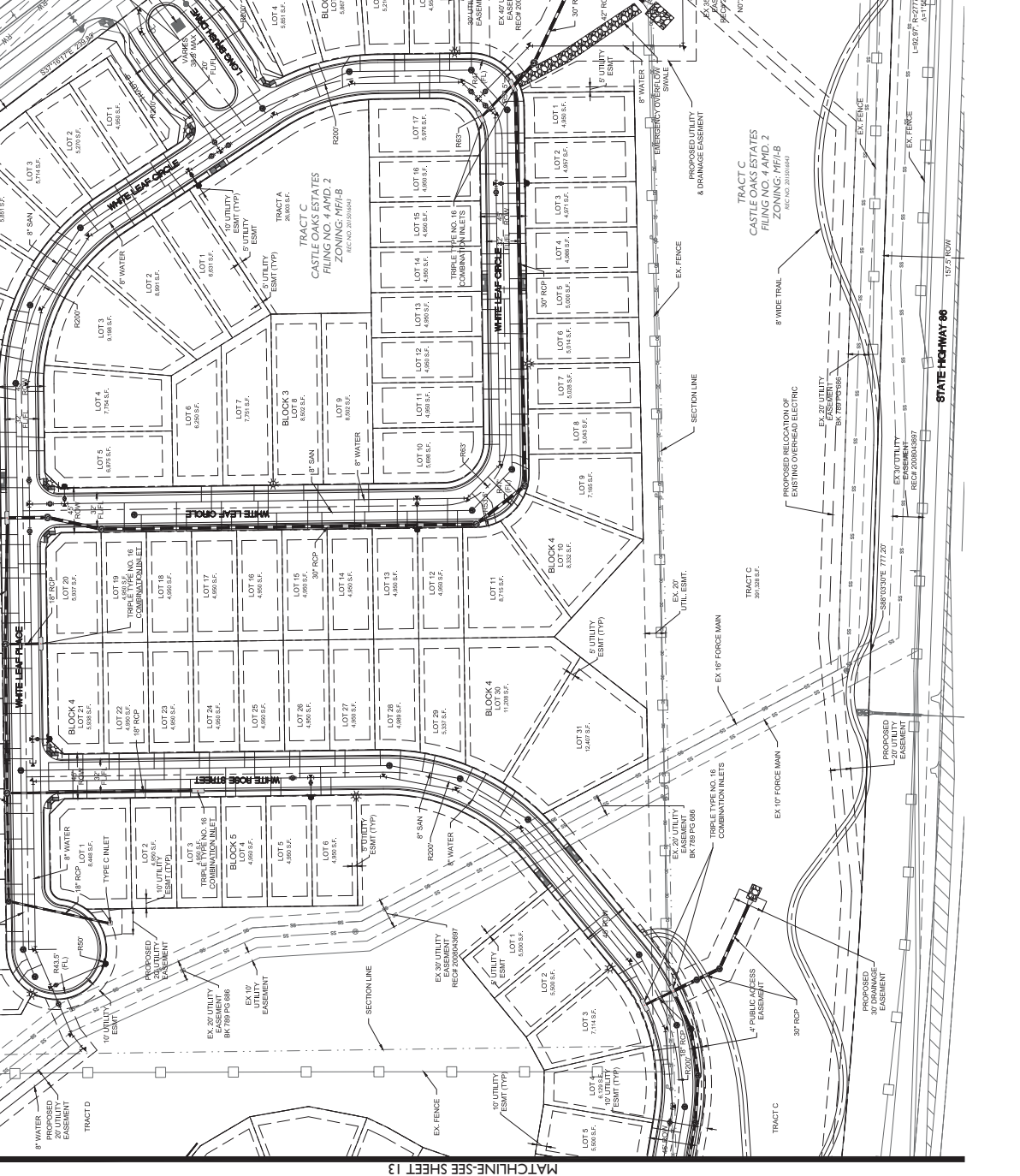
NOTE: * ALL PROPOSED EASEMENTS MUST BE CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN SEWER LINES IS 10 FEET. BETWEEN WATER SERVICE LINES IS 5 FEET.
 3. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK, COLORADO.
 4. PRESSURE ZONES.

UTILITY NOTES:

- ALL PROPOSED EASEMENTS MUST BE CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN SEWER LINES IS 10 FEET. BETWEEN WATER SERVICE LINES IS 5 FEET.
- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK, COLORADO.
- PRESSURE ZONES.

NOTE: *

LOTS MARKED WITH * SHALL HAVE NO SOLD OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC SIGNALS, AND LIGHTS) TO BE PLACED ON EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FINISHED ELEVATION OF THE ADJACENT STREET. UTILTY CABLES, WALLS, OUTSLOPPES, AND BEMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.



MATCHLINE-SEE SHEET 13

MATCHLINE-SEE SHEET 14

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE DEVELOPMENT PLAN FOR
 TERRAIN FILING NO. 2

**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 2**

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

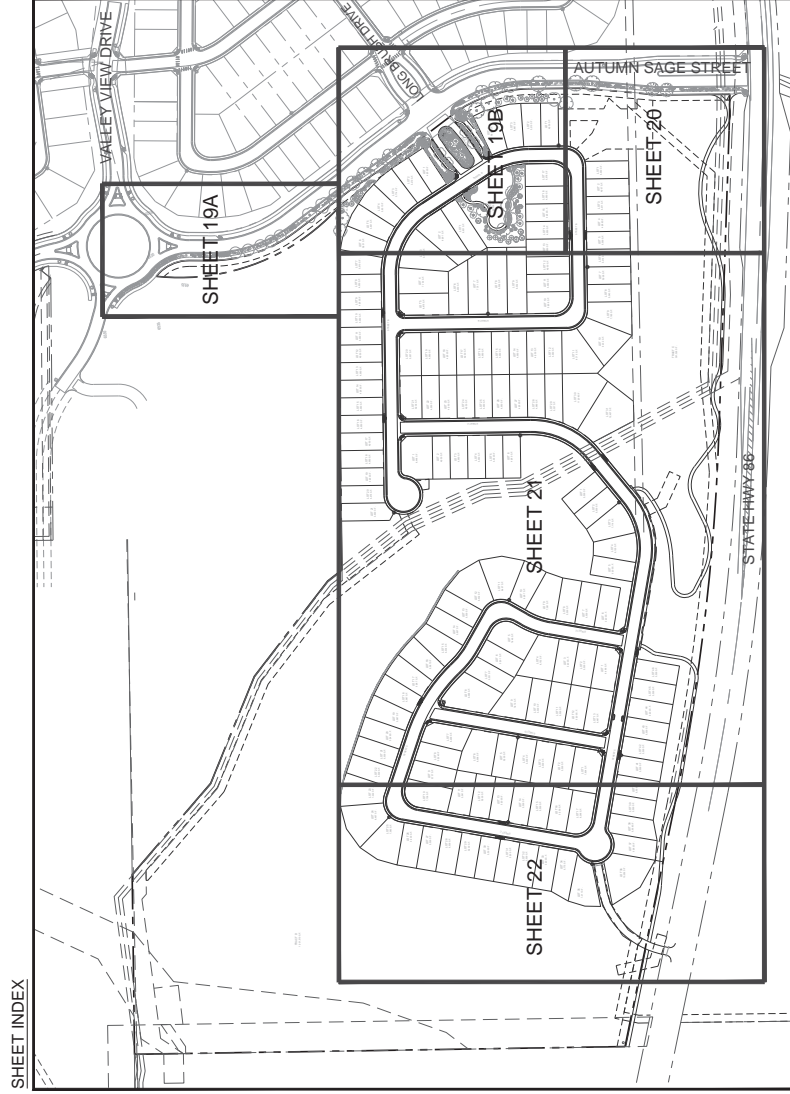
LANDSCAPE ARCHITECTURE:
people creating spaces
LANDSCAPE ARCHITECT
JAMES W. BLAKE, P.E.
1000 WEST WASHINGTON AVE., SUITE 100
DENVER, CO 80202
303.733.1900



FOR THE TOWN OF CASTLE ROCK, COLORADO
FOR THE TOWN OF CASTLE ROCK, COLORADO
FOR THE TOWN OF CASTLE ROCK, COLORADO



DATE: 11/19/15
PROJECT NO. 14-001



- LANDSCAPE SHEET INDEX**
- 15 LANDSCAPE COVER SHEET
 - 17 LANDSCAPE NOTES
 - 18 OVERALL LANDSCAPE, FENCING & TRAIL PLAN
 - 19 LANDSCAPE PLANS
 - 20 LANDSCAPE PLANS
 - 21 LANDSCAPE PLANS
 - 22 LANDSCAPE PLANS & MONUMENT DETAILS

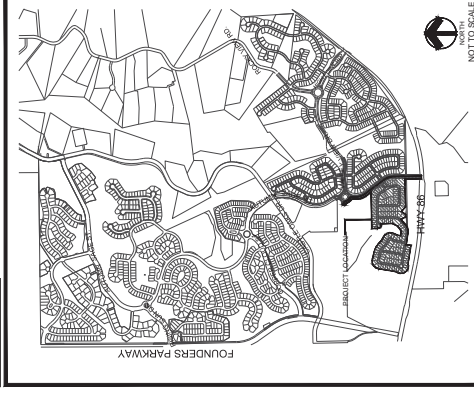
CONTACTS
PLANNERS LANDSCAPE ARCHITECTURE
1000 WEST WASHINGTON AVE., SUITE 100
DENVER, CO 80202
CONTACT: JAMES W. BLAKE, P.E.
303.733.1900

FOR THE TOWN OF CASTLE ROCK, COLORADO
300 1/2 WEST WASHINGTON AVE., SUITE 100
CASTLE ROCK, CO 80108
CONTACT: PHIL DALRYMPLE, 303.703.4444

REVISIONS

#	DATE	DESCRIPTION
1		PER TOWN COMMENTS
2		PER TOWN COMMENTS

VICINITY MAP



**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 2
PROJECT# SDF15-0023**

DATE	11/19/15
PROJECT NO.	14-001
SHEET	16 OF 22

LANDSCAPE COVER SHEET & NOTES

CONCEPTUAL PLANT SCHEDULE

Prepared by: James W. ...
Professional: ...
Registration #: ...
Company Name: ...
Address: ...
Phone: ...
Email: ...

Plant Name (Scientific)
Plant Name (Common)
Plant Name (Trade Name)

Table with columns: Plant Name (Scientific), Plant Name (Common), Plant Name (Trade Name), Root System, Mature Size, No. of Plants, Water Requirements, Winter Hardiness, Height, Spacing, % of Site Area, % of Total Area, and Notes.

MULCH & GROUND COVER LEGEND
MULCH: 600 SF CRUSHER PINES, TAN
4,010 SF ROCK MULCH, 4-1/2" CORBLE
7,100 SF WOOD MULCH
SOIL SEED: PERMANENT GRASS SEED
GROUND COVER: COMMON NAME

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SEED/SOD MIXES

IRRIGATED SOD: ...
NON-IRRIGATED NATIVE SEED MIX: ...

Table with columns: Plant Name, % of Site Area, % of Total Area, and Notes.

CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES

- 1. SCALING COVERS ARE ESTIMATED FROM LANDSCAPE AREA COVERSAGES SHALL BE OR EXCEED COVERSAGES PER PRESENTED IN THIS DRAWING AND SHALL CONFORM TO...
2. QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED FROM QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS...
3. QUANTITIES OF TREES TO BE PLANTED ARE APPROXIMATED FROM QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS...
4. DISTANCE OF TREES TO MULTIPLE LINES SHOULD BE A MINIMUM OF 10 FEET...
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPE AREAS GREATER THAN ONE SQUARE FOOT PER SECTION 4.2.2 OF THE LANDSCAPE AND IRRIGATION MANUAL...
6. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPE AREAS GREATER THAN ONE SQUARE FOOT PER SECTION 4.2.2 OF THE LANDSCAPE AND IRRIGATION MANUAL...
7. IRRIGATION SYSTEMS ARE TO BE DESIGNED TO PROVIDE SUFFICIENT WATER TO ALL PLANTS AND TO BE COMPATIBLE WITH THE IRRIGATION SYSTEMS TO BE USED...
8. IRRIGATION SYSTEMS ARE TO BE DESIGNED FOR THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.1 AND TO CORRELATE WITH THE USE TYPE OF THE PROPERTY...
9. SLOPE GRADIENTS SHALL BE AS SHOWN ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

COMPOSITE LANDSCAPE WATER USE RATING CHART

Table with columns: Landscape Zone, Watering Rating, and Notes.

Table with columns: Plant Name, Zone, % of Total Area, LA (Landscape Area Rating), LWIR (Landscape Watering Rating), and CLWIR (Landscape Watering Rating).

STREETSCAPE TABLE

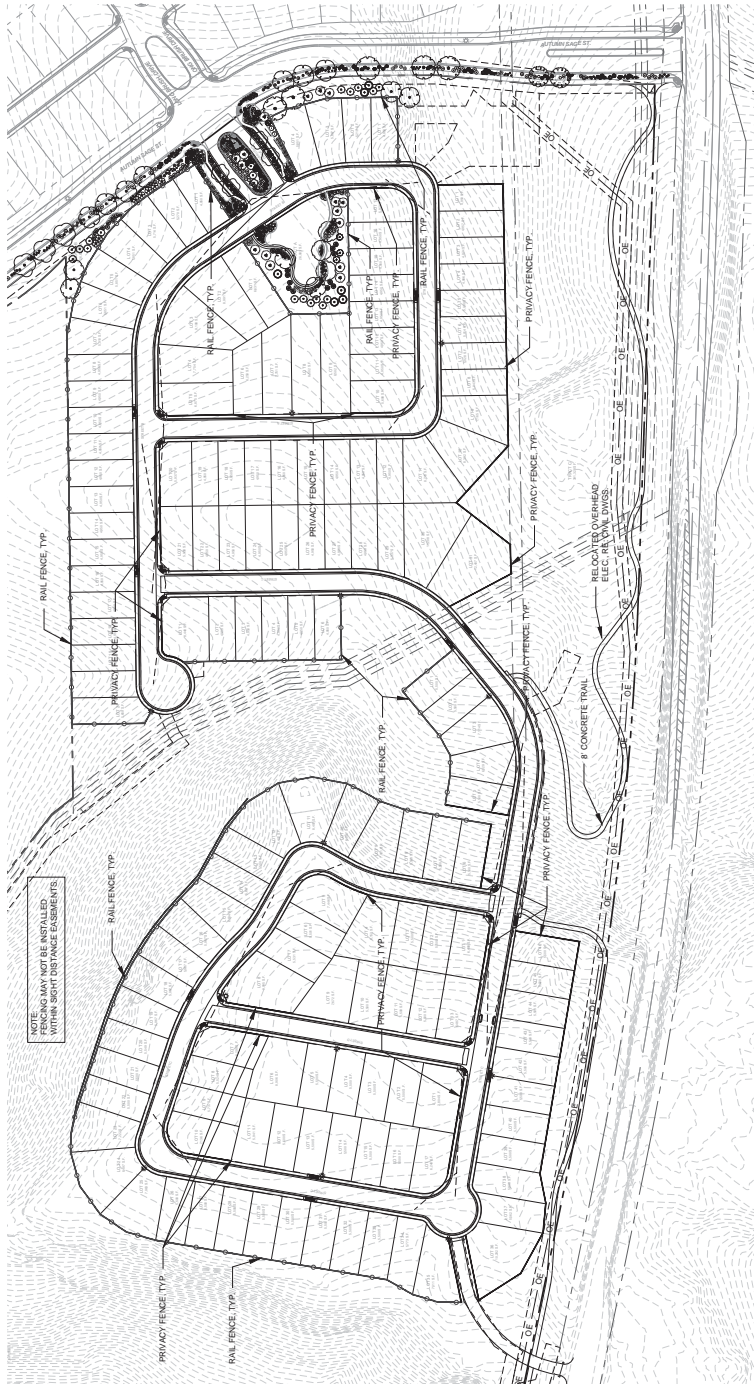
Table with columns: Street Name, Length, and Notes.

LANDSCAPE SUMMARY TABLE

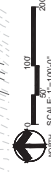
Table with columns: Landscape Type, Square Footage, and Notes.

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 2
 SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

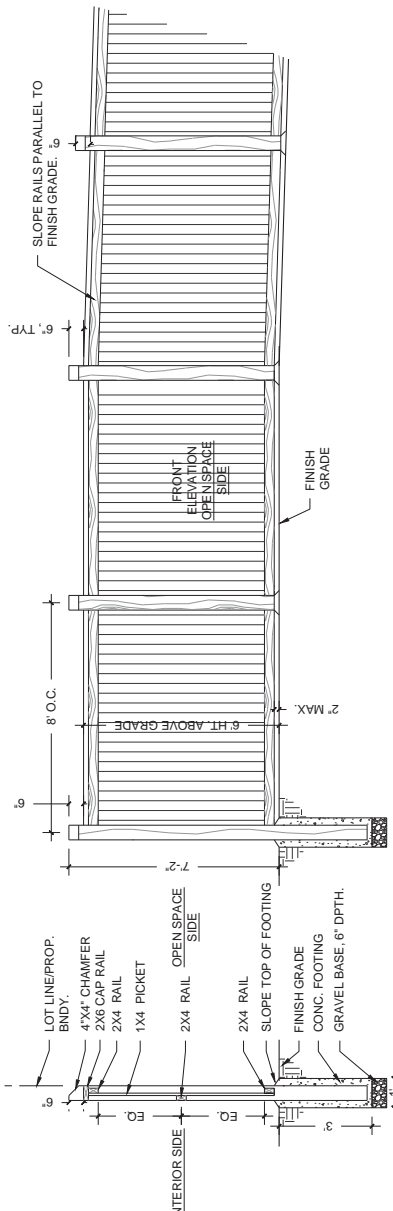


NOTE:
 FENCING MAY NOT BE INSTALLED
 UNTIL SHORT DISTANCE EASEMENTS



1 RAIL FENCE

NOT TO SCALE

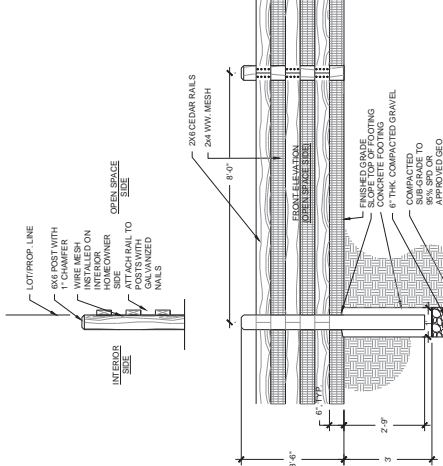


2 PRIVACY FENCE

NOT TO SCALE

- NOTES:
- ALL LUMBER SHALL BE NO. 1 SE SAWN CEDAR AND SHALL BE SC STRAIGHT, FREE FROM KNOTS, SHAKES OR DISCOLORATION. ALL CHAMFERED EDGES & ROUTED BE UNIFORM AND FROM FRONT SIDE. ALL NAILS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPP GALVANIZED. NAILS SHALL BE SECURELY BR BONDS ARE NAILED.
 - ALL EXPOSED LUMBER SHALL S APPROVED BY HOA (OR ARCH COMMITTEE). CONTRACTOR TO COLOR SAMPLES FOR APPROVA

- NOTES:
- ALL LUMBER SHALL BE NO. 1 SELECT, ROUGH SAWN CEDAR AND SHALL BE SOLID, STRAIGHT, ALL CHAMFERED EDGES & ROUTED AREAS SHALL BE UNIFORM AND FROM FRONT SIDE. ALL NAILS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED. NAILS SHALL BE SECURELY BRACED IN THEIR FINAL POSITION A MIN. 24 HRS. BEFORE BOARDS ARE NAILED.
 - ALL EXPOSED LUMBER SHALL BE APPROVED BY HOA (OR ARCH. CONTROL COMMITTEE). CONTRACTOR TO SUBMIT COLOR SAMPLES FOR APPROVAL.



NO.	DATE	DESCRIPTION
1	08/15/23	ISSUED FOR PERMITS
2	08/15/23	PER TOWN COMMENTS
3	08/15/23	PER TOWN COMMENTS

REVISIONS

TERRAIN FILING NO. 2
 OVERALL LANDSCAPE FENCING & TRAIL PLAN
 TOWN OF CASTLE ROCK, COLORADO

SITE DEVELOPMENT PLAN FOR
 TERRAIN FILING NO. 2
 PROJECT# SDP15-0023

18 OF 22

CIVIL ENGINEERING
 LANDSCAPE ARCHITECTURE
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CORE CONSULTANTS
 CONSULTANTS

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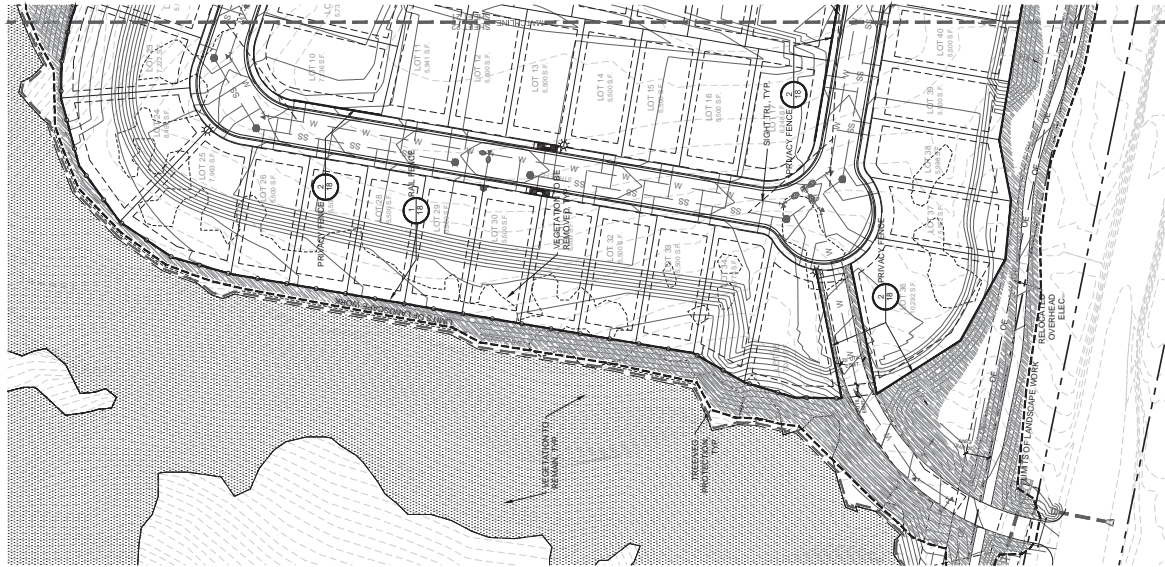
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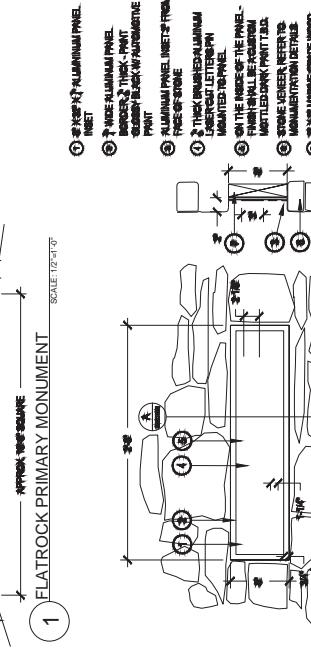
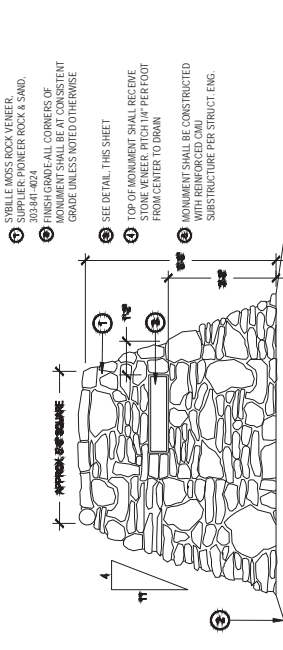
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SITE DEVELOPMENT PLAN FOR

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 SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



SYMBOL LEGEND	PLANT PALETTE
<ul style="list-style-type: none"> ROCK TREES EVERGREEN TREES ORNAMENTAL TREES ROCK GROUP VEGETATION TOUR SIGN WALK PROTECTION 	<ul style="list-style-type: none"> COMMON NAME: EVERGREEN TREES COMMON NAME: BURR OAK COMMON NAME: COMMON HACKBERRY COMMON NAME: KENTUCKY COFFEE TREE COMMON NAME: SHADBLOW COMMON NAME: SWAMP WHITE OAK COMMON NAME: BOSWELL BLACK PINE COMMON NAME: LIBBY PINE COMMON NAME: ROCKY MOUNTAIN JUNIPER COMMON NAME: VICTORIA BLUE SPURGE COMMON NAME: HOT WINGS TANANIA MALE COMMON NAME: COMMON BLUEBIRD SPREA COMMON NAME: GORSE COMMON NAME: GRO-LOW FRAGRANT SUMAC COMMON NAME: LITTLE LEAF ROCKROSE COMMON NAME: MANZANITA COMMON NAME: PAVANE BUTTES SAND CHERRY COMMON NAME: ROCK COTONEASTER COMMON NAME: SAND CHERRY COMMON NAME: SILVER BURDEAU GUM COMMON NAME: WHITE MEXICAN ROSE COMMON NAME: AUTUMN BRILLIANCE SERVICEBERRY COMMON NAME: BLUE STEM JOINT FIR COMMON NAME: MOONLIGHT BROOM COMMON NAME: CRUSHER PINES, TAN COMMON NAME: FEATHER REED GRASS COMMON NAME: MALDEN GRASS COMMON NAME: SWITCH GRASS COMMON NAME: SUNBURST COMMON NAME: FIRST THUSOOP COMMON NAME: CRUSHER PINES, TAN COMMON NAME: ROCK MULCH, 3/4" DIA COMMON NAME: ROCK MULCH, 4-12" COBBLE COMMON NAME: WOOD MULCH COMMON NAME: SODSEED



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