



Meeting Date: September 4, 2024

## **AGENDA MEMORANDUM**

**To:** Historic Preservation Board

**From:** Brad Boland, AICP Long Range Project Manager  
Development Services

**Title:** Design Review: 104 North Lewis Street

**S ½ Lot 5 & All of Lot 6 Block 16 Craig & Gould's Addition to Castle Rock**

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### **Executive Summary**

The property owners of 104 North Lewis Street, Susan and Steve Thayer, have submitted an application for the construction of one-story single-family residence. The property is located at the north east corner of First Street and Lewis Street.

**(Attachment A).**



Figure 1: Vicinity map

## Background

### Existing Conditions and Surrounding Uses

A single-family home currently sits on the property. The property measures approximately 0.241 acres in size or 10,497 square feet. The Historic Preservation Board recommended approval on February 7, 2024 for the demolition of the existing single-family residence. Town Council approved the demolition on March 5, 2024.

The surrounding area consists of single-family residences that are predominantly one-story with a few two-story residences mixed in.

### Zoning Regulations

The property is zoned R-2 Single Family and Duplex Residence District. The zoning allows single-family and two-family dwellings as uses permitted by right. The proposed single-family home complies with the zoning's development standards, including setbacks and height.

## Discussion

### Proposed Project

The applicants are proposing a one-story single-family residence (**Attachment B**). The single-family residence has a proposed foot print of approximately 3,800 square feet. A basement with additional living space is proposed. The garage is located at the back of the single-family residence and will be accessed from the alleyway. The garage does have an area above it, though the height of the garage is consistent with the rest of the structure. The vernacular style home has a cross gabled roof configuration.

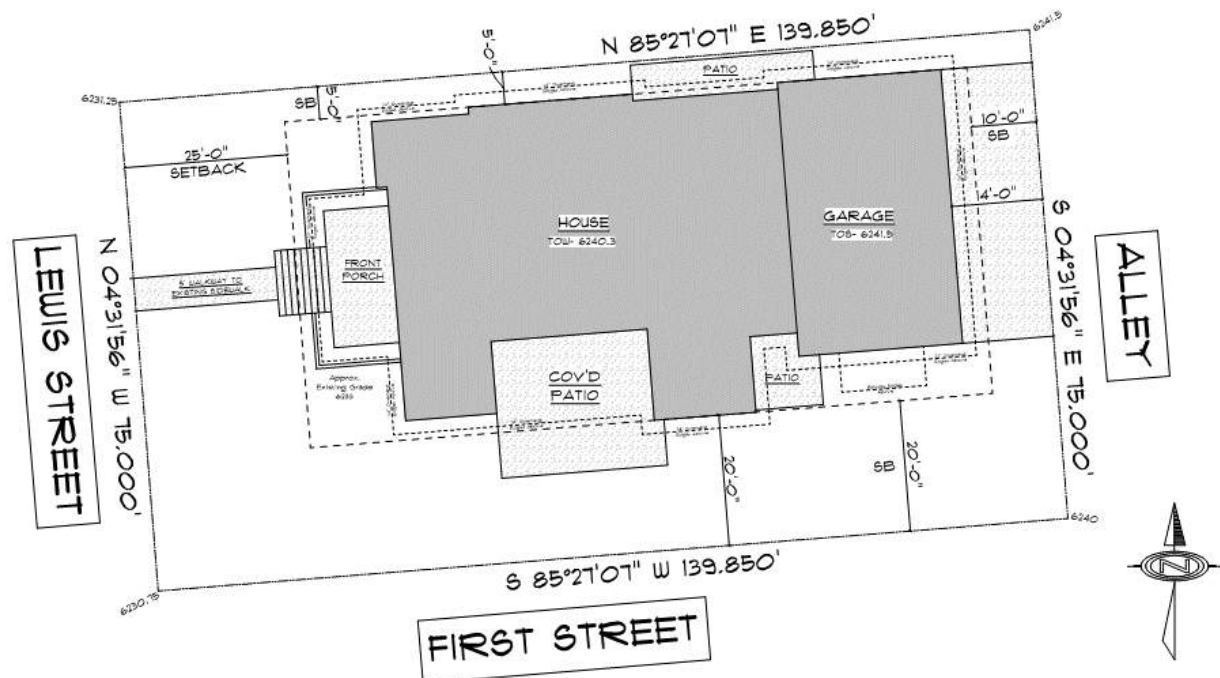


Figure 2: Site Plan

The front (west) elevation consists of three front facing gables and includes a covered front porch with columns and railing. The building will be clad in 6- inch horizontal lap siding that is framed by white trim. Two of the gable ends are ornamented with a simple vertical board and batten above the horizontal siding and have simple ornamented brackets at the peak of the eaves. The foundation, where exposed, is clad in a grey stone veneer.

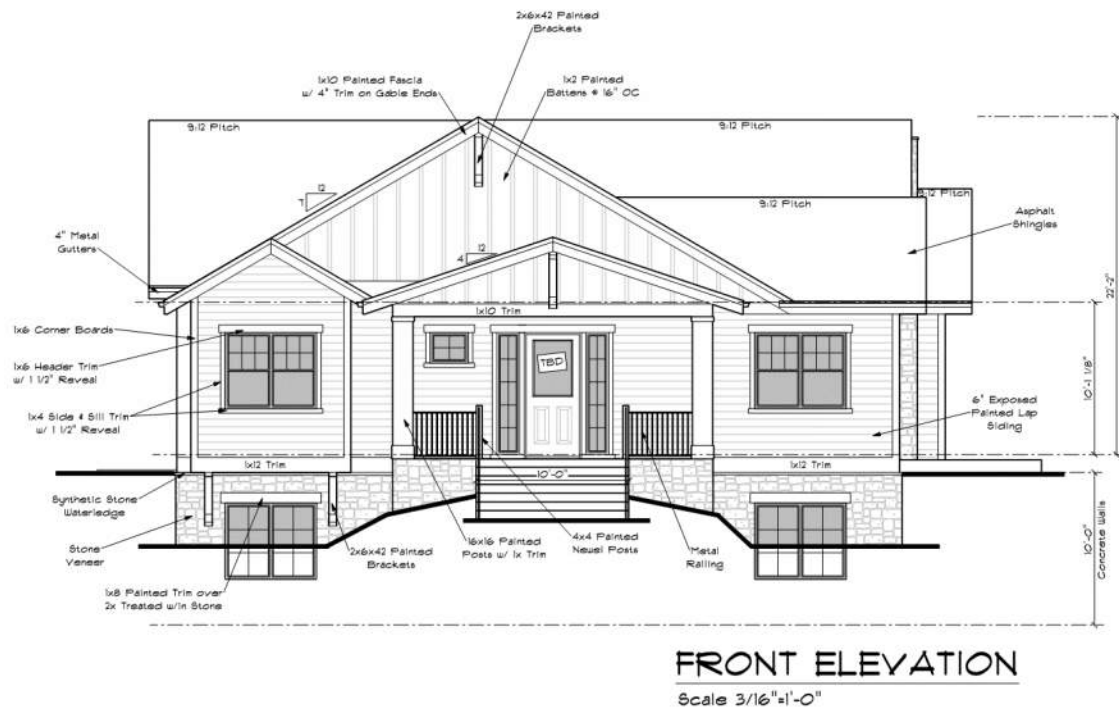


Figure 3: Front/West Elevation

The rear (east) elevation is the garage. The garage doors consist of vertical panels with transom windows. A white 8-inch white trim header is found over the garage doors. The rest of the rear elevation consists of the gray horizontal lap siding framed in white trim. Just below the eve of the side gabled roof is a narrow vertical board and batten section. A deck comes off the living space above the garage on the south side.

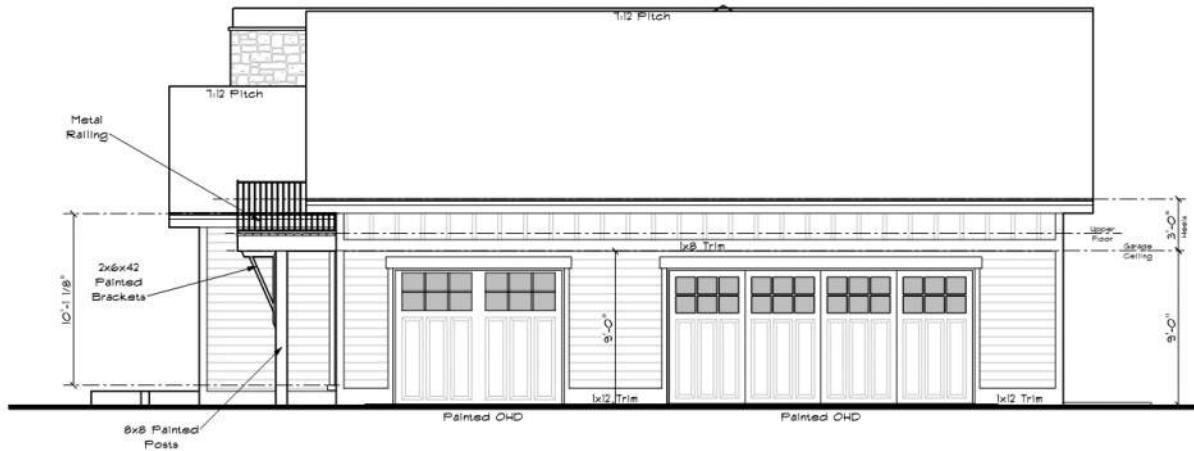


Figure 4: Rear/East Elevation

The north elevation consists of two cross gabled roofs. The elevation consists of the gray horizontal lap siding with white trim. The rear gable end consists of the vertical board and batten ornamentation over the horizontal siding. The gable end in the middle of the elevation has vertical board and batten that spans from the ground to the top.



Figure 5: Side/North Elevation

The south elevation defining characteristic is the four gable ends. Each gable end is ornamented with the vertical board and batten sitting above vertical grey lap siding framed in white trim. Decorative brackets are used on three of the gable end eaves. One gable end has a covered patio that is accessed by 7.5-foot glass doors that span the majority of the gable end. A chimney that spans from the ground to just below the roof line is found in the middle of the elevation and is clad in the same grey stone accent as the exposed foundation. The deck from the garage is visible from this elevation.





## External Stone Accent: Edwards Stone Ashlar Pearl Gray



## Paint Colors for Trim and Siding:



## Garage Doors Color:



## **Public Outreach and Notification**

### **Neighborhood Meetings**

A neighborhood meeting was held on June 26, 2024. No members of the public attended.

### **Public Notice**

Public hearing notice signs were posted on the property on August 20, 2024. Written notice letters were sent to property owners within 500 feet of the property, at least 15 days prior to the public hearings.

Town staff published notice of the Historic Preservation Board public hearing on the Town's website and provided information about the proposal on the Town's *Development Activity* interactive map.

## **Analysis**

The property is located within the Craig & Gould neighborhood, as depicted in the Town of Castle Rock Municipal Code (CRMC), Section 15.64.020, Figure 1. The following staff analysis is based on the representations made in the application and attachments submitted to date and the review criteria found in the CRMC Section 15.64.200 Approval for new construction and alterations to non-Landmarked properties, Craig and Gould neighborhood.

### **New Construction and Alterations to Non-Landmarked Properties, Craig and Gould Neighborhood Review and Approval Criteria and Analysis 15.64.200.C**

## **A. Castle Rock Style Standards**

*Analysis: These standards state that new construction should be compatible to the height of existing buildings, roof pitch should be consistent with the neighborhood, and building materials should resemble the traditional materials, if possible. Design elements from the Craig & Gould neighborhood that are incorporated into the new building include the gabled roof facing the street, lap siding, simple decorative trim, and a front porch.*

## **B. Castle Rock Design Standards**

*Analysis: Chapter 5, Section III of these standards include guidelines for building within the Craig & Gould's historic residential district. New development should match the traditionally small scale of the existing buildings within the neighborhood. Materials should be compatible with those found in existing buildings. Roof forms and pitches should also be similar to provide visual continuity. Front porches are encouraged along with earth-toned building colors.*

## **C. F.R.E.S.H. Standards in Castle Rock Historic Preservation Plan**

*Analysis: The "footprint" of the proposed office building will have a minimal impact to the surrounding neighborhood. The size and scale of the proposed gabled roofs blends with the homes within the Craig and Gould neighborhood. The proposal creates a similar building "envelope" to those of other existing properties in the vicinity. The proposed "skin" will be lap siding with simple ornamentation designed to be reminiscent of other buildings in the area. Lastly, the windows and doors, or the "holes", are generally consistent with patterns found in the neighborhood.*

## **D. The Secretary of Interior's Standards for Rehabilitation**

*Analysis: The property is currently vacant and a single-family residence is proposed. The new construction will be compatible with the surrounding massing, size, scale and architectural features in the neighborhood.*

## **Findings**

**Section 15.64.200E (2)** of the Town's Municipal Code authorizes the Historic Preservation Board to review proposed new construction and alterations in the Craig and Gould neighborhood and to approve, approve with conditions or deny the proposed new construction and/or alterations. Town staff has reviewed this application and finds that the proposal:

- Is supported by the goals and objectives of the 2030 Comprehensive Master Plan and Vision; and
- Is consistent with the goals of the Town's Historic Preservation Plan, Castle Rock Style and Castle Rock Design; and
- Complies with the review approval criteria for new construction in the Craig and Gould neighborhood.

## **Staff Recommendation**

Based on the analysis and findings outlined in this report, staff recommends approval of this design request.

## **Motion Options**

### **Option 1: Approval**

I move to approve this design review request for South ½ Lot 5 & All of Lot 6 Block 16 Craig & Gould's Addition to Castle Rock.

### **Option 2: Approval with Conditions**

I move to approve this design review request for South ½ Lot 5 & All of Lot 6 Block 16 Craig & Gould's Addition to Castle Rock with the following conditions: (list conditions)

### **Option 3: Disapproval**

I move to disapprove or deny this design review request for South ½ Lot 5 & All of Lot 6 Block 16 Craig & Gould's Addition to Castle Rock, based on the following findings: (list reasons for denial)

### **Option 4: Continue item to next hearing (need more information to make decision)**

I move to continue this item to the next regular Historic Preservation Board meeting on October 2, 2024.

## **Attachments**

Attachment A: Vicinity Map

Attachment B: Plans

Attachment C: Materials Board





Fourth Street

Front Street

N Canby Street

N Lewis Street

Third Street

Anderson Street

High Drive

Hillside Drive

Second Street

Circle Drive

Lowell Drive

First Street

N Gilbert Street

South Street

S Lewis Street

S Canby Street

S Gilbert Street

S Oman Road

N Perry Street

S Perry Street

Phelps Street

Subject Property

Unincorporated  
Douglas County

104 Lewis Street Vicinity Map

Subject Property

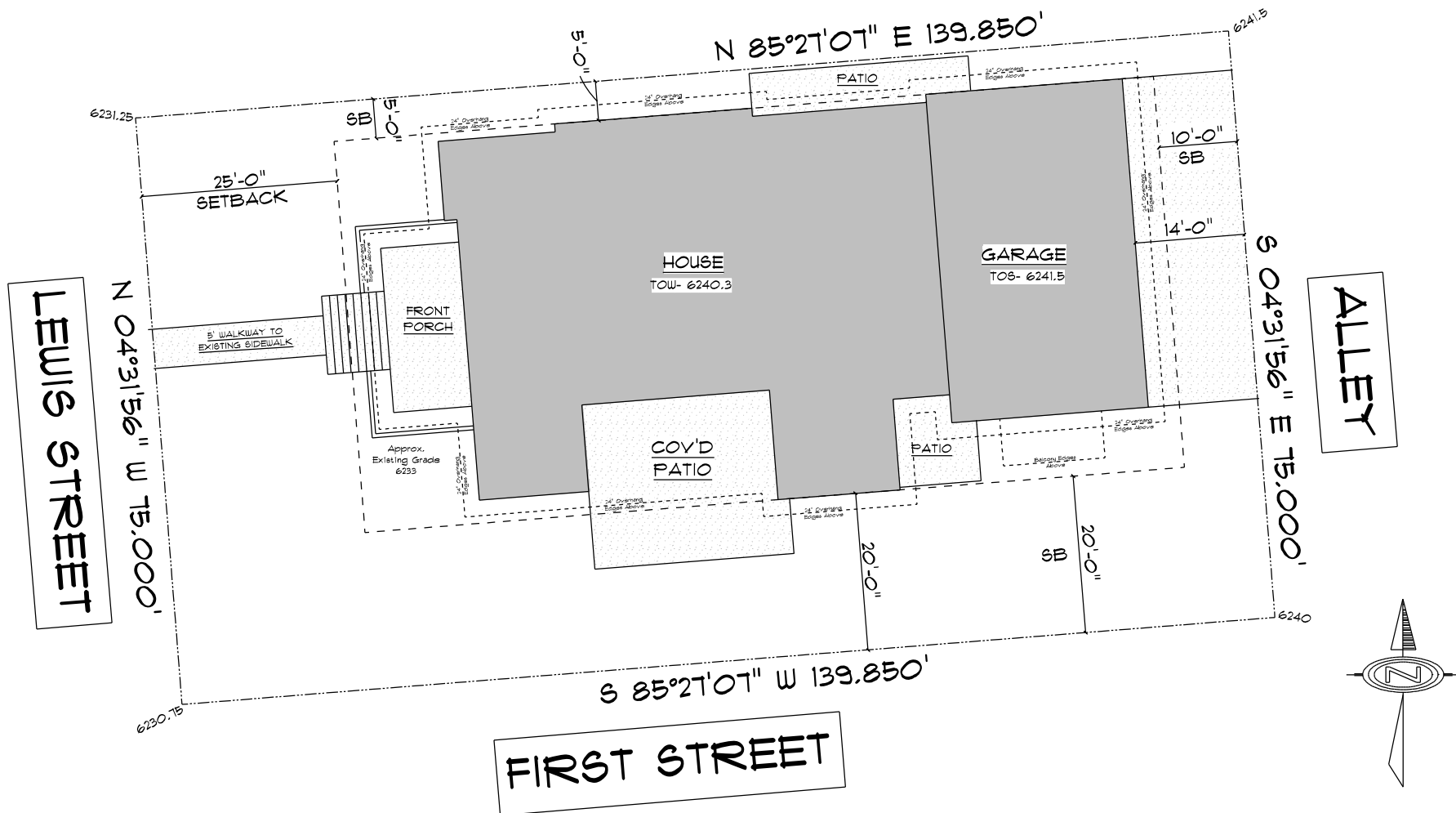
0 62.5 125 250 Feet

North Arrow

Town of CASTLE ROCK COLORADO



10% (Min) Grading Slope @ 1st 5'  
then 2% (Min) Grading Slope



**SITE PLAN**  
Scale 1"=20'-0"

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Revised 11-16-24  
A1  
BD  
47x58

**THAYER RESIDENCE**  
104 Lewis St, Castle Rock, CO



Pt. Collins, CO 80525  
970-412-3400  
www.RentfrowDesign.com



## A 3D architectural rendering of a two-story house. The house features a prominent stone foundation and a large, multi-gabled roof. The exterior walls are clad in horizontal siding, while the gables and the area around the chimney are finished with vertical siding. A large, textured stone chimney is a central feature. The front of the house has a covered porch with white columns and a railing. To the right, there is a balcony with a glass railing. The house is set on a flat, light-colored surface with a grid pattern, and the background is a plain white sky.

*It is intended for presentation purposes ONLY*

- 1- All necessary permits, inspections, and certificates of approval shall be paid for by either the general contractor or the home owner.
- 2- The general contractor shall provide necessary energy calculations to comply with local energy codes.
- 3- All dimensions are for rough framing.
- 4- All dimensions are to be field verified.
- 5- Foundation Plan, Roof Plan, and Floor Framing plans are schematic only. Refer to Structural engineer's drawings for notes and specs.
- 6- All subcontractors are responsible for applying to their respective codes. Code requirements are indicated by any notes or specs on these plans.
- 7- All jobsite changes and decisions are the responsibility of the General Contractor.
- 8- Renfrow Design, LLC is not responsible for any changes made to this design, once construction begins.
- 9- Perimeter Drain is shown on Structural Engineer's Drawings.
- 10- Diverted by the Home Owner.
- 11- Plant materials, including seed/sod are not spec'd.
- 12- All exterior window and door installations to be in strict compliance with manufacturer's specifications.
- 13- All carpentry work shall be erected plumb and true, following best practices of the trade. Trim work shall be neatly cut and fitted.
- 14- All lumber shall be S4S unless noted otherwise.
- 15- Framing shall provide backing for all appropriate finish materials.
- 16- General contractor and product supplier responsible for all safety signs where required by code.
- 17- Fireplace contractor to verify and supply all materials needed to install unit/s per manufacturer's requirements.
- 18- All shower doors to be chosen by home owner.
- 19- All of the following appliances to be provided by the home owner: refrigerator, dishwasher, hood, microwave, garbage disposal, dishwasher, washer and dryer.
- 20- Plumber to provide all labor, materials and equipment for the complete installation of the plumbing system. Including all hot and cold water distribution and all necessary waste systems.
- 21- Plumber to provide a cold water line to the refrigerator.
- 22- The HVAC contractor shall provide a layout showing duct and air vent locations, its use and specs. The heating system shall be installed to all code requirements.

AB	Anchor Bolt	H	High
ADJ	Adjustable	LC	Leading Chute
AFF	Above Finish Floor	LG	Long
BLDG	Building	ML	Medium/ LVL
CLB	Cabinet	MTL	Metal
CAB	Cabinet	NTS	Not to Scale
CALL	Calling	OC	On Center
CLR	Clear	PT	Pressure Treated
CONC	Concrete	PTB	Particle Board
CONT	Continuous	R	Radius
DBL	Double	R4S	Roof 4 Sheaf
DIA	Diameter	S	Sheaf(s)
DN	Down	SH	Shower
DWG	Drawing	SQ	Square
EA	Each	STL	Steel
EQ	Equal	TBD	To Be Determined
FD	Floor Drain	TOJ	Top of Joint
FDN	Foundation	TOS	Top of Slab
FF	Finish Floor	TYF	Typical
FLR	Floor	UNO	Unless Noted
FT	Feet		Otherwise
FTG	Footing	V	Vertical
GLSS	Glass	WD	Wood

[illegible]

Main Floor Finished:  
2586 SqFt  
Garage(s):  
1032 SqFt  
Lower Floor Finished:  
1381 SqFt  
Lower Floor Unfinished:  
1193 SqFt  
Upper Floor Finished:  
0 SqFt  
Deck(s) & Patio(s):  
927 SqFt

Jon Rentfrow

STRUCTURAL  
ENGINEER

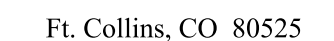
INTERIOR  
DESIGNER

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**AIB**  
American Institute  
of Business

104 Lewis St, Castle Rock, CO

Job Number



Ft. Collins, CO 80525

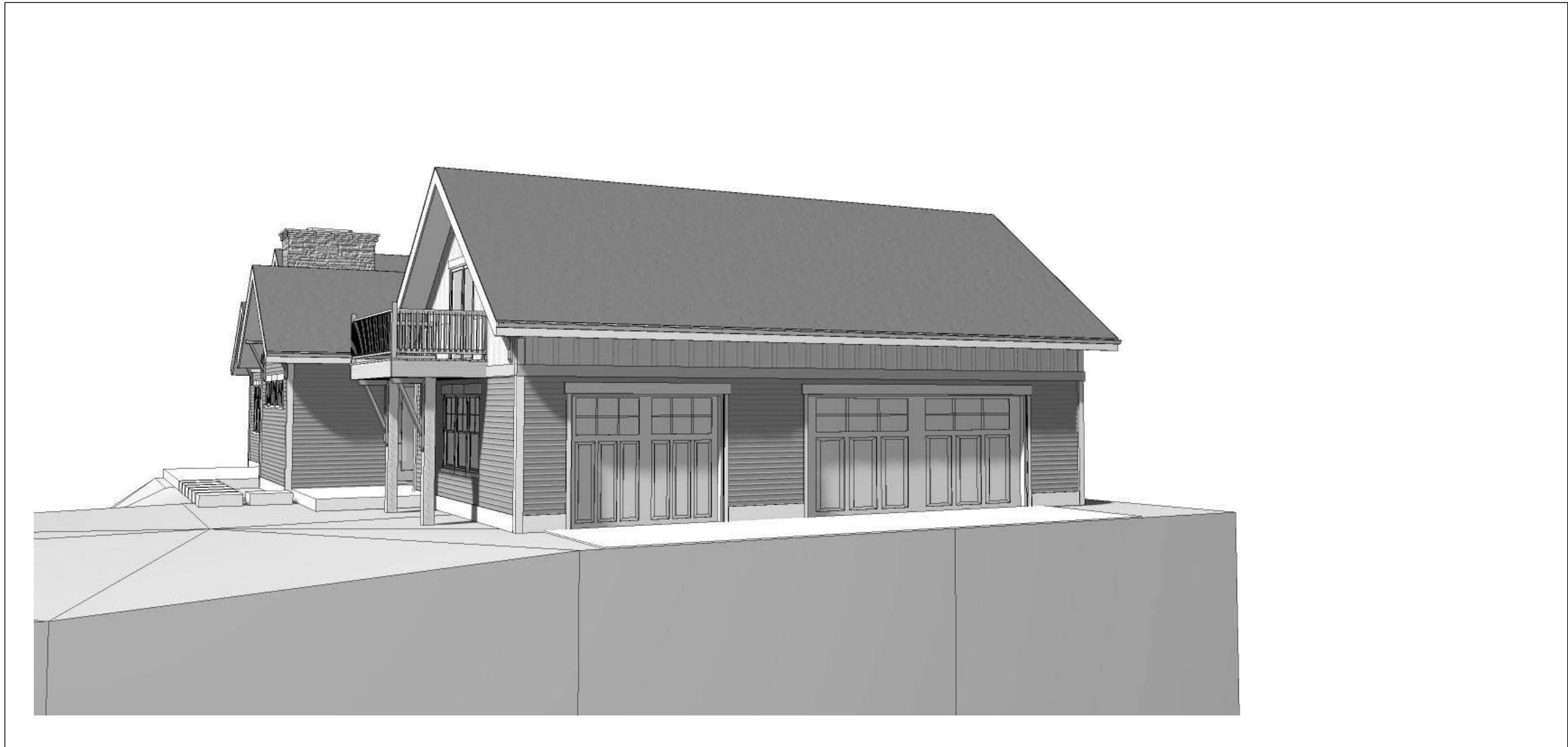
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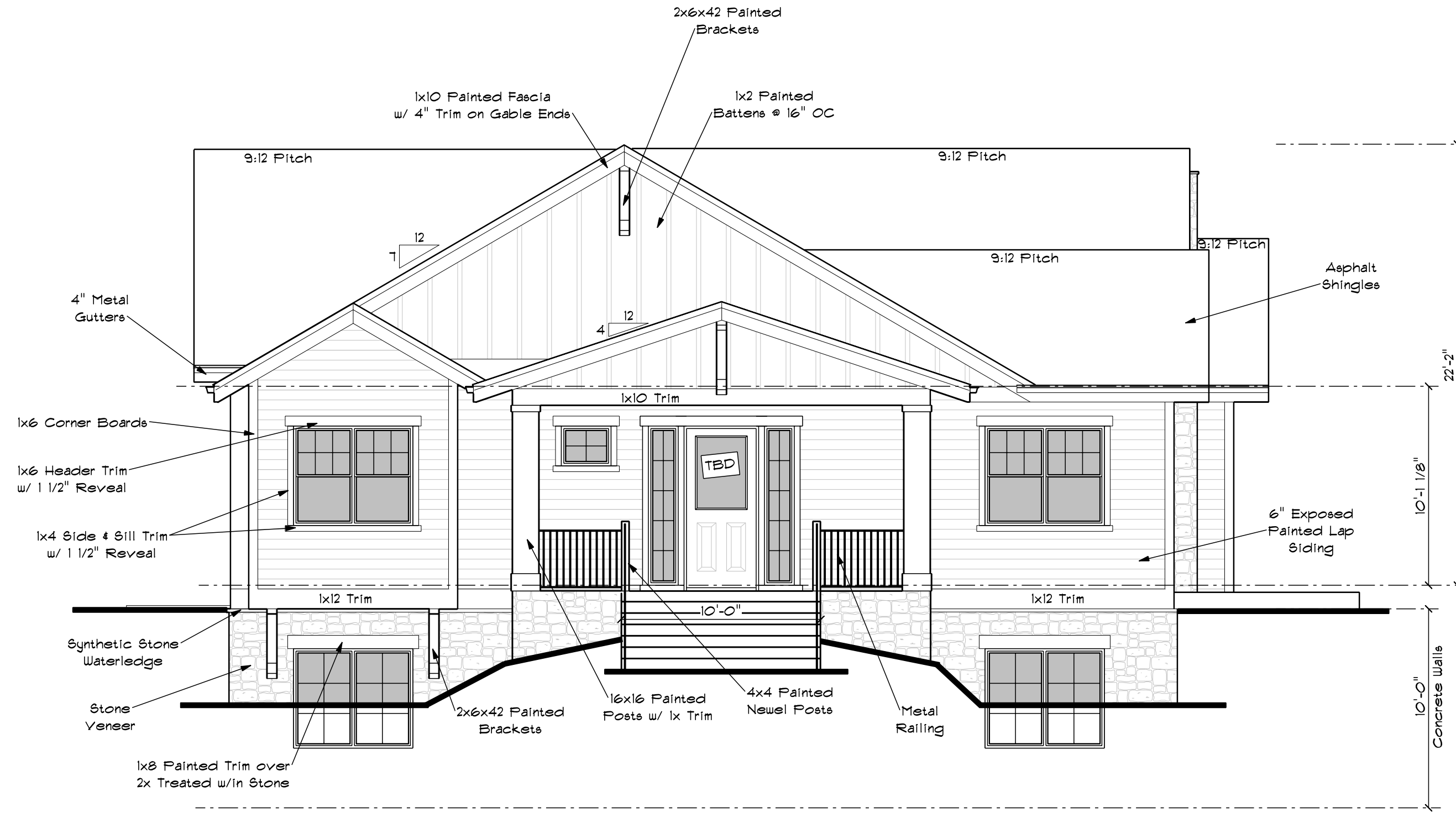
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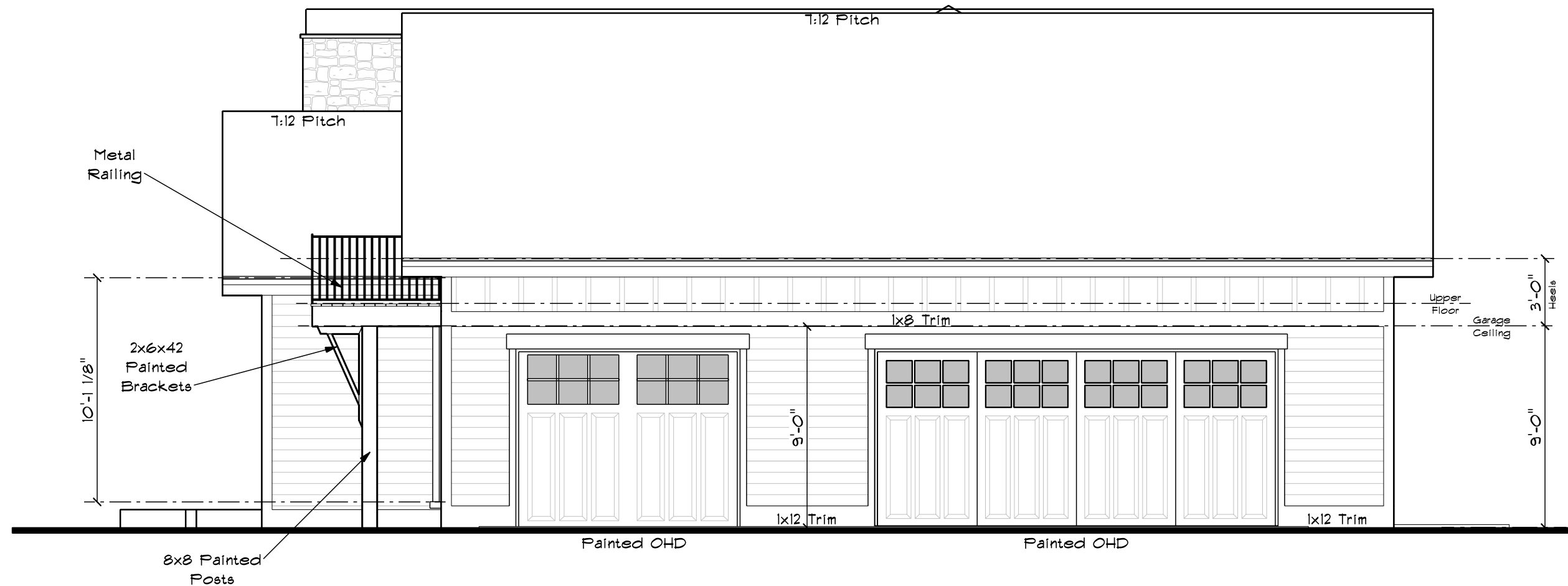
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4168





FRONT ELEVATION  
Scale 3/16"=1'-0"

- ELEVATION NOTES:
- (1) TYP Roof Overhangs to be 24", UNO.
  - (2) Window Supplier responsible for tempering appropriate windows as required by code.
  - (3) All indicated window grids to be 'Simulated Divided Lites', unless clearly noted otherwise.
  - (4) As feasible, all flues/exhaust pipes to be located on 'Back-side' of roof and painted to match roofing color.
  - (5) Ice and water shield to be installed along roof plane 24" beyond exterior wall line.
  - (6) All materials to wrap outside corners, unless clearly noted otherwise.
  - (7) Roof gutters and down spouts to be sized and installed per Manufacturer's Specifications.
  - (8) All handrails and guardrails to comply with IRC 311.4.312



BACK ELEVATION  
Scale 3/16"=1'-0"

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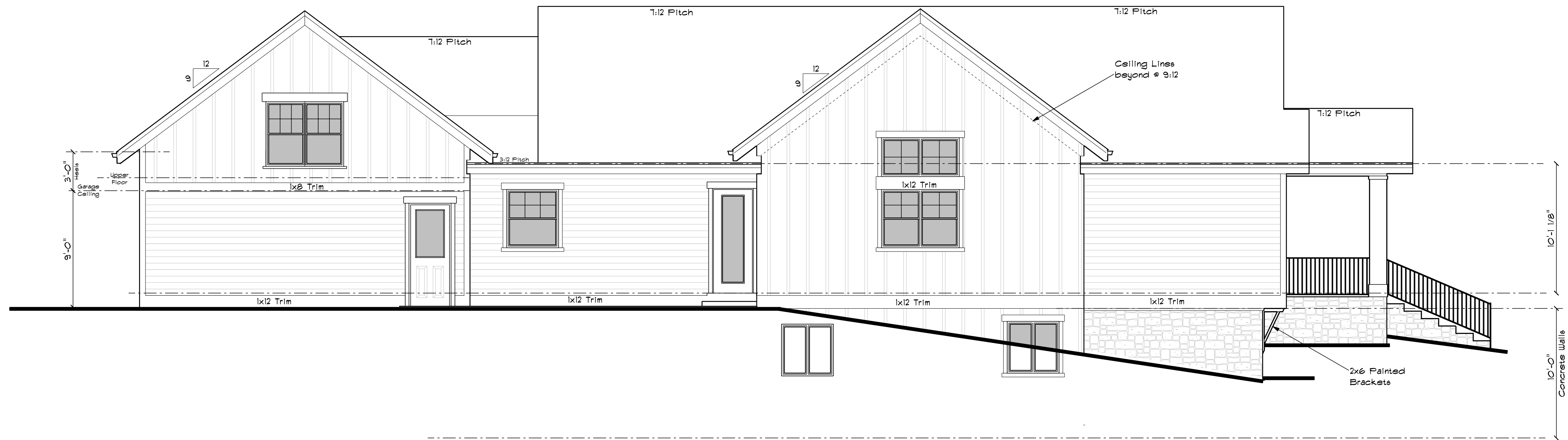
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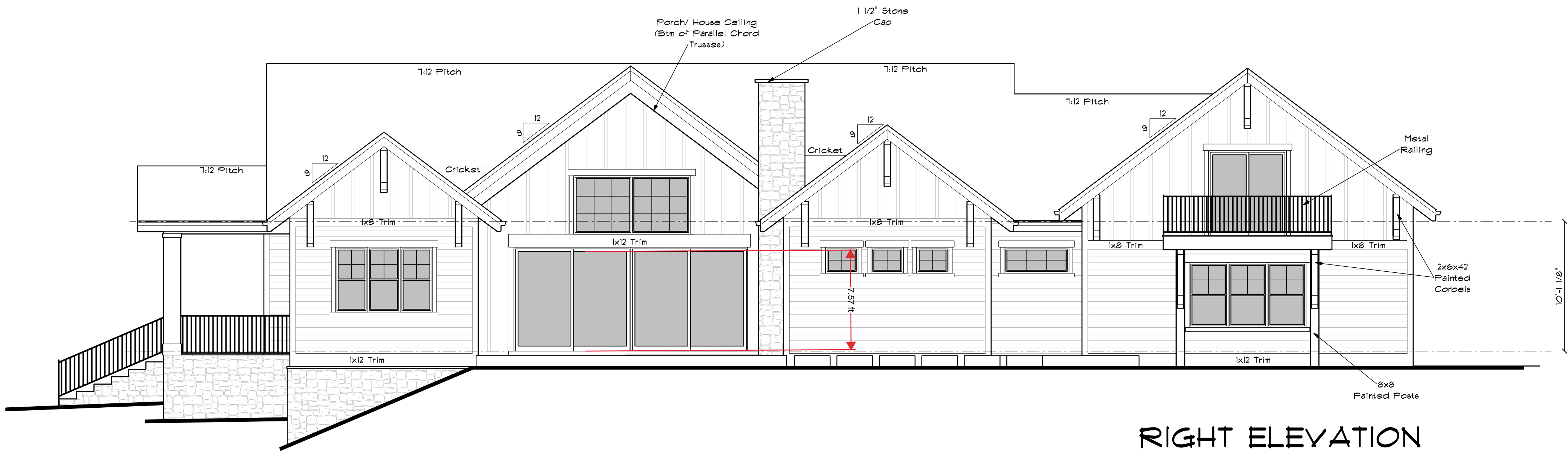
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970-412-3400  
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LEFT ELEVATION

Scale 3/16"=1'-0"

- ELEVATION NOTES:
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  - (2) Window Supplier responsible for tempering appropriate windows as required by code.
  - (3) All indicated window grids to be 'Simulated Divided Lites', unless clearly noted otherwise.
  - (4) As feasible, all flues/exhaust pipes to be located on 'Back-side' of roof and painted to match roofing color.
  - (5) Ice and water shield to be installed along roof plane 24" beyond exterior wall line.
  - (6) All materials to wrap outside corners, unless clearly noted otherwise.
  - (7) Roof gutters and down spouts to be sized and installed per Manufacturer's Specifications.
  - (8) All handrails and guardrails to comply with IRC 311.4.312



RIGHT ELEVATION

Scale 3/16"=1'-0"

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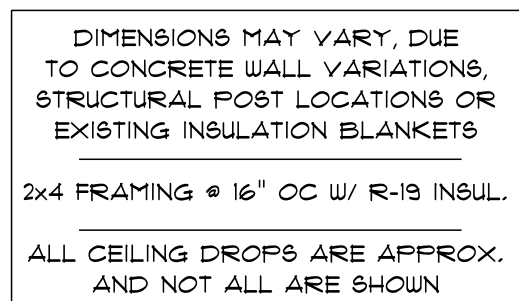
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- (1) All dimensions are for rough framing.
- (2) All exterior walls to be 2x6 walls, unless noted otherwise.
- (3) All are Cased Openings, with tops to match the interior doors, UNO.
- (4) All header heights are based on "their own sub-floor/top of slab."

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Scale  $3/16"=1'-0"$

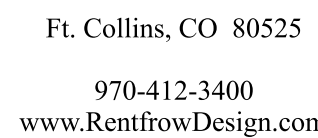
1387 FinSqFt

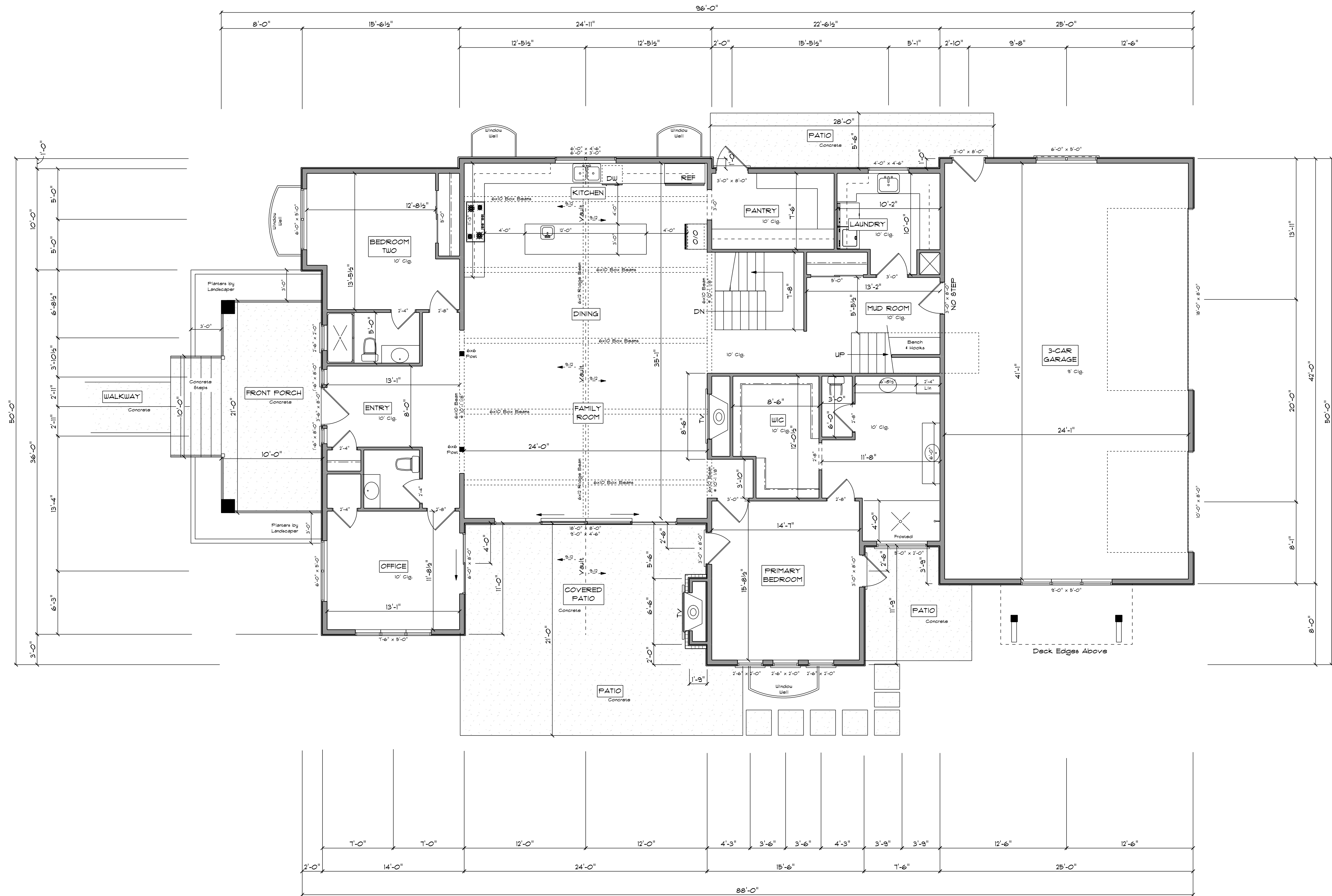
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104 Lewis St, Castle Rock, CO





- NOTES:
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MAIN FLOOR PLAN

Scale 3/16"=1'-0" 2586 FinSqFt





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## 104 Lewis – Materials Board (pending availability at time of purchase and use)

Roof: Roof - Atlas Pinnacle Impact in BLACK SHADOW (color)



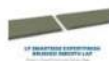
Siding: LP Smartside Lap Siding (color grey and white)



**HOLDS UP. STANDS OUT.**

#### LAP SIDING

LP SmartSide® Lap Siding is a premium exterior siding solution. Engineered to stand up to extreme weather, LP SmartSide Lap Siding is a durable, long-lasting siding solution for your home. Plus, it's a great conversation starter for your neighbors.



External Stone Accent: Edwards Stone Ashlar Pearl Gray



#### THE ASHLAR COLLECTION PEARL GREY

The mix of dark and light beige tones of Pearl Grey Ashlar makes it the perfect natural stone for any project that requires an elegant appearance. The Ashlar Collection offers a wide variety of natural colors and appearances for project styles ranging from contemporary to modern farmhouse.

Stone Type:	Limestone
Colors Available:	Yes
Full Veneer Available:	Yes

Paint Colors for Trim and Siding:

SW 7005

### Pure White

FULL DETAILS ▾

This versatile, bright white has the slightest yellow undertone that keeps it from appearing too stark. Use on trim for the perfect complement.

SW 7015

### Repose Gray

FULL DETAILS ▾

Tranquil tones and soothing warmth make this light gray a great choice in almost any space. For a complementary trim, pair with Eider White.

Garage Doors Color:

SW 7069

### Iron Ore

FULL DETAILS ▾

This cool, deep and mysterious charcoal can lend an air of sophistication when used sparingly in well-lit spaces - or on exteriors.