

TITLE CERTIFICATION

I, \_\_\_\_\_, AN AUTHORIZED REPRESENTATIVE OF \_\_\_\_\_, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE. 20\_\_\_\_\_. SIGNED THIS \_\_\_\_\_DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

AUTHORIZED REPRESENTATIVE

TITLE COMPANY

COUNTY OF DOUGLAS )  
STATE OF COLORADO )

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

BY \_\_\_\_\_

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

CERTIFICATE OF OWNERSHIP

THE UNDERSIGNED ARE ALL OF THE OWNERS OF THE ABOVE DESCRIBED PROPERTY IN THE TOWN OF CASTLE ROCK.

SLV CASTLE OAKS, LLC, A DELAWARE LIMITED LIABILITY COMPANY

BY: CRAIG CAMPBELL TITLE: AUTHORIZED SIGNATORY FOR SLV CASTLE OAKS, LLC

SIGNED THIS \_\_\_\_\_DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

COUNTY OF DOUGLAS )  
STATE OF COLORADO )

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

BY CRAIG CAMPBELL, AS AUTHORIZED SIGNATORY FOR SLV CASTLE OAKS, LLC

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

Zoning Comparison Chart						
Zoning	Terrain Planned Development Plan					
Village	Sunstone Village					
Planning Area (PA)	PA 47		PA 51		PA 52	
Acreage	26.8		10.8		15.0	
Use Area	MF-IB		R-TH-SF		MF-IB	
Permitted Uses	PD Requirement	Provided (SDP)	PD Requirement	Provided (SDP)	PD Requirement	Provided (SDP)
	Mixed-use development Including Single-family detached & Single-family attached (by Special Review)	64 Single-family detached & 74 Single-family attached	A mix of residential including Single-family detached	42 Single-family detached	Mixed-use development Including Single-family detached & Single-family attached (by Special Review)	81 Single-family detached
Maximum Dwelling Units/Gross Acre	18	5.1 units/acre	8	3.9 units/acre	18	5.4 units/acre
Maximum Building Height	50-feet*	35	35-feet	35	50-feet*	35
Minimum Setbacks						
Front to Garage**	18	18	18	18	18	18
Front to Side Garage**	12	12	12	12	12	12
Front to Living Area**	15	15	15	15	15	15
Rear**	12	12	12	12	12	12
Side Interior Lot**	5	0 attached 5 detached	5	5	5	5
Side to Street**	10	10	10	10	10	10
Minimum Parking	2-car garage for each Single-family detached & attached	138	2-car garage for each Single-family detached & attached	42	2-car garage for each Single-family detached & attached	81

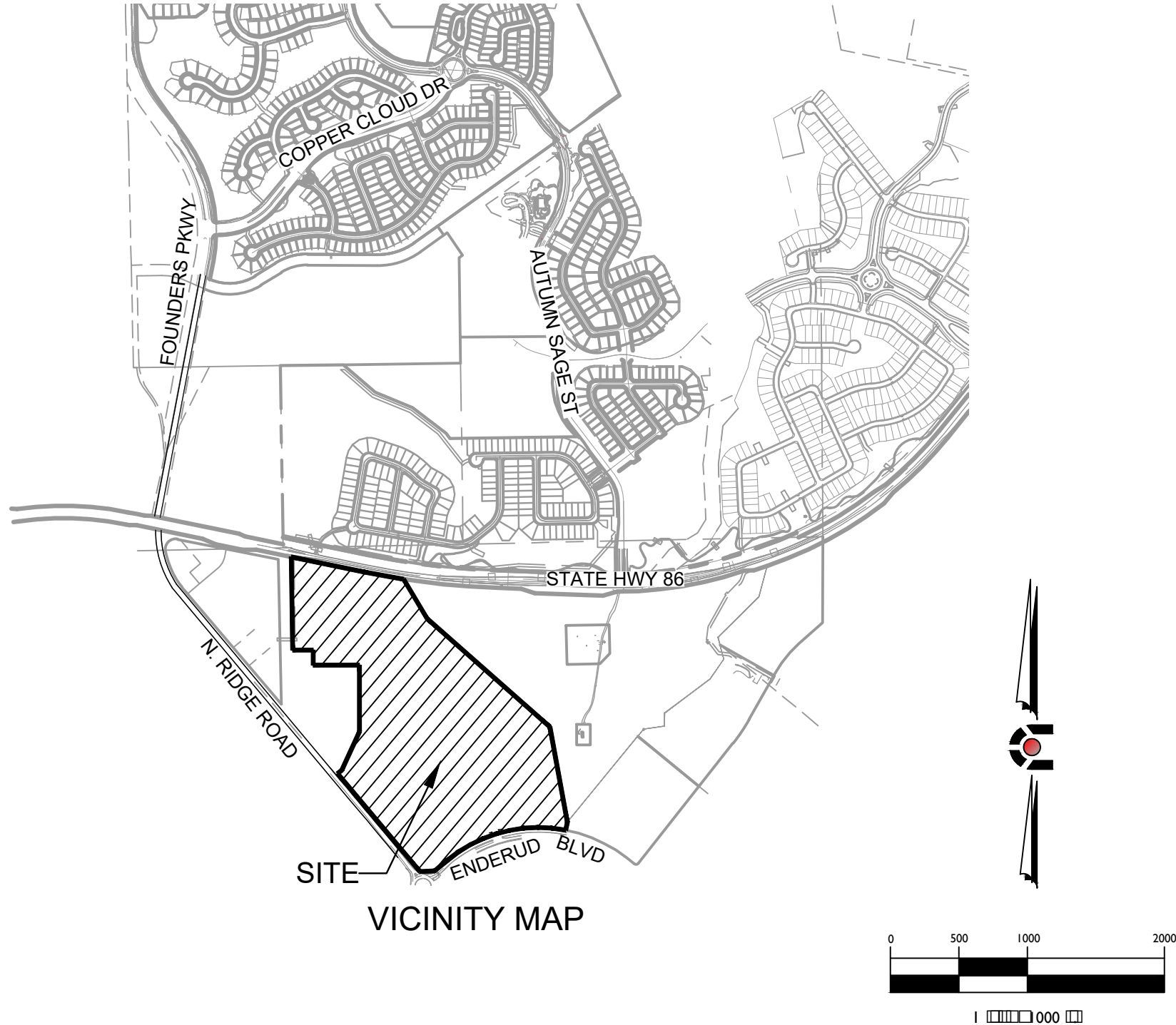
\* The underlying zoning for the PA permits multi-family structures of 50-feet or higher. As such, within moderate skyline areas no primary or accessory structures with a building height greater than 35-feet shall be constructed; and, within minor skyline areas no primary or accessory structures with a building height greater than 35-feet shall be constructed.

\*\* Per Terrain PDP setbacks are to be established at the time of final SDP

Site Utilization Chart		
Use Area	Acres	% of Total
<b>SF Detached Residential</b>	23.11	40.91
PA 47: Blk 1, Lots 41-52; Blk 3, Lots 7-17 & 34-47; Blk 4, Lots 1-13 & 19-23; Blk 7, Lots 1-5 & 10-12		
PA 51: Blk 1, Lots 53-80; Blk 3, Lots 18-27 & 30-33		
PA 50: Blk 3, Lots 28-29; Blk 4, Lots 14-18; Blk 5, Lots 1-25; Blk 6, Lots 1-16; Blk 7, Lots 6-9 & 13-42		
<b>SF Attached Residential</b>	7.80	13.81
PA47: Blk 1, Lots 1-40; Blk 2, Lots 1-28; Blk 3, Lots 1-6		
Residential Total	30.91	54.73
Open Space Private (OSP)	13.57	24.03
Open Space Dedication (OSD)	0.00	0.00
Open Space Total	13.57	24.03
Public Land Dedication (PLD)	0.00	0.00
ROW Dedication	12.00	21.25
Total	56.48	100.00

USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN  
TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



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OWNERS

SLV CASTLE OAKS, LLC  
385 INVERNESS PKWY., SUITE 310  
ENGLEWOOD, CO 80112  
CONTACT: KURT JONES 720-346-2800

ENGINEER

CORE CONSULTANTS, INC.  
1950 W. LITTLETON BLVD., STE. 109  
LITTLETON, CO 80120  
CONTACT: BLAKE CALVERT 303-703-4444

LAND PLANNER

PCS GROUP INC.  
PO BOX 18287  
DENVER, CO 80218  
CONTACT: JIM IVY 303-800-9152

LAND SURVEYOR

CORE CONSULTANTS, INC.  
1950 W. LITTLETON BLVD. STE. 109  
LITTLETON, CO 80120  
CONTACT: TOM GIRARD 303-703-4444

TRACT SUMMARY

TRACT	AC	LAND USE	OWNERSHIP	MAINTENANCE
TRACT A	2.874 AC	OSP, UTIL, DRAIN	HOA	HOA
TRACT B	1.988 AC	OSP, UTIL, DRAIN	HOA	HOA
TRACT C	1.265 AC	OSP, UTIL, DRAIN	HOA	HOA
TRACT D	4.601 AC	OSP, UTIL, DRAIN	HOA	HOA
TRACT E	0.286 AC	OSP, UTIL, DRAIN	HOA	HOA
TRACT F	2.329 AC	OSP, UTIL, DRAIN	HOA	HOA
TRACT G	0.928 AC	FUTURE ROW	TOWN	TOWN
TRACT H	0.076 AC	OSP, UTIL, DRAIN	HOA	HOA

LEGAL DESCRIPTION

SEE SHEET 2 FOR LEGAL DESCRIPTION.

CIVIL ENGINEER'S STATEMENT

I, BLAKE CALVERT, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY, AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS USE BY SPECIAL REVIEW / SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

BLAKE CALVERT PE #34731

DATE

SURVEYOR'S STATEMENT

I, THOMAS M. GIRARD, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE USE BY SPECIAL REVIEW / SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

THOMAS M. GIRARD  
PROFESSIONAL LAND SURVEYOR COLORADO PLS NO. 38151  
FOR AND ON BEHALF OF CORE CONSULTANTS, INC.

DATE

PLANNING COMMISSION RECOMMENDATION

THIS USE BY SPECIAL REVIEW / SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

CHAIR

DATE

ATTEST:

DIRECTOR OF DEVELOPMENT SERVICES

DATE

TOWN COUNCIL APPROVAL

THIS USE BY SPECIAL REVIEW / SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

MAYOR

DATE

ATTEST:

TOWN CLERK

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS USE BY SPECIAL REVIEW / SITE DEVELOPMENT AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF

DOUGLAS COUNTY AT \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_ AT RECEPTION NO. \_\_\_\_\_.

DOUGLAS COUNTY CLERK AND RECORDER

BY:

DEPUTY

TERRAIN FILING NO. 4  
USE BY SPECIAL REVIEW  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

EXHIBIT 1

CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
NATURAL RESOURCES CONSULTING  
LAND SURVEYING  
303.703.4444  
1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL) OR FOR EXISTING UTILITIES (HORIZONTAL AND VERTICAL) BEING EXCISED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE USER'S RESPONSIBILITY TO OBTAIN NECESSARY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMPLETION OF ANY CONSTRUCTION ACTIVITIES.

#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	07/12/18	BAB
2	2ND SUBMITTAL	10/23/18	BAB

TERRAIN FILING NO 4  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
COVER

DESIGNED BY: RCY  
DRAWN BY: JF  
CHECKED BY: BC

JOB NO.  
14-001  
SHEET  
1 OF 35



BASIS OF BEARINGS

THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN BEING MONUMENTED AT THE NORTHWEST CORNER BY A 3-1/4" ALUMINUM CAP STAMPED "1985, PLS 12046" AND AT THE WEST QUARTER CORNER BY A 3-1/4" ALUMINUM CAP STAMPED "1986, PLS 22100", ASSUMED TO BEAR SOUTH 01°14'41" WEST.

PROJECT BENCHMARK

NGS BENCHMARK "V 336" (PID KK0293) - A 3" DIAMETER BRASS CAP (STANDARD NGS MONUMENT) SET IN THE CENTER OF A 4'X4' GRANITE ROCK. MONUMENT IS LOCATED 63' SOUTHEAST OF THE EDGE OF PAVEMENT ON THE SOUTH SIDE OF HIGHWAY 86, 1,600 FEET SOUTHWEST OF THE INTERSECTION OF HIGHPOINT ROAD AND HIGHWAY 86.  
PUBLISHED ELEVATION = 6554.50' (NAVD 88)

SITE DEVELOPMENT PLAN GENERAL NOTES:

1.

THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS, AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
2.

PURSUANT TO SECTION 4.3 AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS, THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3.

THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THIS SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4.

ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
5.

THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
6.

APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
7.

NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
8.

THE PURPOSE/USE OF ALL TRACTS AND THE DEDICATION OF ALL TRACTS WILL BE FOR OPEN SPACE, UTILITIES, AND DRAINAGE, AND SHALL BE OWNED AND MAINTAINED BY THE HOA. WITH THE EXCEPTION OF TRACT G, WHICH WILL BE DEDICATED TO THE TOWN OF CASTLE ROCK FOR ROW PER PL18-0022.
9.

ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
10.

TERRAIN PLANNED DEVELOPMENT PLAN, RECEPTION NUMBER 2016010165. FEB. 22 2016.
11.

UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE NON-EXCLUSIVE 10' UTILITY EASEMENTS LOCATED ALONG THE REAR LOT LINES, 10' UTILITY EASEMENTS ALONG THE FRONT OF THE LOT AND 5' UTILITY EASEMENTS ALONG SIDE LOT LINES HEREBY GRANTED FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES, INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES, AND TELEPHONE LINES, AS WELL AS A PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES.
12.

SECTIONS OF RETAINING WALLS 4-FEET IN HEIGHT OR HICHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO ISSUANCE OF THE PUBLIC WORKS PERMIT.
13.

A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
14.

THIS DEVELOPMENT IS IMPACTED BY THE TOWN OF CASTLE ROCK SKYLINE/RIDGELINE PROTECTION REGULATIONS. SKYLINE/RIDGELINE AREAS MUST ADHERE TO CHAPTER 17.48 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE REGARDING MITIGATION PROCEDURES.
15.

FLOOD ZONE(S) LINES HAVE BEEN PROVIDED ON SHEETS PER THE FIRM MAPS 08035C0302G & 08035C0189G DATED MARCH 16, 2016. THIS PROPERTY CONTAINS SHADED ZONE X FLOODPLAIN ON THE SOUTHEAST CORNER OF THE SITE HOWEVER NO IMPACTS TO THE FLOODPLAIN ARE PROPOSED UNDER THIS DEVELOPMENT PLAN.
16.

RETAINING WALLS, SECTIONS OF RETAINING WALLS 4-FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STAT OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.

FIRE NOTES:

1.

IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2.

FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3.

APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
4.

DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5.

FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
6.

FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
7.

"NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS. PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
8.

IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN  
TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGAL DESCRIPTION:

PER TITLE COMMITMENT NO. NCS-906466-CO WITH AN EFFECTIVE DATE OF MAY 11, 2018 AT 5:00 P.M. PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY.

A PARCEL OF LAND BEING A PORTION OF THAT SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 2010034832 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR

N 01°14'41" E, FROM THE WEST QUARTER CORNER OF SAID SECTION 7, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 22100", TO THE NORTHWEST CORNER OF SAID SECTION 7, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP WITH ILLEGIBLE STAMPING, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 7, THENCE N 78°57'10" E, A DISTANCE OF 3244.04 FEET TO THE WEST CORNER OF FOUNDERS VILLAGE FILING NO. 19, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 199607282, SAID DOUGLAS COUNTY RECORDS, ALSO BEING A POINT ON THE NORTH LINE OF THE ENDERUD BOULEVARD RIGHT-OF-WAY, AS DEDICATED BY FOUNDERS VILLAGE FILING NO. 5, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 198821181, SAID DOUGLAS COUNTY RECORDS, ALSO BEING A POINT OF NON-TANGENT CURVATURE AND THE POINT OF BEGINNING;

THENCE ALONG THE NORTH LINE OF SAID ENDERUD BOULEVARD RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

1.

ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 1042.50 FEET, A CENTRAL ANGLE OF 50°37'58" AND AN ARC LENGTH OF 821.26 FEET, THE CHORD OF WHICH BEARS S 75°40'50" W, A DISTANCE OF 691.57 FEET;
2.

S 50°21'52" W, A DISTANCE OF 123.58 FEET TO A POINT ON THE EAST LINE OF THE RIDGE ROAD RIGHT-OF-WAY, AS DESCREBED IN THAT SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 2006011874, SAID DOUGLAS COUNTY RECORDS;

THENCE ALONG THE EAST LINE OF SAID RIDGE ROAD RIGHT-OF-WAY, THE FOLLOWING THREE (3) COURSES:

1.

S 89°08'17" W, A DISTANCE OF 106.32 FEET;
2.

N 38°57'52" W, A DISTANCE OF 933.26 FEET;
3.

N 50°02'08 E, A DISTANCE OF 40.42 FEET TO A POINT ON THE EAST LINE OF THAT PARCEL OF LAND DESCRIBED IN THAT SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 2003168482, SAID DOUGLAS COUNTY RECORDS;

THENCE ALONG THE EAST AND NORTH LINES OF SAID SPECIAL WARRANTY DEED, THE FOLLOWING THREE (3) COURSES:

1.

N 24°27'57" E, A DISTANCE OF 310.02 FEET;
2.

N 00°00'03" W, A DISTANCE OF 482.59 FEET;
3.

S 89°59'57" W, A DISTANCE OF 337.30 FEET TO A POINT ON THE EAST LINE OF THAT DEED RECORDED AT BOOK 138 AT PAGE 514, SAID DOUGLAS COUNTY RECORDS;

THENCE ALONG THE EAST AND NORTH LINES OF SAID DEED, THE FOLLOWING THREE (3) COURSES:

1.

N 00°26'12" W, A DISTANCE OF 110.54 FEET;
2.

S 89°48'00" W, A DISTANCE OF 150.62 FEET;
3.

N 00°41'44" W, A DISTANCE OF 679.53 FEET TO A POINT ON THE SOUTH LINE OF THE STATE HIGHWAY 86 RIGHT-OF-WAY;

THENCE ALONG THE SOUTH LINE OF SAID STATE HIGHWAY 86 RIGHT-OF-WAY, THE FOLLOWING TWO (2) COURSES:

1.

S 78°22'34" E, A DISTANCE OF 543.25 FEET TO A POINT OF CURVATURE;
2.

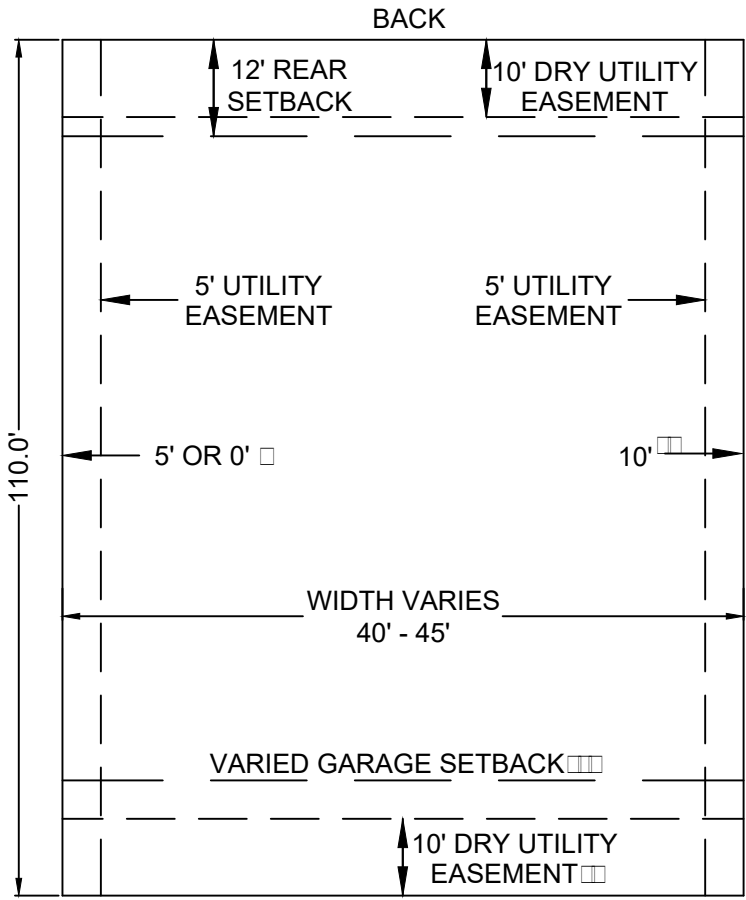
ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 5770.00 FEET, A CENTRAL ANGLE OF 02°54'08", AND AN ARC LENGTH OF 292.20 FEET.

THENCE S 30°38'38" E, A DISTANCE OF 336.62 FEET;

THENCE S 46°35'36" E, A DISTANCE OF 1193.26 FEET;

THENCE S 10°23'13" E, A DISTANCE OF 706.83 FEET TO A POINT ON THE EAST LINE OF SAID FOUNDERS VILLAGE FILING NO. 19 PLAT;

THENCE S 10°59'48" W, ALONG THE EAST LINE OF SAID FOUNDERS VILLAGE FILING NO. 19 PLAT, A DISTANCE OF 58.39 FEET TO THE POINT OF BEGINNING.



TYPICAL LOT SETBACKS

N.T.S.

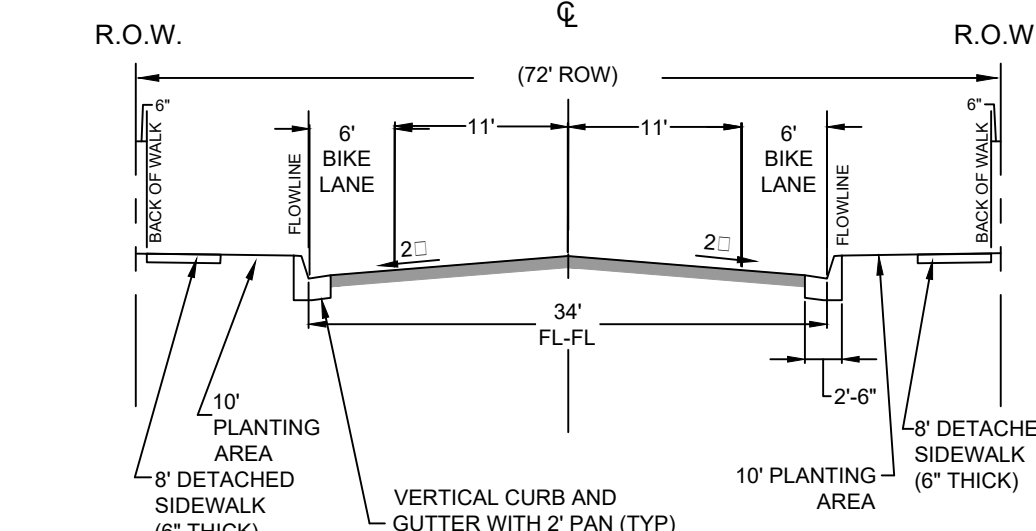
- ▬

SIDE TO INTERIOR (SEE ZONING CHART, COVER SHEET)
- ▬

SIDE TO STREET
- ▬

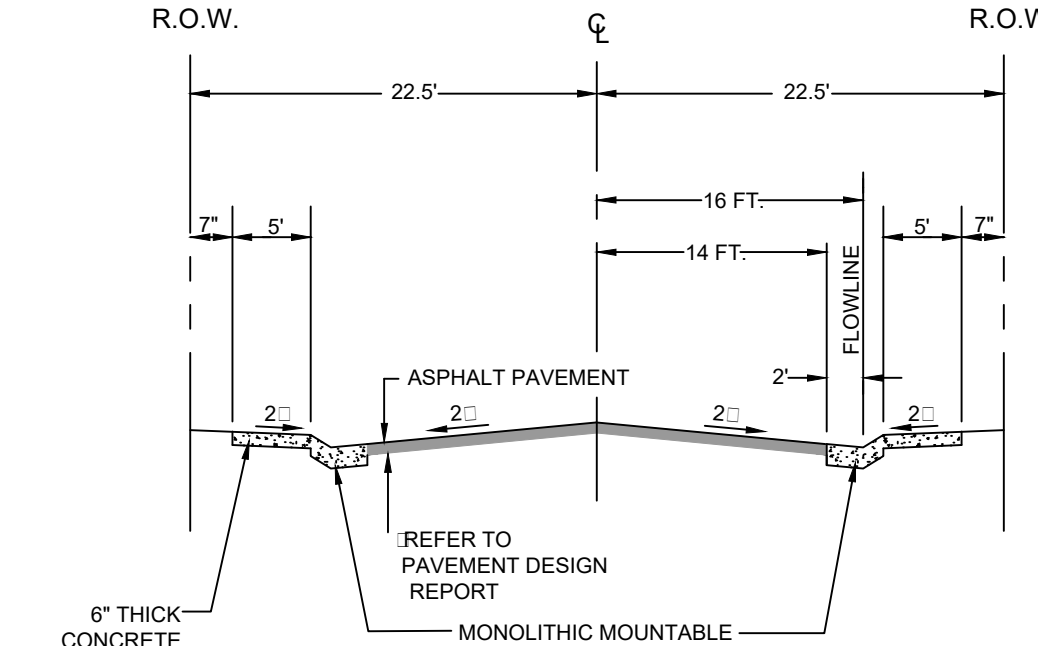
SIDE LOADED GARAGE ▬ 12' SETBACK
- ▬

FRONT LOADED GARAGE ▬ 18' SETBACK



RESIDENTIAL COLLECTOR ROADWAY SECTION - 72' ROW

N.T.S.



LOCAL RESIDENTIAL ROADWAY SECTION - 45' ROW

N.T.S.

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CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL) OR FOR THE LOCATION OF ANY UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.  
Call before you dig  
811

#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	07/12/18	BAB
2	2ND SUBMITTAL	10/23/18	BAB

TERRAIN FILING NO 4  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
GENERAL NOTES

DESIGNED BY: RCY  
DRAWN BY: JF  
CHECKED BY: BC

TERRAIN FILING NO. 4  
USE BY SPECIAL REVIEW  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

JOB NO.  
14-001  
SHEET  
2 OF 35



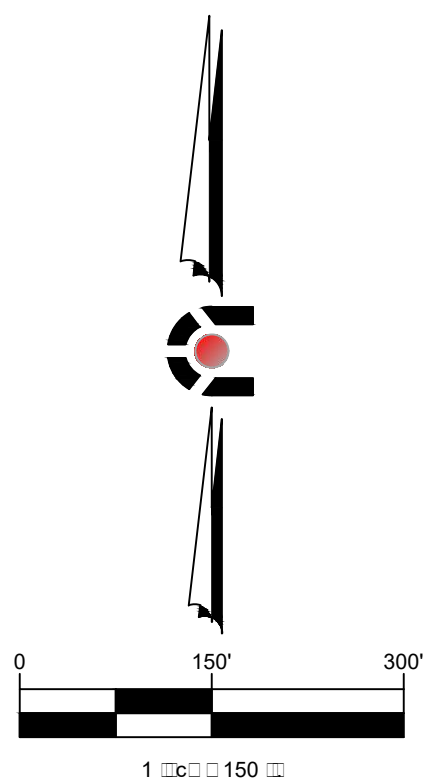
USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP  
SCALE: 1" = 1000'



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CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS OR CONDITIONS AND ACCEPTS NO LIABILITY FOR LOCATIONS OR CONDITIONS. IT IS, HOWEVER, THE USER'S RESPONSIBILITY TO OBTAIN THE LOCATION OF ALL UTILITIES FROM THE APPROPRIATE AGENCIES.  
CORRESPONDENCE OF ANY CONSTRUCTION ACTIVITIES.

#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	07/12/18	BAB
2	2ND SUBMITTAL	10/23/18	BAB

**TERRAIN FILING NO. 4**  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
OVERALL MAP

DESIGNED BY: RCY  
DRAWN BY: JF  
CHECKED BY: BC

JOB NO.  
14-001  
SHEET  
3 OF 35

TERRAIN FILING NO. 4  
USE BY SPECIAL REVIEW  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

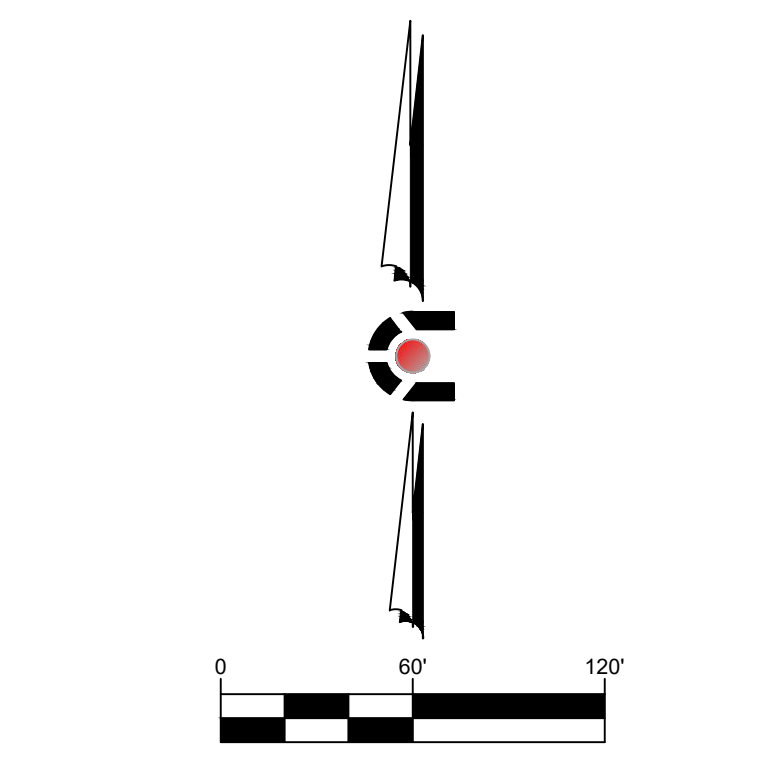
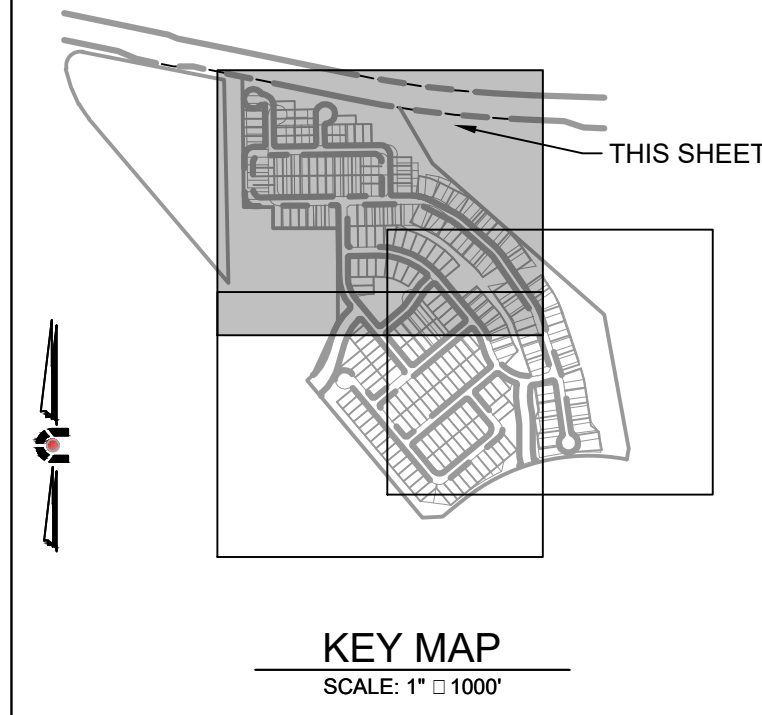
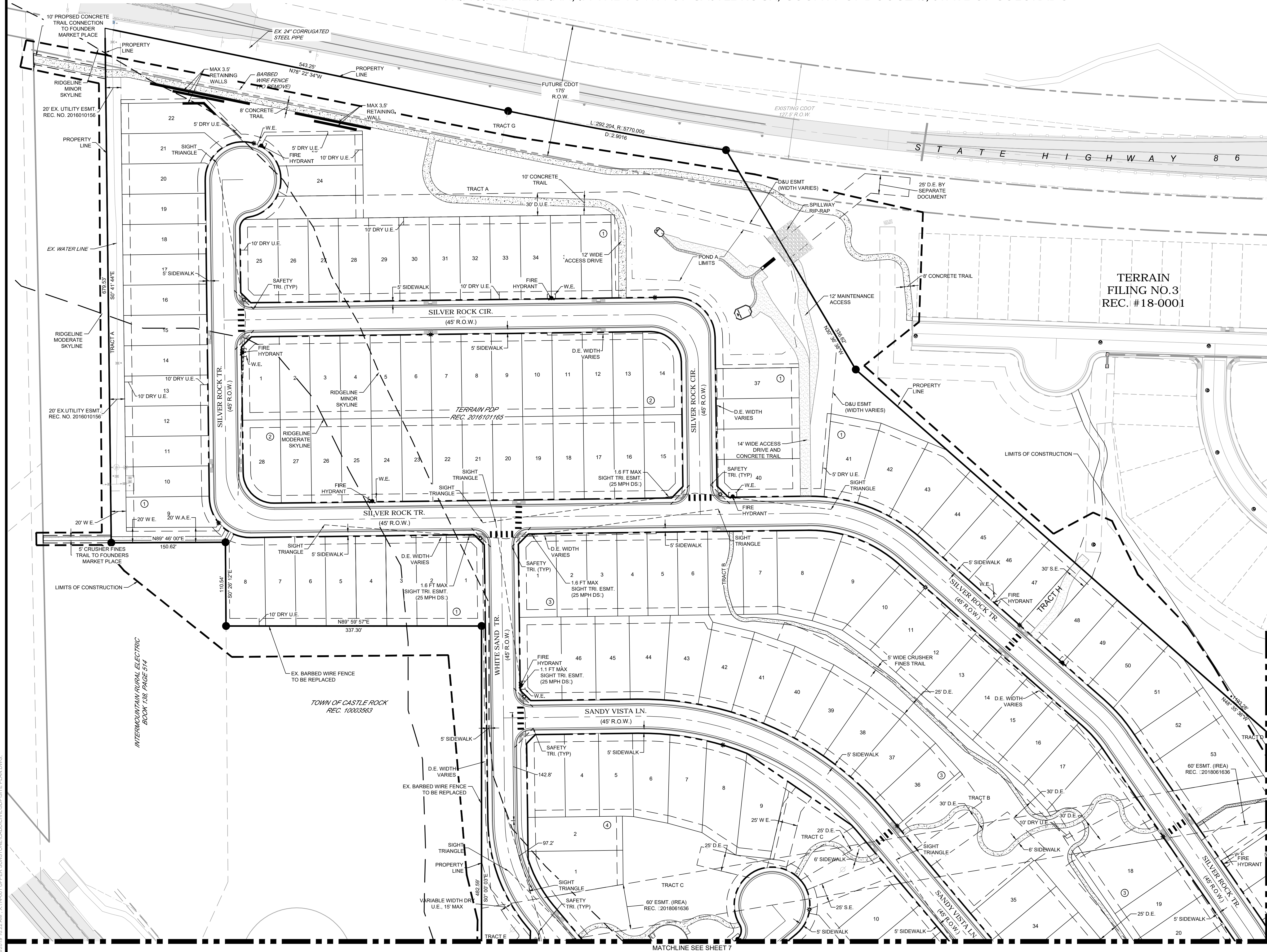
11/02/2018 10:29 AM: X:\14-001 UPPER SILVERSTONE\CD\CD\TERRAIN FILING NO. 4 OVERALL MAP.DWG







USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN  
TERRAIN FILING NO. 4  
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**ABBREVIATIONS:**

W.E.	WATER EASEMENT
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
D.U.E.	DRAINAGE & UTILITY EASEMENT
S.E.	SANITARY SEWER EASEMENT
DS	DESIGN SPEED

**TERRAIN FILING NO. 4**  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
SITE PLAN

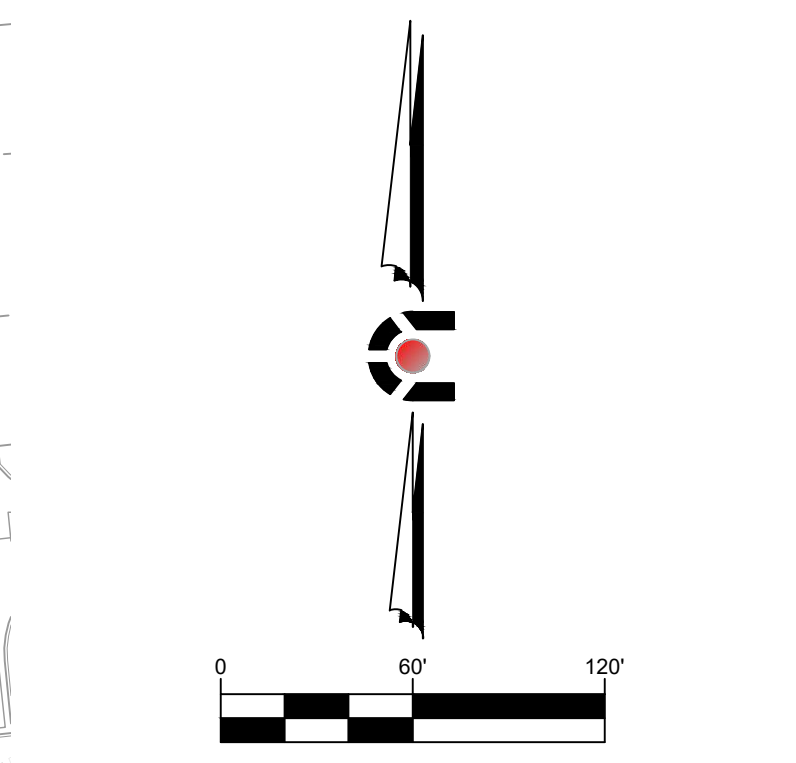
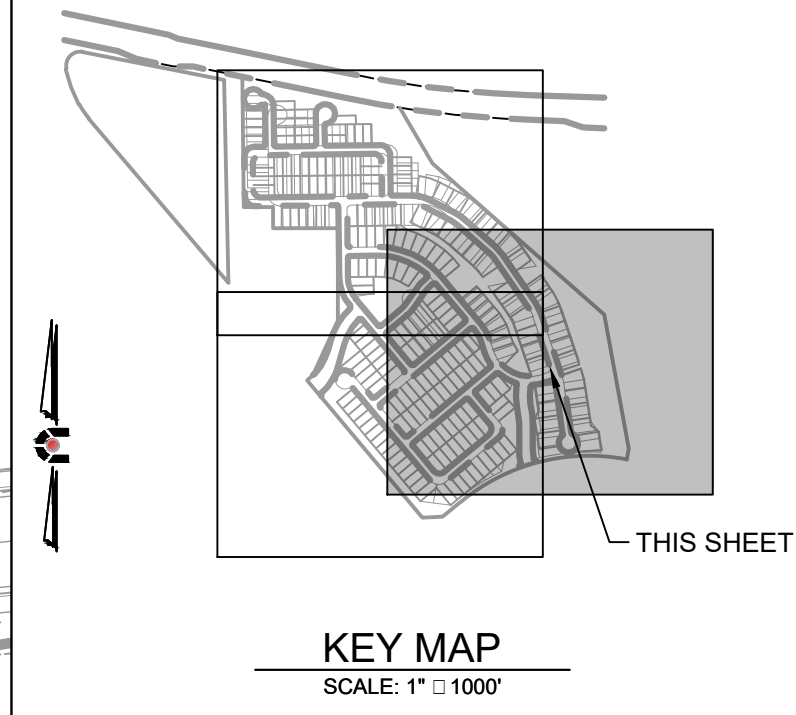
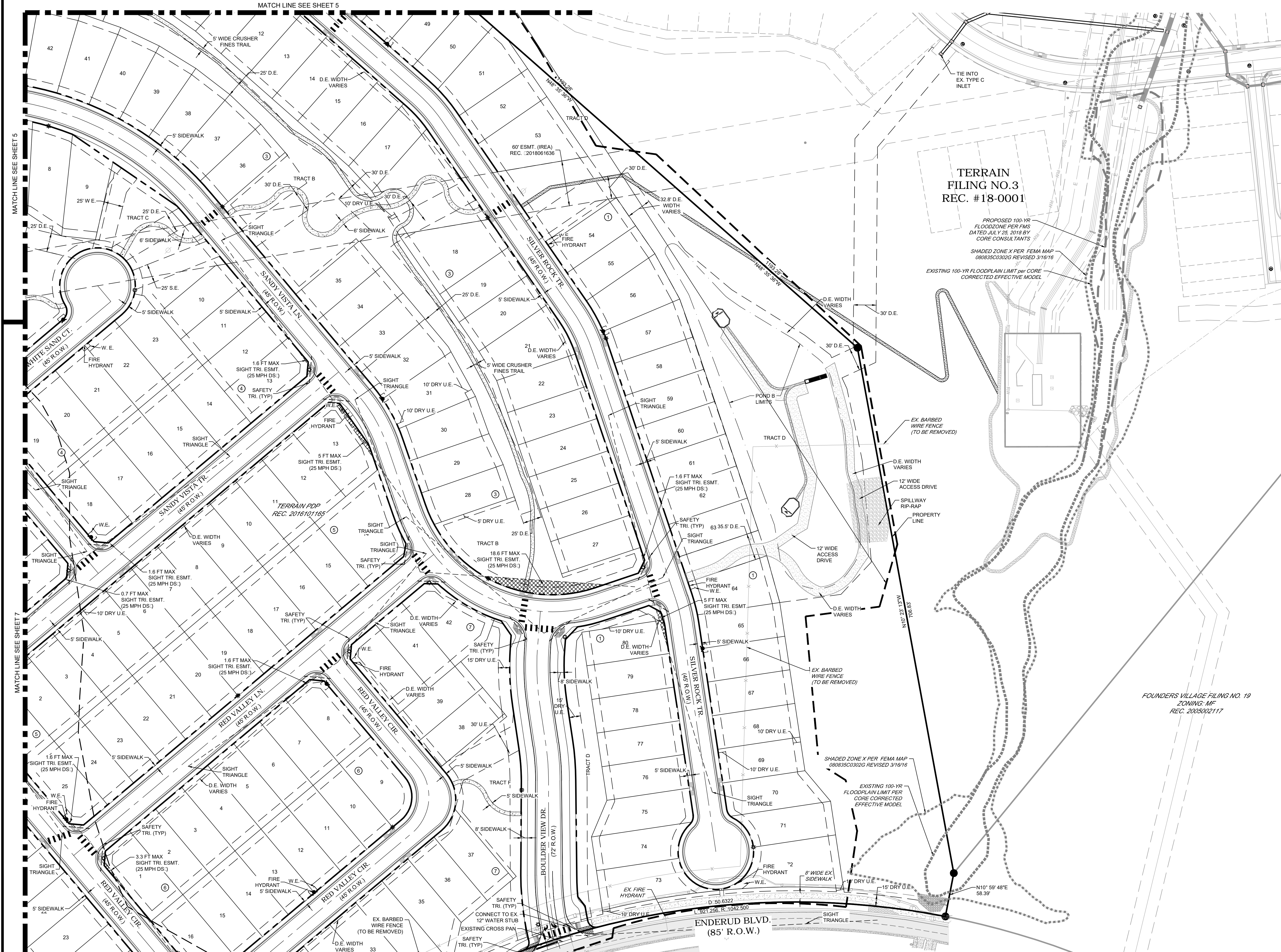
DESIGNED BY: RCY  
DRAWN BY: JF  
CHECKED BY: BC

JOB NO. 14-001  
SHEET 5 OF 35

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USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN  
TERRAIN FILING NO. 4  
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



- LEGEND**
- PROPOSED EASEMENT
  - PROPOSED R.O.W.
  - PROPOSED CENTER LINE
  - PROPOSED PROPERTY BOUNDARY
  - PROPOSED CURB & GUTTER
  - SIGHT DISTANCE TRIANGLE
  - LOT NUMBER / BLOCK NUMBER
  - PROPOSED HANDICAP CURB RAMPS
  - EXISTING FENCE
  - EXISTING / PROPOSED LIGHT POLE
  - POND LIMITS
  - LIMITS OF CONSTRUCTION
  - RIDGELINE MODERATE SKYLINE
  - RIDGELINE MINOR SKYLINE
  - PR. 100YR FLOODPLAIN
  - EX. 100YR FLOODPLAIN
  - SHADED ZONE X PER FEMA MAP 08083SC0302G REVISED 3/16/16
  - PROPOSED SIGHT DISTANCE ESMT.
  - PEDESTRIAN CROSSWALK
- ABBREVIATIONS:**
- W.E. WATER EASEMENT
  - U.E. UTILITY EASEMENT
  - D.E. DRAINAGE EASEMENT
  - D.U.E. DRAINAGE & UTILITY EASEMENT
  - S.E. SANITARY SEWER EASEMENT
  - DS. DESIGN SPEED

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**CORE**  
CONSULTANTS

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UNDERGROUND MEMBER UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY  
LOCATIONS (HORIZONTAL AND VERTICAL) OR FOR THE  
LOCATION OF ANY UTILITIES. IT IS THE RESPONSIBILITY  
OF THE USER OF THIS PLAN TO VERIFY THE LOCATION  
OF ALL UTILITIES PRIOR TO THE CONSTRUCTION OF ANY  
CONSTRUCTION ACTIVITIES.

Know where you dig  
Call before you dig  
811

#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	07/12/18	BAB
2	2ND SUBMITTAL	10/23/18	BAB

**TERRAIN FILING NO. 4**  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
SITE PLAN

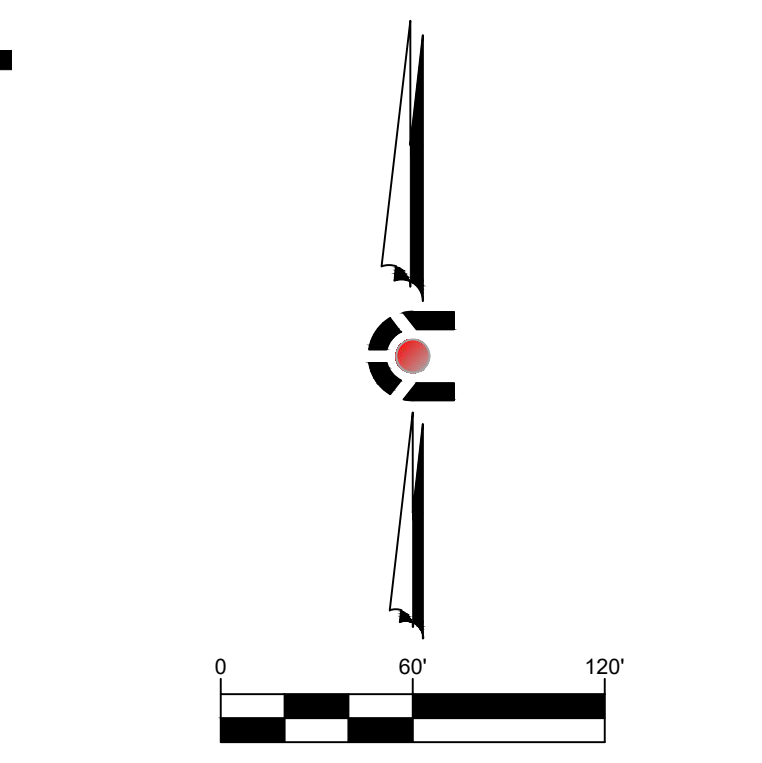
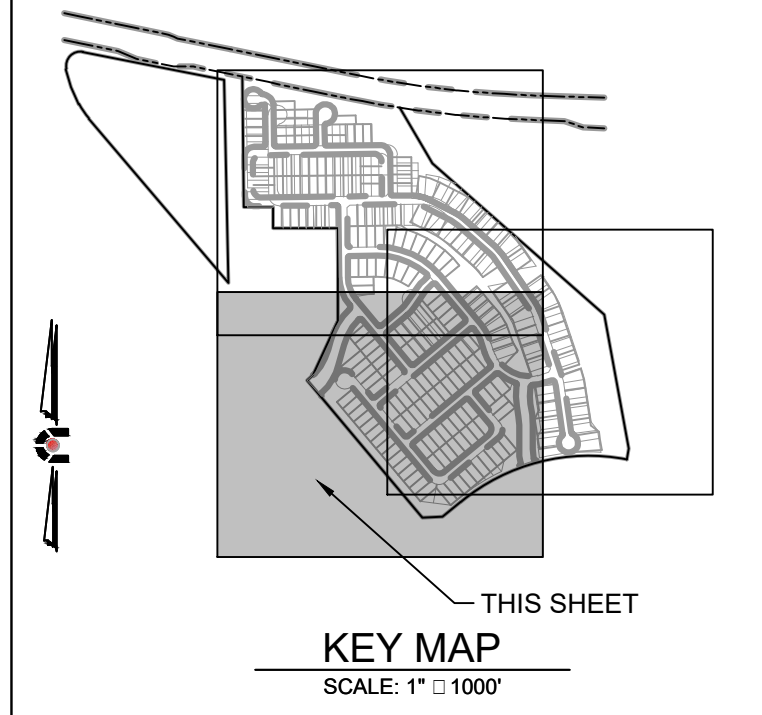
DESIGNED BY: RCY  
DRAWN BY: JF  
CHECKED BY: BC

TERRAIN FILING NO. 4  
USE BY SPECIAL REVIEW  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

JOB NO.  
14-001  
SHEET  
6 OF 35



USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN  
TERRAIN FILING NO. 4  
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



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LOCATIONS OR CONDITIONS AND ACCEPTS NO LIABILITY FOR DAMAGE TO  
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FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER,  
THE USER'S RESPONSIBILITY TO OBTAIN THE NECESSARY  
CORRESPONDENCE OF ANY CONSTRUCTION ACTIVITIES.

**811**  
Know where you dig  
Call before you dig

#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	07/12/18	BAB
2	2ND SUBMITTAL	10/23/18	BAB

**TERRAIN FILING NO 4**  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
SITE PLAN

DESIGNED BY: RCY  
DRAWN BY: JF  
CHECKED BY: BC

JOB NO.  
14-001  
SHEET  
7 OF 35

TERRAIN FILING NO. 4  
USE BY SPECIAL REVIEW  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

11/20/2019 10:22 AM: A:\14-001 UPPER SUNSET ONE CADD\CD\VAL SUB\SITE PLAN.DWG



SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



- ## ABBREVIATIONS:
- |        |                             |
|--------|-----------------------------|
| W.A.E. | WATER AND ACCESS EASEMENT   |
| W.E.   | WATER EASEMENT              |
| U.E.   | UTILITY EASEMENT            |
| D.E.   | DRAINAGE EASEMENT           |
| D.U.E. | DRAINAGE & UTILITY EASEMENT |
| S.E.   | SANITARY SEWER EASEMENT     |
| SD □   | STORM DRAIN (RCP PIPE)      |
| SS □   | SANITARY SEWER (PVC PIPE)   |
| WL □   | WATER LINE (PVC PIPE)       |
| HP     | HIGH POINT                  |
| LP     | LOW POINT                   |



#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	07/12/18	BAB
2	2ND SUBMITTAL	10/23/18	BAB

**TERRAIN FILING NO 4**  
TOWN OF CASTLE ROCK, COLORADO

SITE DEVELOPMENT PLAN  
GRADING PLAN

JOB NO.  
14-001

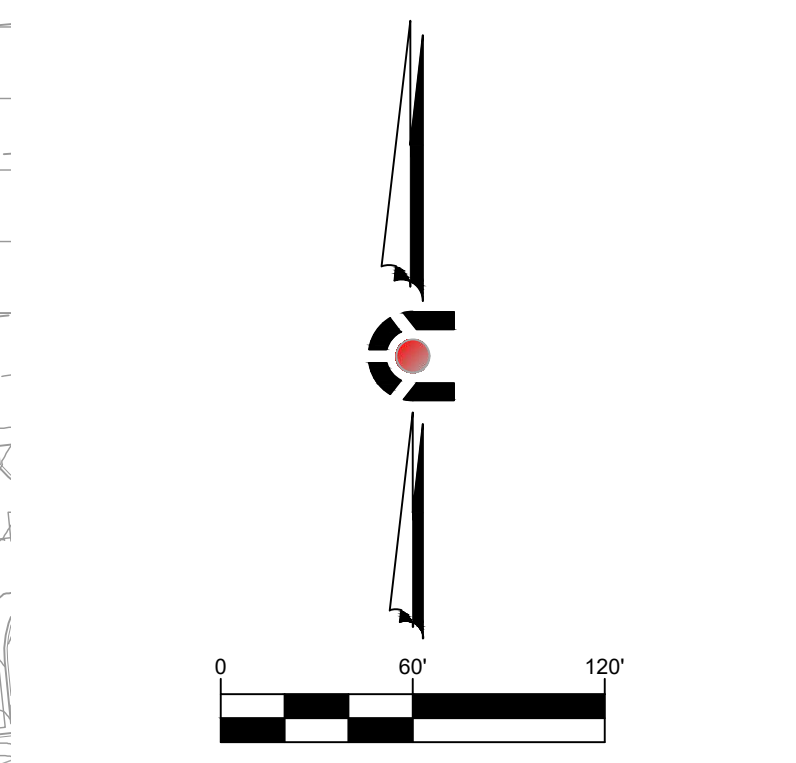
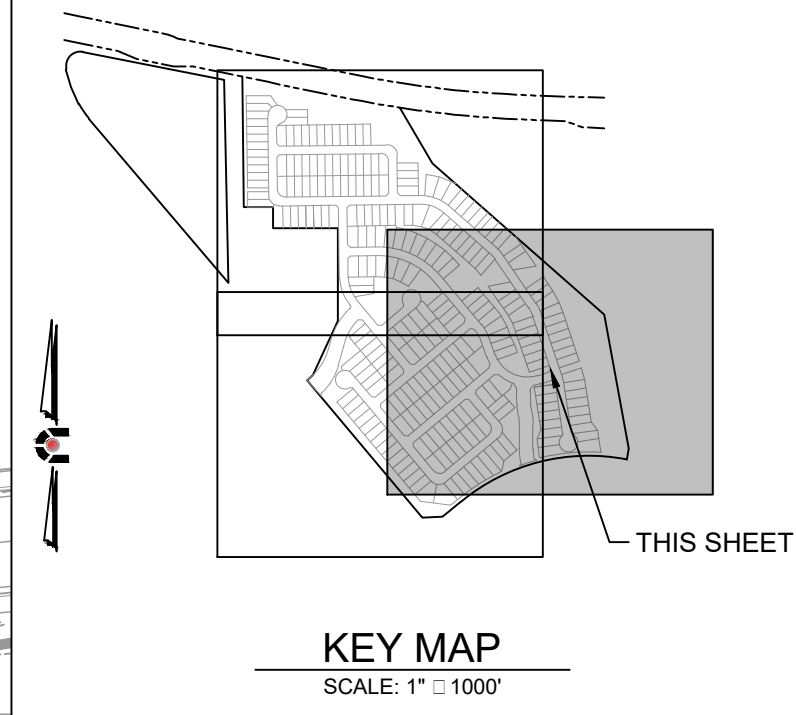
SHEET  
8 OF 35

TERRAIN FILING NO. 4  
USE BY SPECIAL REVIEW [ ]  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDPI8-0032



USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN  
TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



- LEGEND**
- 5280 PROPOSED MAJOR CONTOUR
  - 5280 PROPOSED MINOR CONTOUR
  - 5280 PROPOSED MAJOR CONTOUR
  - 6530 EXISTING MINOR CONTOUR
  - SPOT ELEVATION
  - PROPOSED EASEMENT
  - PROPOSED R.O.W.
  - PROPOSED CENTER LINE
  - PROPOSED PROPERTY BOUNDARY
  - PROPOSED CURB & GUTTER
  - PROPOSED RETAINING WALL
  - 4 LOT NUMBER / BLOCK NUMBER
  - PROPOSED FIRE HYDRANT
  - PROPOSED STORM SEWER
  - EXISTING STORM SEWER
  - DRAINAGE SWALE
  - RIDGELINE MODERATE SKYLINE
  - RIDGELINE MINOR SKYLINE
  - ZONE X PER FEMA MAP 080835C0302G REVISED 3/16/16

- ABBREVIATIONS:**
- W.A.E. WATER AND ACCESS EASEMENT
  - W.E. WATER EASEMENT
  - U.E. UTILITY EASEMENT
  - D.E. DRAINAGE EASEMENT
  - D.U.E. DRAINAGE & UTILITY EASEMENT
  - S.E. SANITARY SEWER EASEMENT
  - SD STORM DRAIN (RCP PIPE)
  - SS SANITARY SEWER (PVC PIPE)
  - WL WATER LINE (PVC PIPE)
  - HP HIGH POINT
  - LP LOW POINT

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FROM THE BEST AVAILABLE INFORMATION. IT IS ADVISED  
THE LOCATION OF ALL UTILITIES FROM TO THE  
CORPORATE OF ANY CONSTRUCTION ACTIVITIES.

#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	07/12/18	BAB
2	2ND SUBMITTAL	10/23/18	BAB

**TERRAIN FILING NO 4**  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
GRADING PLAN

DESIGNED BY: RCY  
DRAWN BY: JF  
CHECKED BY: BC

JOB NO.  
14-001  
SHEET  
OF 35

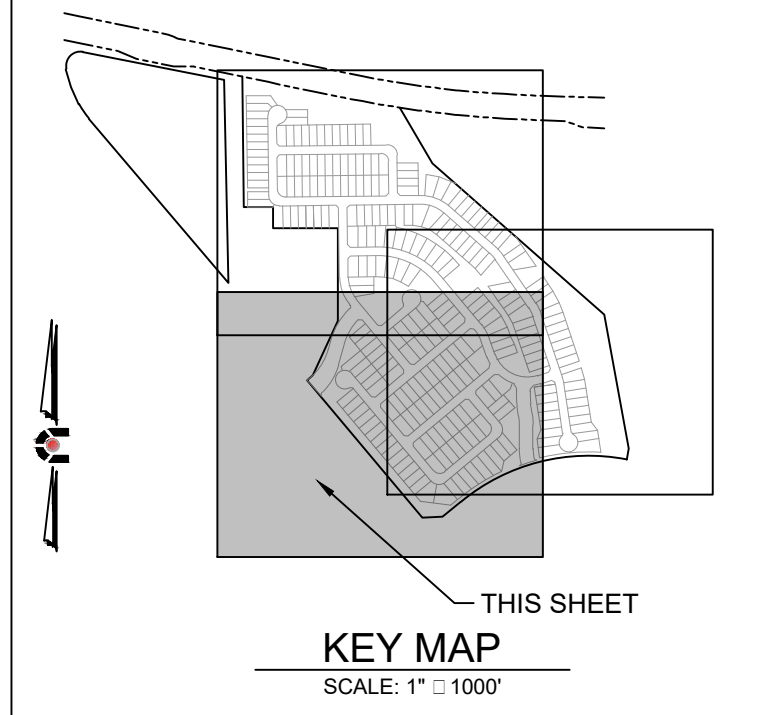
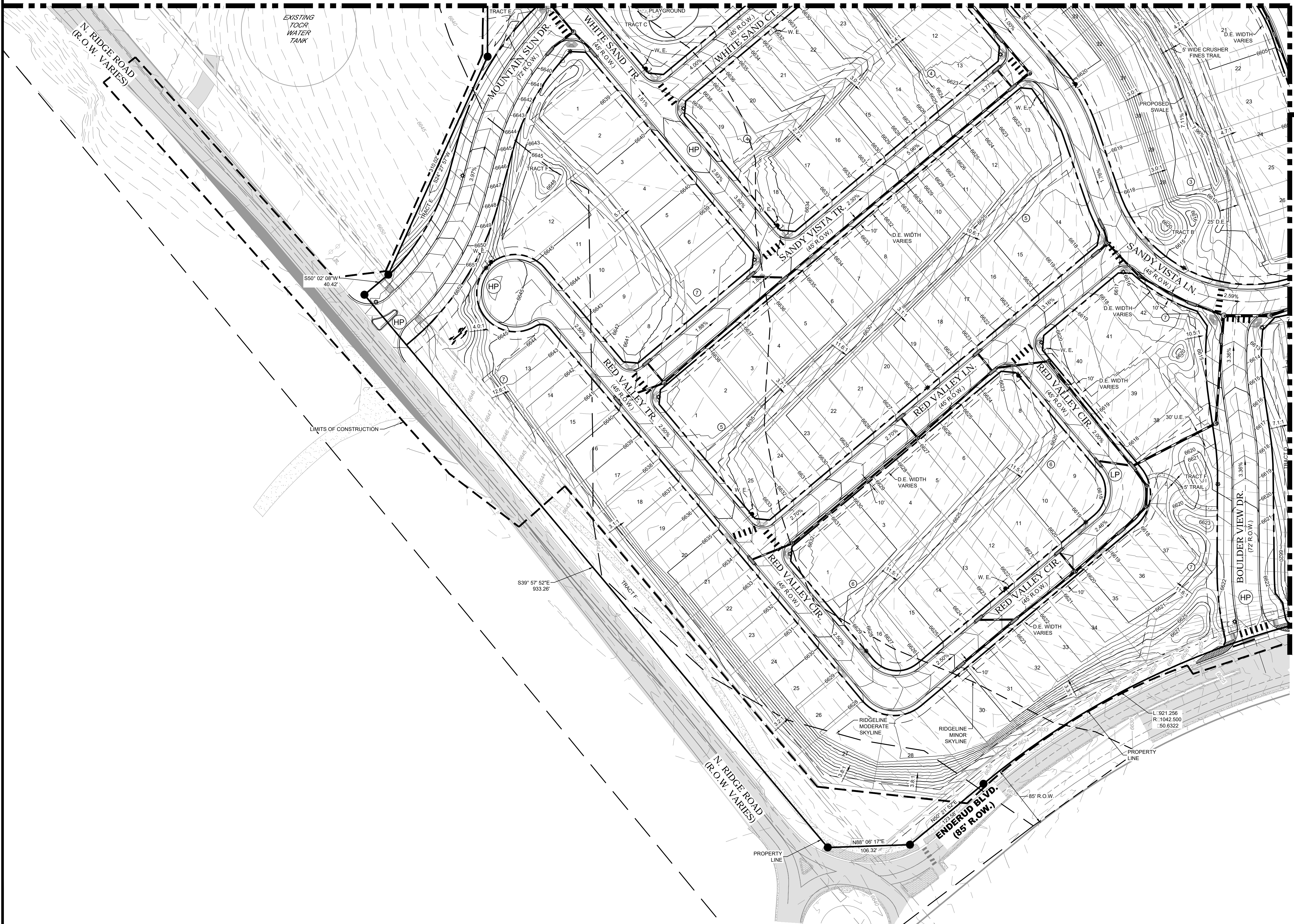
TERRAIN FILING NO. 4  
USE BY SPECIAL REVIEW  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032



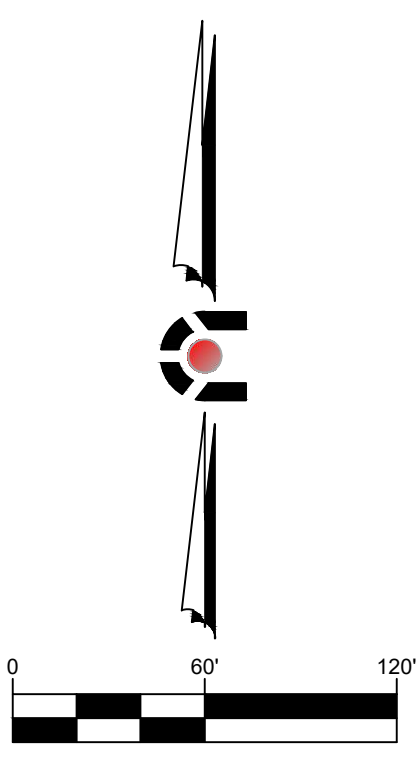
USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN  
TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATCHLINE SEE SHEET



KEY MAP  
SCALE: 1" = 1000'



LEGEND

- 5280 PROPOSED MAJOR CONTOUR
- 5280 PROPOSED MINOR CONTOUR
- 5280 PROPOSED MAJOR CONTOUR
- 6530 EXISTING MINOR CONTOUR
- SPOT ELEVATION
- PROPOSED EASEMENT
- PROPOSED R.O.W.
- PROPOSED CENTER LINE
- PROPOSED PROPERTY BOUNDARY
- PROPOSED CURB & GUTTER
- PROPOSED RETAINING WALL
- LOT NUMBER / BLOCK NUMBER
- PROPOSED FIRE HYDRANT
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- DRAINAGE SWALE
- RIDGELINE MODERATE SKYLINE
- RIDGELINE MINOR SKYLINE
- ZONE X PER FEMA MAP 080835C0302G REVISED 3/16/18

ABBREVIATIONS:

- W.A.E. WATER AND ACCESS EASEMENT
- W.E. WATER EASEMENT
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- D.U.E. DRAINAGE & UTILITY EASEMENT
- S.E. SANITARY SEWER EASEMENT
- SD STORM DRAIN (RCP PIPE)
- SS SANITARY SEWER (PVC PIPE)
- WL WATER LINE (PVC PIPE)
- HP HIGH POINT
- LP LOW POINT

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LOCATIONS (HORIZONTAL AND VERTICAL) OR EXISTING  
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COMPLETION OF ANY CONSTRUCTION ACTIVITIES.

#	REVISION DESCRIPTION	DATE	BY
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2	2ND SUBMITTAL	10/23/18	BAB

TERRAIN FILING NO. 4  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
GRADING PLAN

DESIGNED BY: RCY  
DRAWN BY: JF  
CHECKED BY: BC

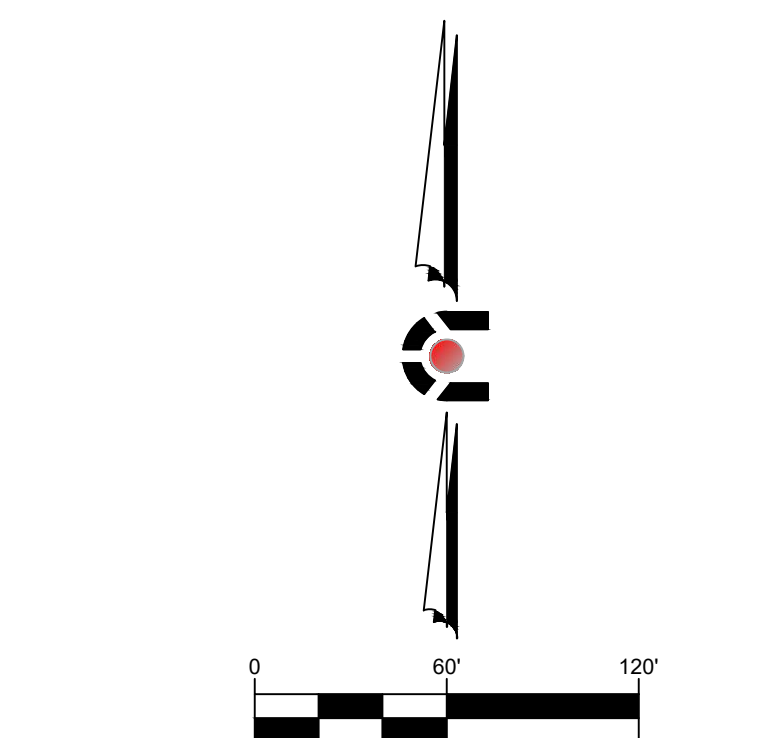
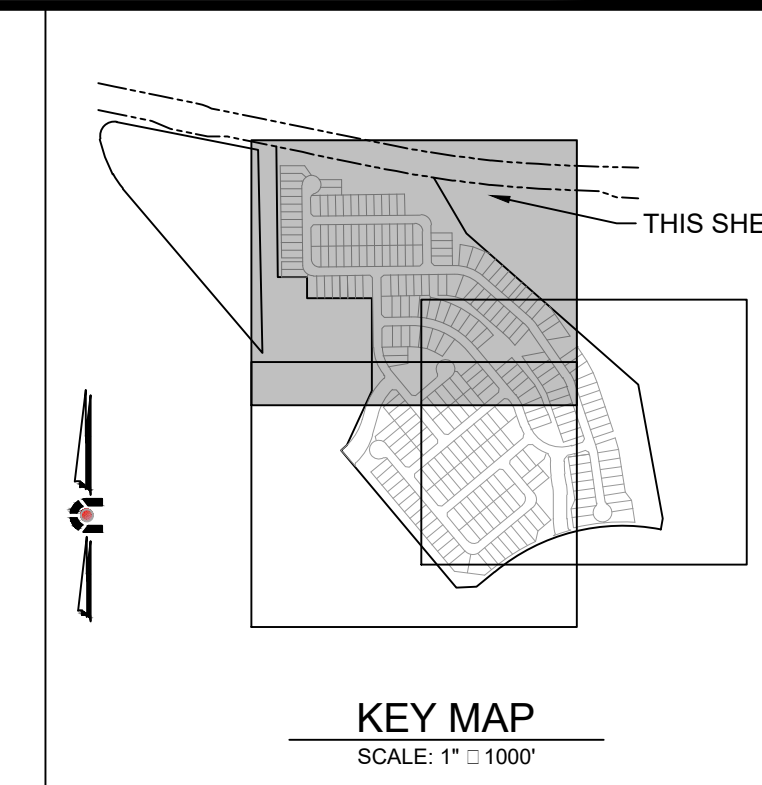
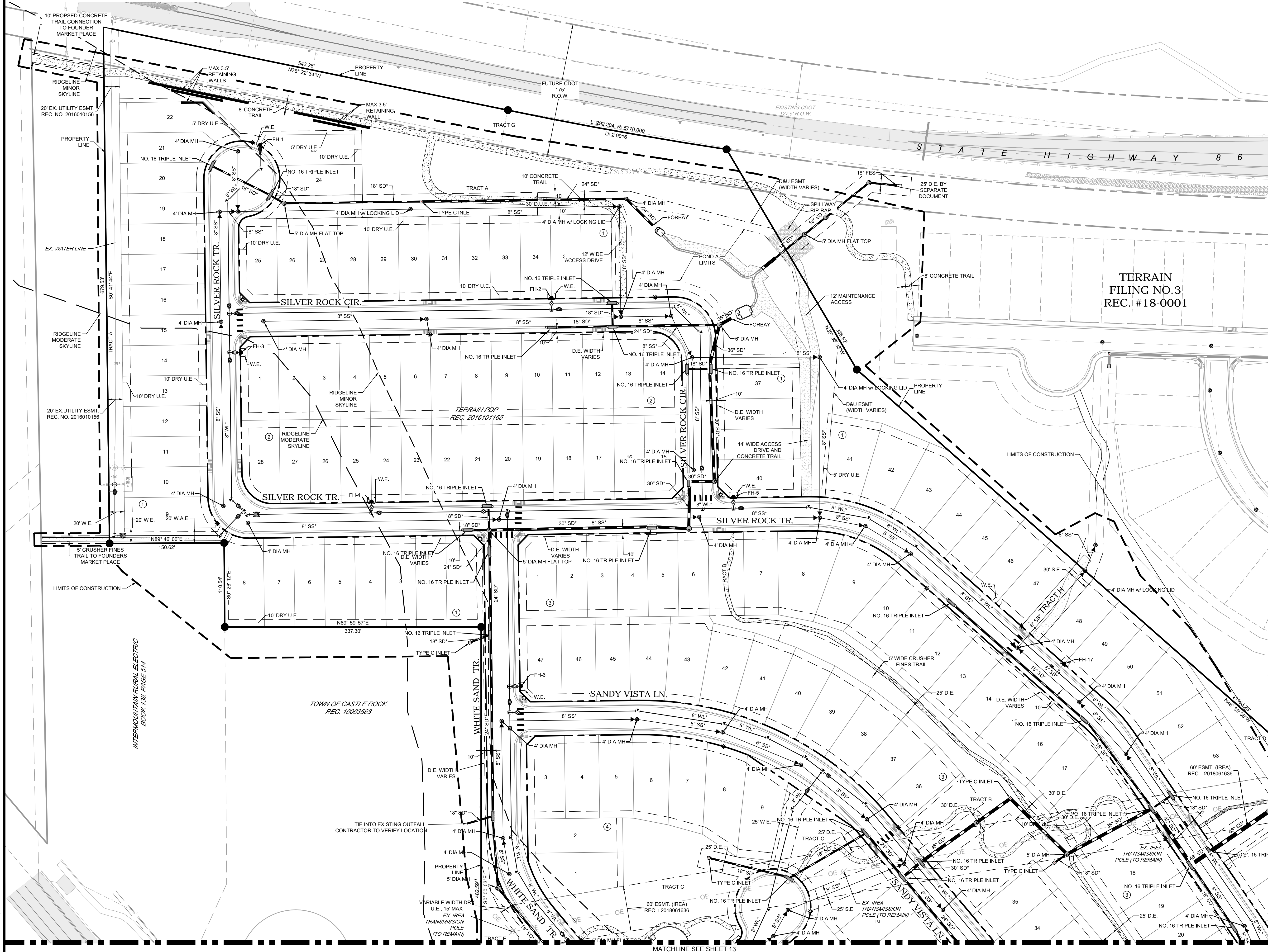
JOB NO.  
14-001  
SHEET  
10 OF 35

TERRAIN FILING NO. 4  
USE BY SPECIAL REVIEW  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

11/20/2018 10:24 AM: A:\14-001 UPPER SUNSET ONE CADD\DWG\SDP\GRADING PLAN UPDATED.DWG



USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN  
TERRAIN FILING NO. 4  
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



- NOTES:**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
  2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM LINES IS 10 FEET.
  3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
  4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK GREEN WATER PRESSURE ZONE.
- ABBREVIATIONS:**
- W.E. WATER EASEMENT  
U.E. UTILITY EASEMENT  
D.E. DRAINAGE EASEMENT  
D.U.E. DRAINAGE & UTILITY EASEMENT  
S.E. SANITARY SEWER EASEMENT  
W.A.E. WATER AND ACCESS EASEMENT
- SD STORM DRAIN (RCP PIPE)  
SS SANITARY SEWER (PVC PIPE)  
WL WATER LINE (PVC PIPE)

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#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	07/12/18	BAB
2	2ND SUBMITTAL	10/23/18	BAB

**TERRAIN FILING NO. 4**  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
UTILITY PLAN

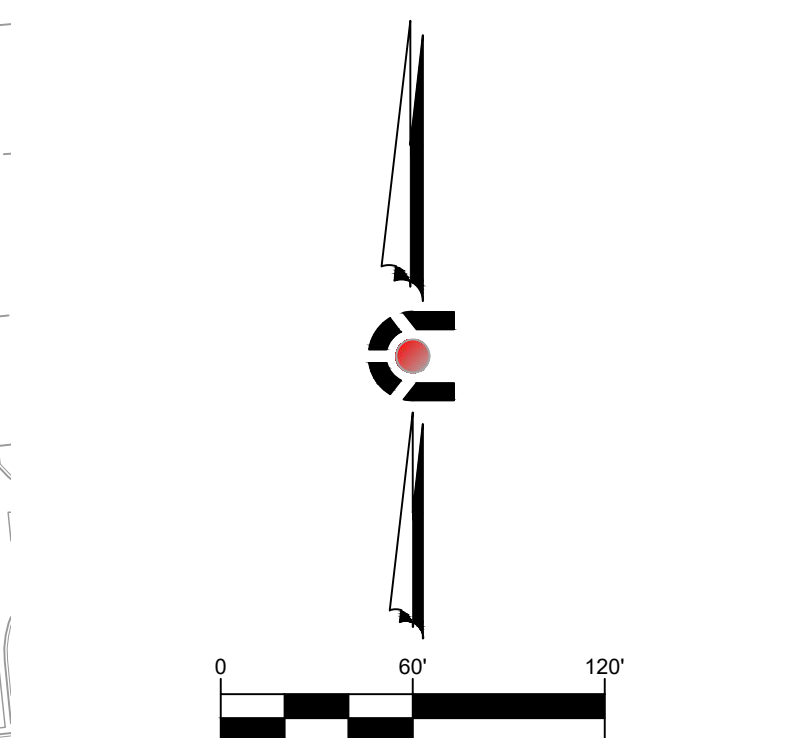
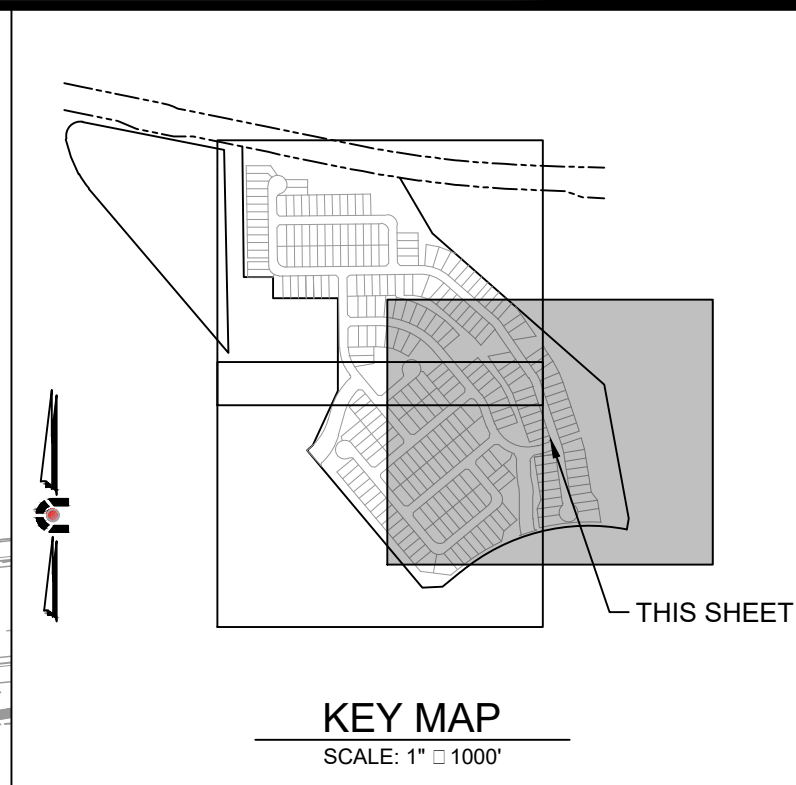
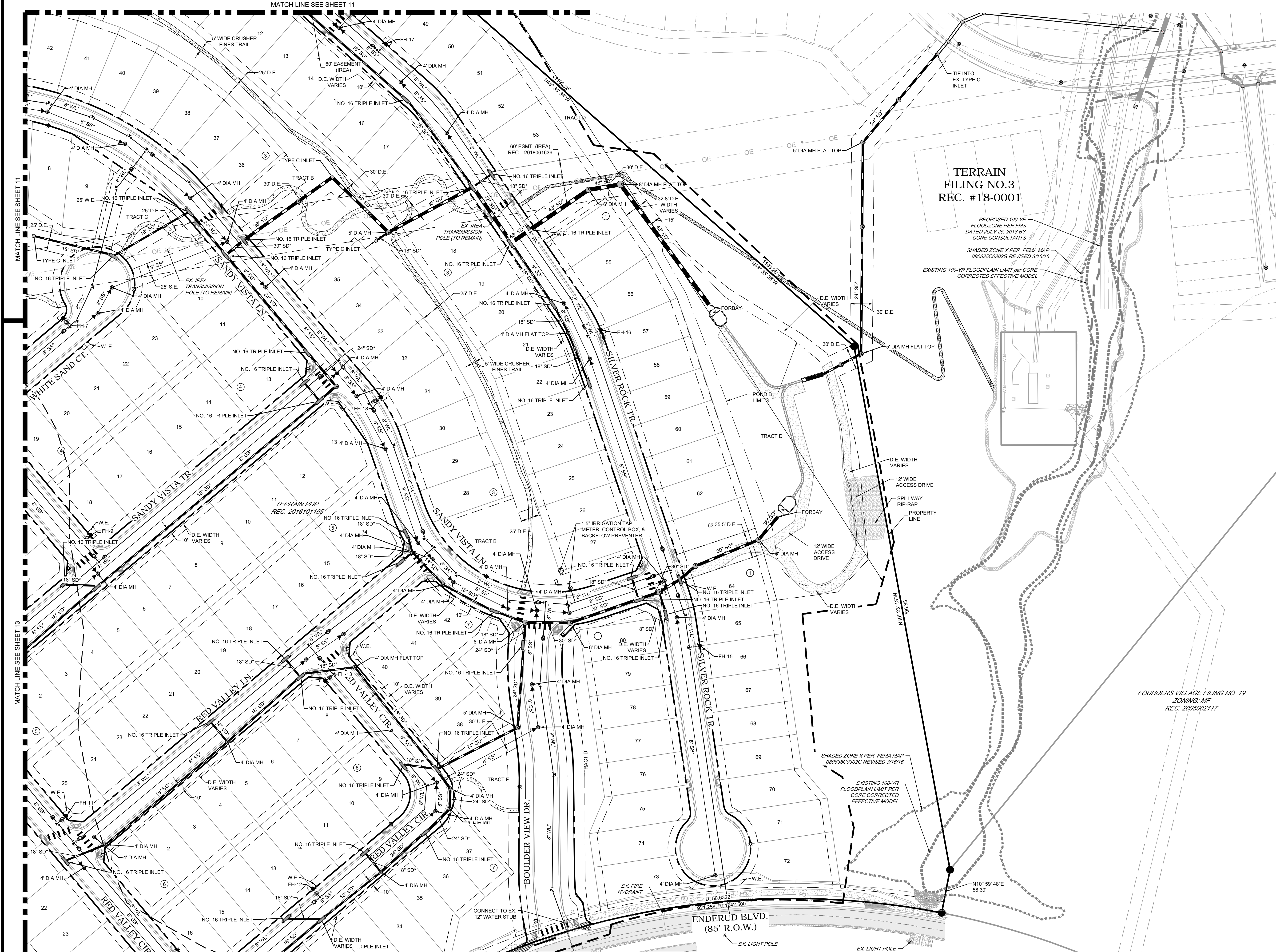
DESIGNED BY: RCY  
DRAWN BY: JF  
CHECKED BY: BC

JOB NO.  
14-001  
SHEET  
11 OF 35

TERRAIN FILING NO. 4  
USE BY SPECIAL REVIEW  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032



USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN  
TERRAIN FILING NO. 4  
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



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  3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
  4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK GREEN WATER PRESSURE ZONE.
- ABBREVIATIONS:**
- |        |                             |
|--------|-----------------------------|
| W.E.   | WATER EASEMENT              |
| U.E.   | UTILITY EASEMENT            |
| D.E.   | DRAINAGE EASEMENT           |
| D.U.E. | DRAINAGE & UTILITY EASEMENT |
| S.E.   | SANITARY SEWER EASEMENT     |
| W.A.E. | WATER AND ACCESS EASEMENT   |
| SD     | STORM DRAIN (RCP PIPE)      |
| SS     | SANITARY SEWER (PVC PIPE)   |
| WL     | WATER LINE (PVC PIPE)       |

**FOUNDERS VILLAGE FILING NO. 19**  
ZONING: MF  
REC. 200502117

**TERRAIN FILING NO. 4**  
USE BY SPECIAL REVIEW  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

DESIGNED BY: RCY  
DRAWN BY: JF  
CHECKED BY: BC

JOB NO. 14-001  
SHEET 12 OF 35

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NATURAL RESOURCES CONSULTING  
LAND SURVEYING  
303.703.4444  
1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120

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CONSULTANTS

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DIG, GRADE OR EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY  
LOCATIONS (HORIZONTAL AND VERTICAL) OR FOR THE  
LOCATION OF ANY UTILITIES. IT IS THE RESPONSIBILITY  
OF THE USER OF THIS PLAN TO OBTAIN THE LOCATION  
OF ALL UTILITIES FROM THE APPROPRIATE  
COMPETENT OF ANY CONSTRUCTION ACTIVITIES.

**TERRAIN FILING NO 4**  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
UTILITY PLAN

DATE BY  
1 07/12/18 BAC  
2 10/23/18 BAC

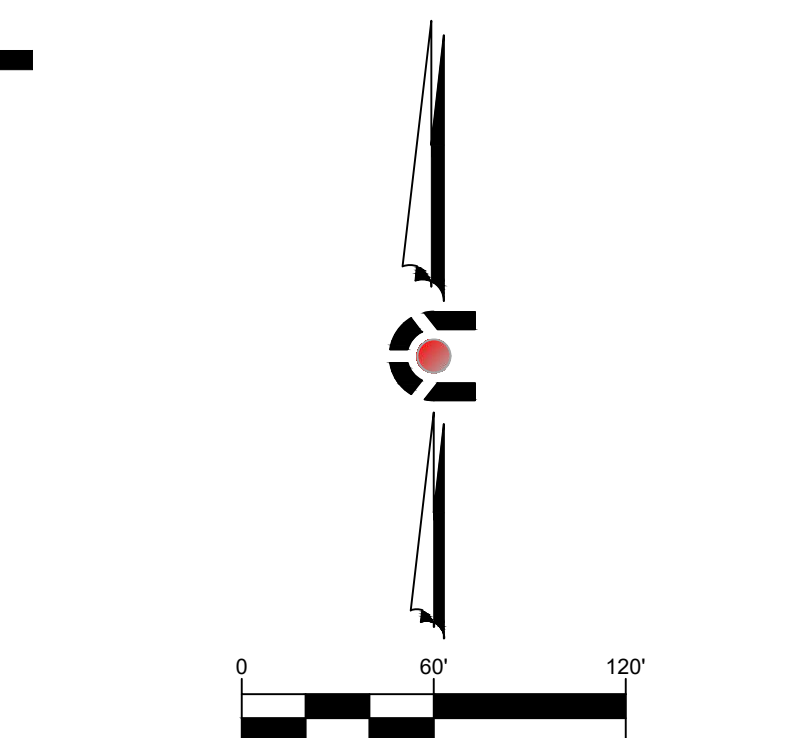
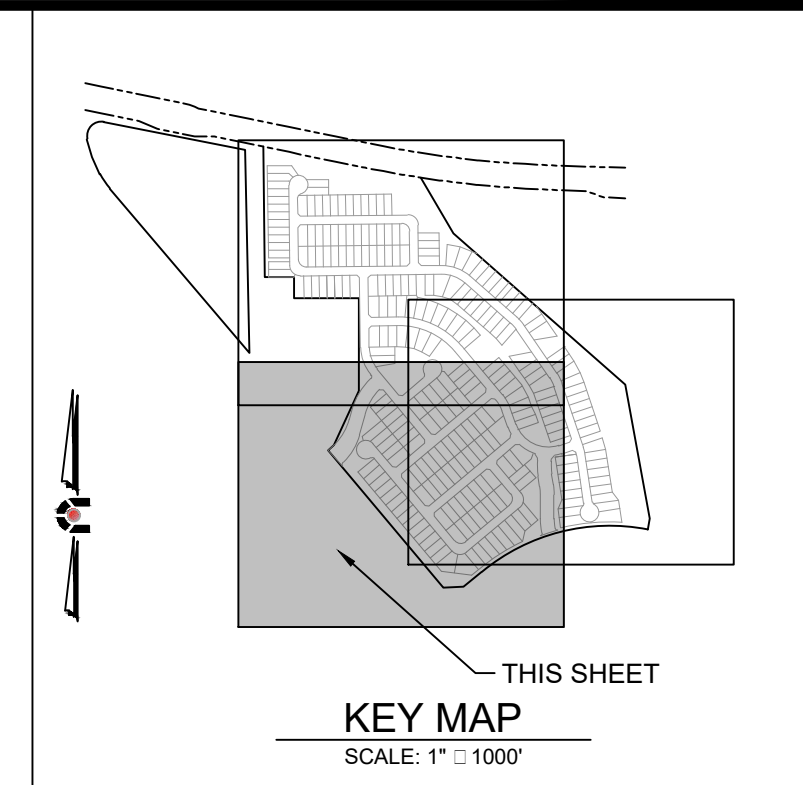
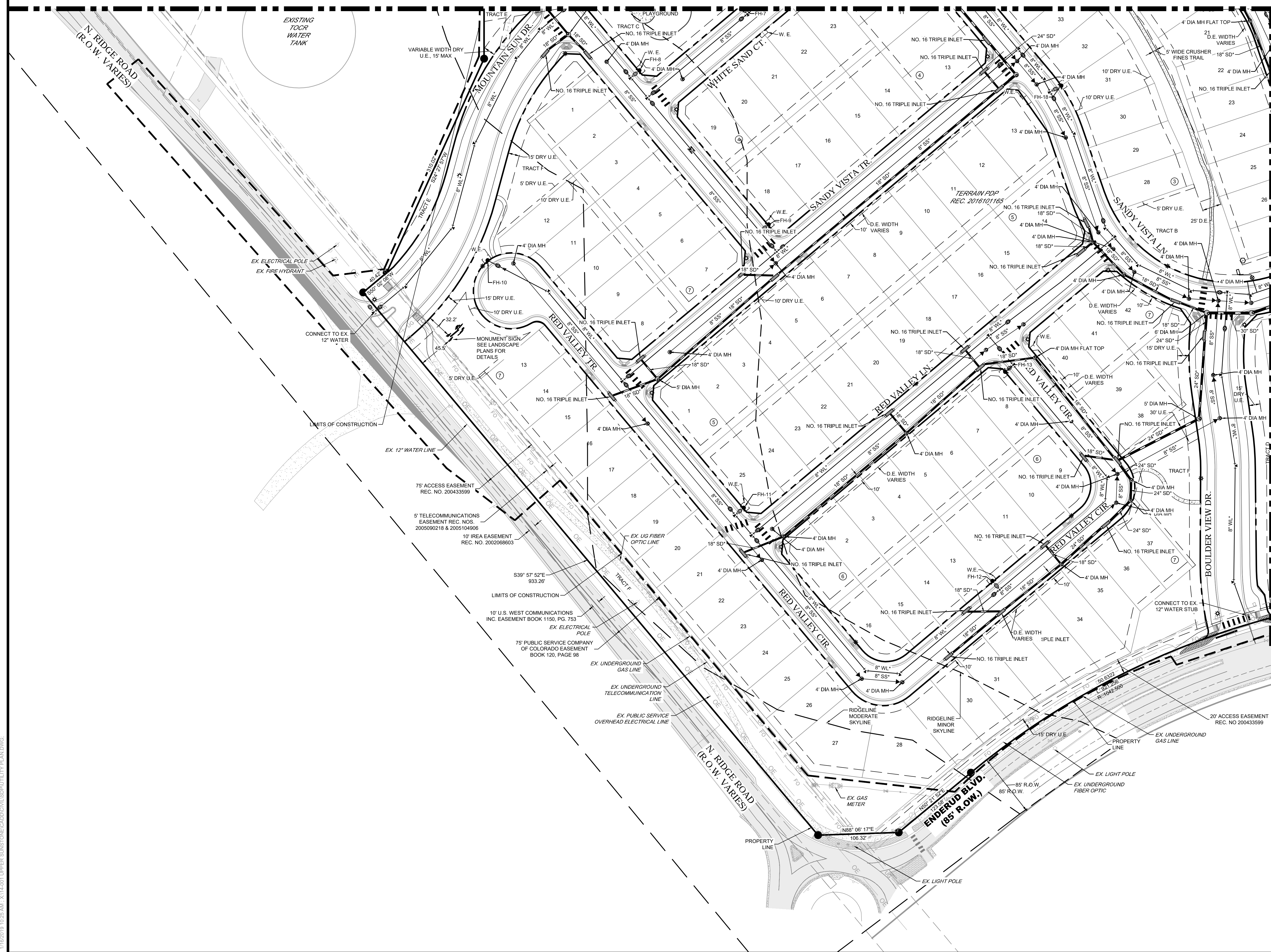
# REVISION DESCRIPTION  
1 1ST SUBMITTAL  
2 2ND SUBMITTAL



USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN  
TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATCHLINE SEE SHEET 11



- NOTES:**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
  2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM LINES IS 10 FEET.
  3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
  4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK GREEN WATER PRESSURE ZONE.
- ABBREVIATIONS:**
- |        |                             |
|--------|-----------------------------|
| W.E.   | WATER EASEMENT              |
| U.E.   | UTILITY EASEMENT            |
| D.E.   | DRAINAGE EASEMENT           |
| D.U.E. | DRAINAGE & UTILITY EASEMENT |
| S.E.   | SANITARY SEWER EASEMENT     |
| W.A.E. | WATER AND ACCESS EASEMENT   |
| SD     | STORM DRAIN (RCP PIPE)      |
| SS     | SANITARY SEWER (PVC PIPE)   |
| WL     | WATER LINE (PVC PIPE)       |

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CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY  
LOCATIONS OR CONDITIONS AND ACCEPTS NO LIABILITY FOR  
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LOCATIONS OR CONDITIONS AND ACCEPTS NO LIABILITY FOR  
FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER,  
THE LOCATION OF ALL UTILITIES FROM TO THE SURVEY  
CONSEQUENCE OF ANY CONSTRUCTION ACTIVITIES.

Know where you dig  
Call before you dig  
**811**

#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	07/12/18	BAB
2	2ND SUBMITTAL	10/23/18	BAB

**TERRAIN FILING NO 4**  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
UTILITY PLAN

DESIGNED BY:	RCY
DRAWN BY:	JF
CHECKED BY:	BC

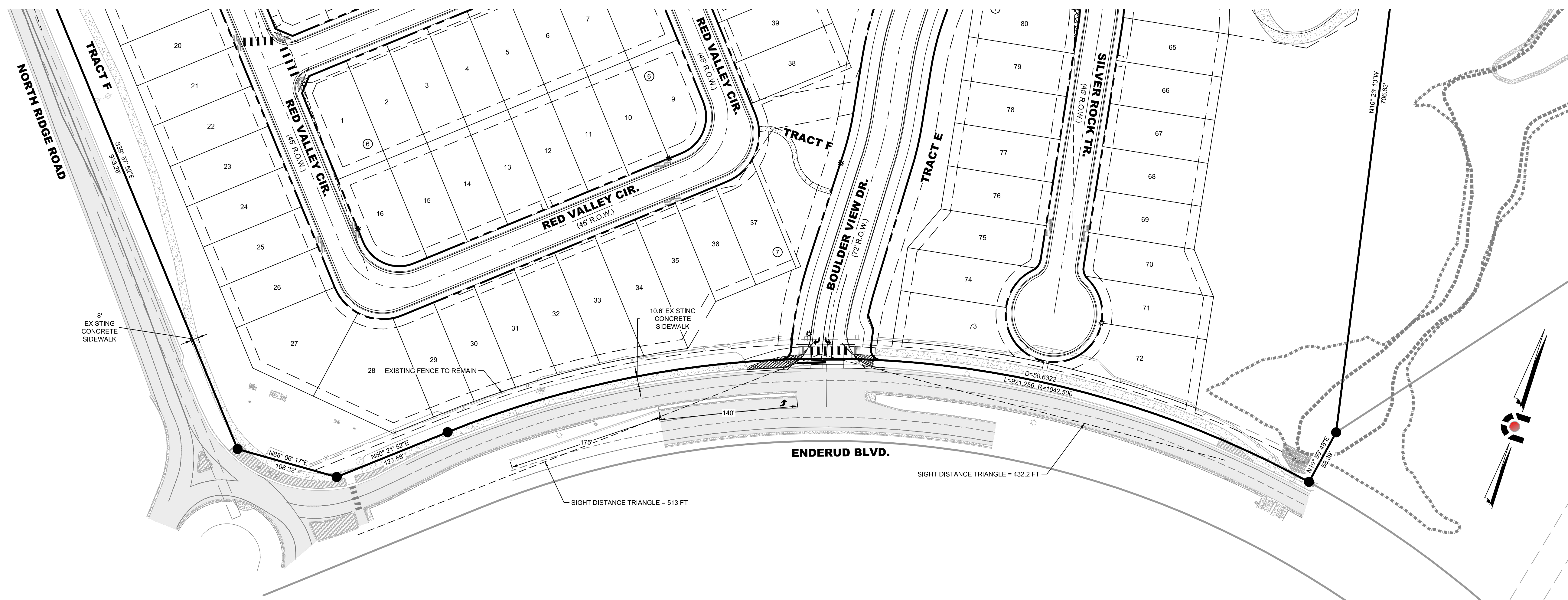
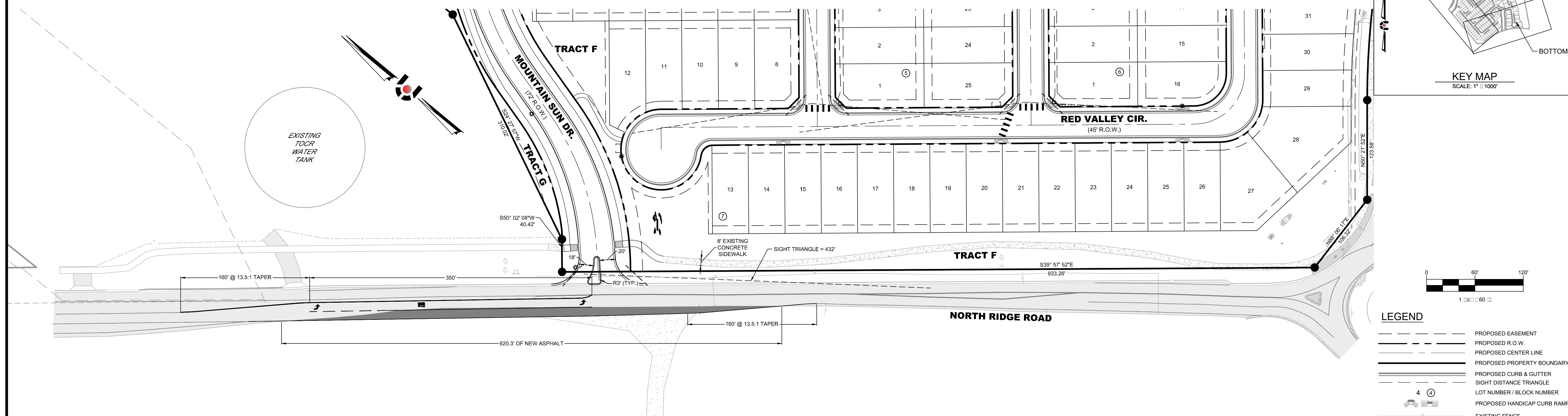
TERRAIN FILING NO. 4  
USE BY SPECIAL REVIEW  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

JOB NO.	14-001
SHEET	13 OF 35



# TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



### LEGEND

- PROPOSED EASEMENT
- PROPOSED R.O.W.
- PROPOSED CENTER LINE
- PROPOSED PROPERTY BOUNDARY
- PROPOSED CURB & GUTTER
- SIGHT DISTANCE TRIANGLE
- LOT NUMBER / BLOCK NUMBER
- PROPOSED HANDICAP CURB RAMP
- EXISTING FENCE
- EXISTING / PROPOSED LIGHT POLE

ABBREVIATIONS:

- |        |                             |
|--------|-----------------------------|
| W.E.   | WATER EASEMENT              |
| U.E.   | UTILITY EASEMENT            |
| D.E.   | DRAINAGE EASEMENT           |
| D.U.E. | DRAINAGE & UTILITY EASEMENT |
| S.E.   | SANITARY SEWER EASEMENT     |
| DS     | DESIGN SPEED                |

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Now what's below, dig before you dig.



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CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS. ANY DAMAGE TO EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION AND DEPTH OF ANY CONSTRUCTION ACTIVITIES CONCURRENT WITH ANY CONSTRUCTION ACTIVITIES.

#	REVISION DESCRIPTION	DATE	BY
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**TERRAIN FILING NO 4**  
TOWN OF CASTLE ROCK, COLORADO

SITE DEVELOPMENT PLAN  
ENTRY ROAD DETAILS

DESIGNED BY: RC  
DRAWN BY: JF  
CHECKED BY: BC

JOB NO.  
14-001

SHEET  
14 OF 35

TERRAIN FILING NO. 4  
USE BY SPECIAL REVIEW [ ]  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDPI8-0032

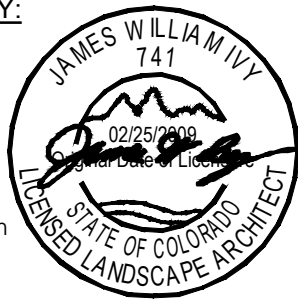
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pcs group inc. www.pcsgruppco.com  
#3, 8-180 Independence pkwy  
1007 16th street, denver, co 80265  
1 303.531.4905, f 303.531.4908



IREA TRANSMISSION ROW NOTES:

- TREES GROWING TALLER THAN 15 FEET SHOULD **NOT** BE PLANTED WITHIN TRANSMISSION LINE RIGHTS-OF-WAY.
- TREES WITH A MAXIMUM MATURE HEIGHT OF LESS THAN 15 FEET **MAY** BE PLANTED BENEATH OVERHEAD ELECTRIC TRANSMISSION EXCEPT WHEN NEAR STRUCTURES.
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## USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN TERRAIN FILING NO. 4

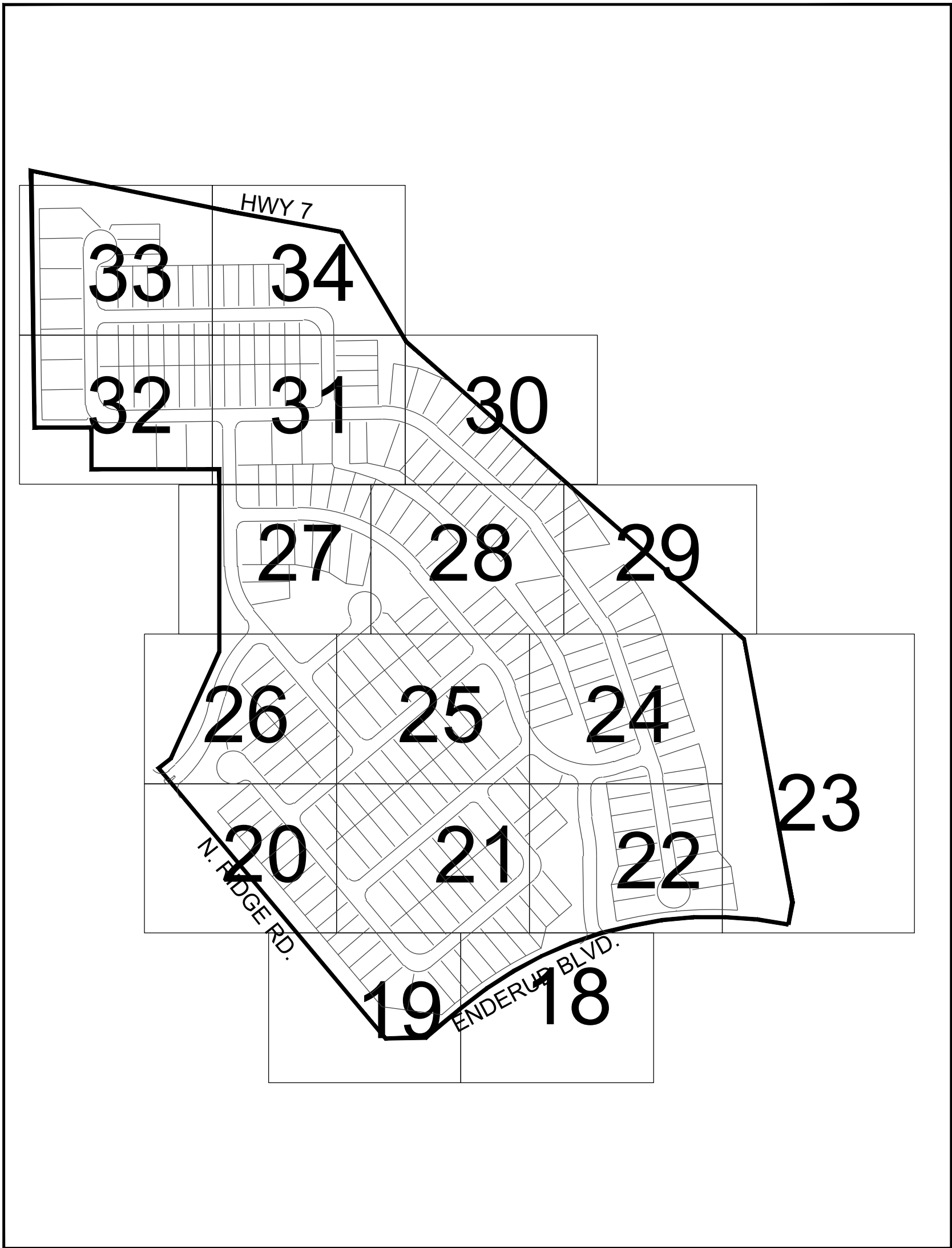
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES.

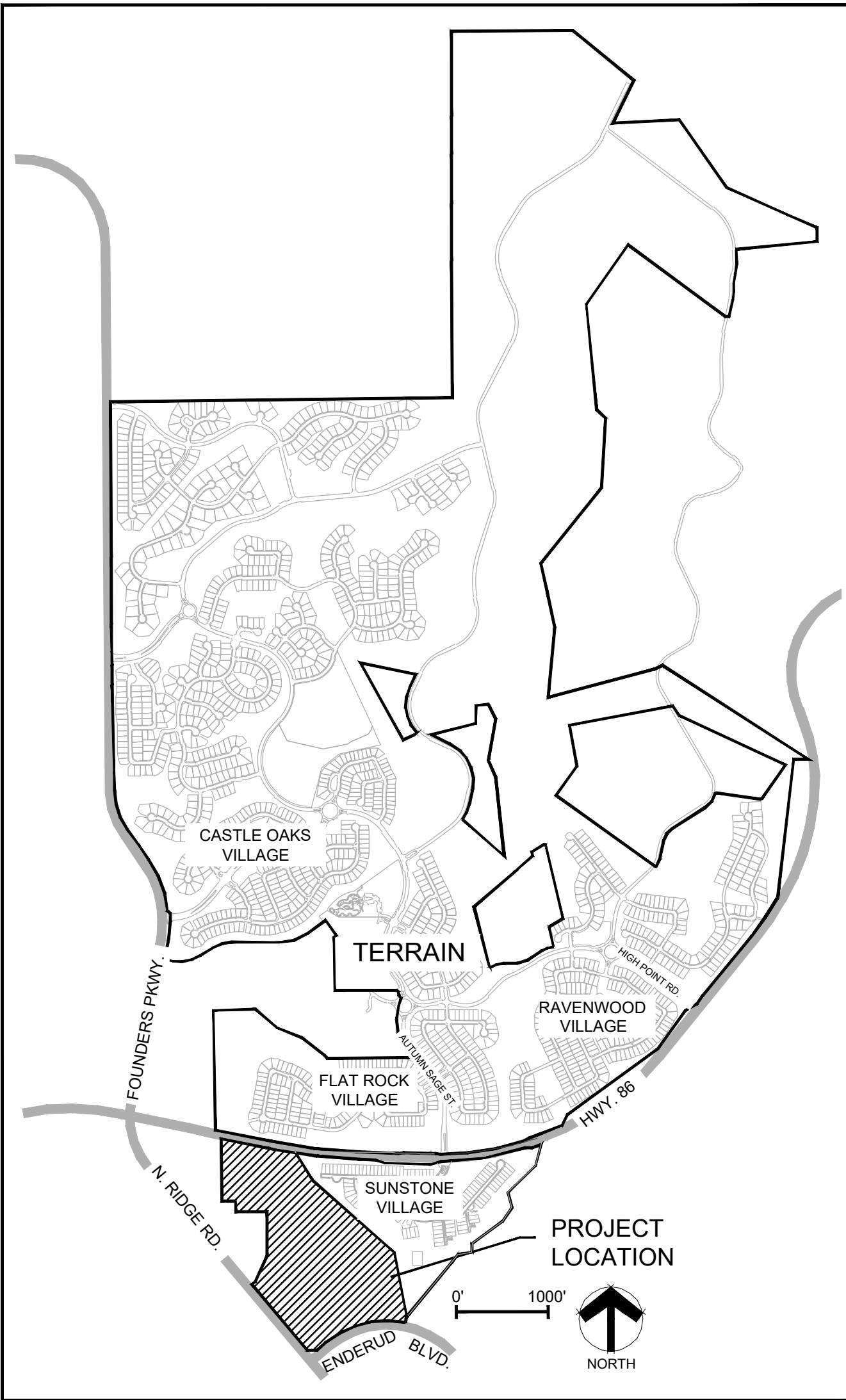
- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGES SHALL MEET OR EXCEED COVERAGES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- SLOPES GREATER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

LANDSCAPE SHEET INDEX	
Sheet Number	Sheet Title
15	LANDSCAPE COVER SHEET & NOTES
16	PLANT REQUIREMENTS
17	OVERALL LANDSCAPE PLAN & FENCING DETAILS
18	LANDSCAPE PLAN
19	LANDSCAPE PLAN
20	LANDSCAPE PLAN
21	LANDSCAPE PLAN
22	LANDSCAPE PLAN
23	LANDSCAPE PLAN
24	LANDSCAPE PLAN
25	LANDSCAPE PLAN
26	LANDSCAPE PLAN
27	LANDSCAPE PLAN
28	LANDSCAPE PLAN
29	LANDSCAPE PLAN
30	LANDSCAPE PLAN
31	LANDSCAPE PLAN
32	LANDSCAPE PLAN
33	LANDSCAPE PLAN
34	LANDSCAPE PLAN
35	SITE DETAILS

### LANDSCAPE SHEET KEY



### VICINITY MAP



### CONTACTS

OWNER  
SLV CASTLE OAKS, LLC  
385 INVERNESS PKWY., STE. 310  
ENGLEWOOD, CO 80112  
CONTACT: CRAIG CAMPBELL 303.720.4436

PLANNER/LANDSCAPE ARCHITECT  
PCS GROUP, INC.  
PO BOX 18287  
DENVER, CO 80218  
CONTACT: JIM IVY 303.531.4905

CIVIL ENGINEER  
CORE CONSULTANTS, INC.  
1950 W. LITTLETON BLVD., STE 109  
LITTLETON, CO 80120  
CONTACT: BLAKE CALVERT 303.703.4444

TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDPI8-0032

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**TERRAIN FILING NO 4**  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
LANDSCAPE COVER SHEET □ NOTES

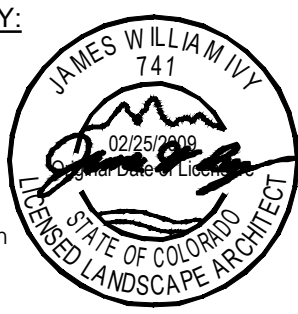
DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

JOB NO.  
14-001  
SHEET  
15 OF 35







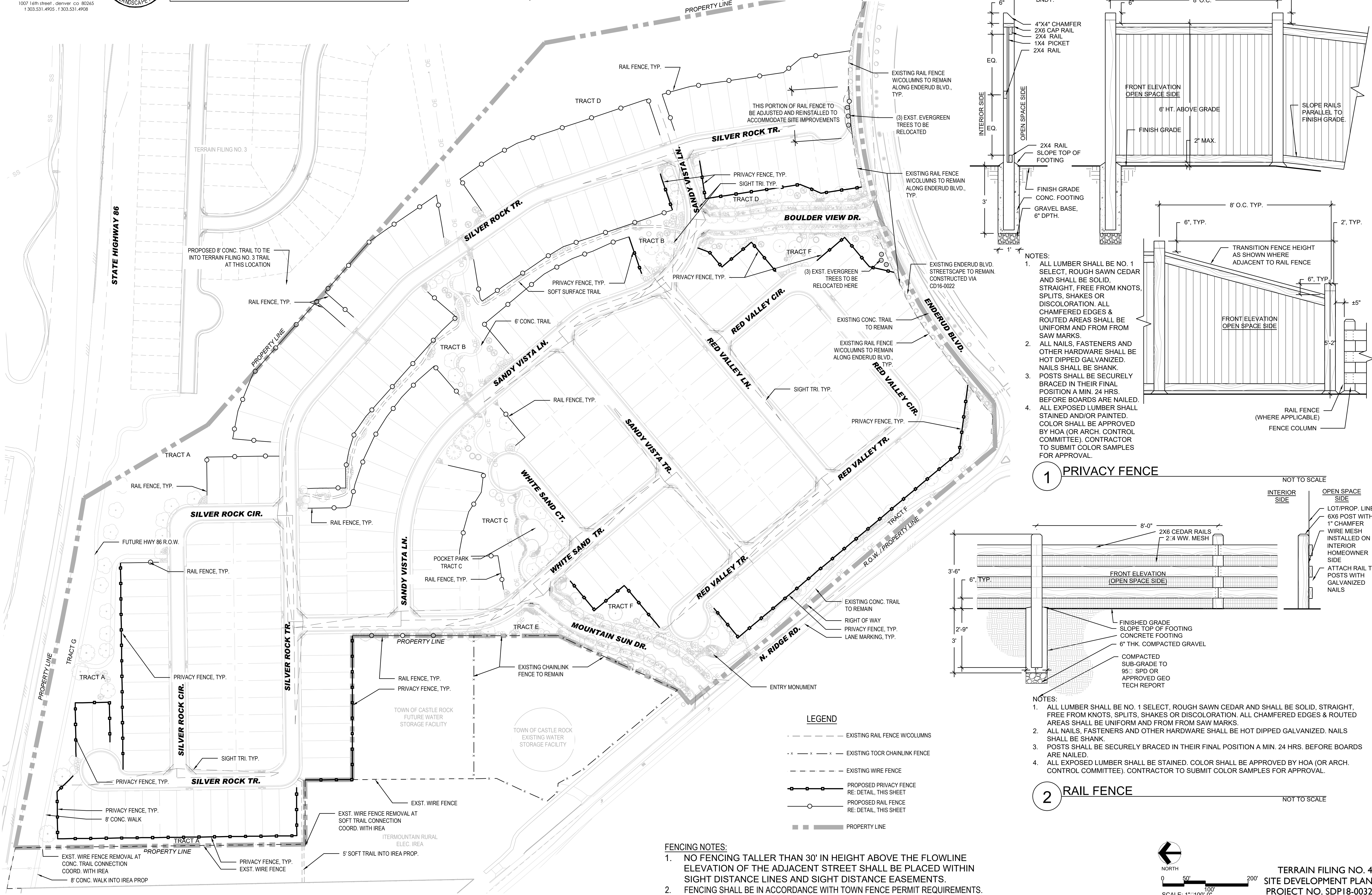


## IREA TRANSMISSION ROW NOTES:

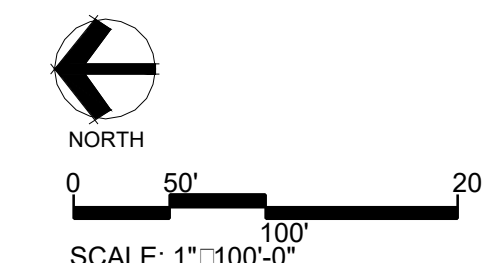
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# USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



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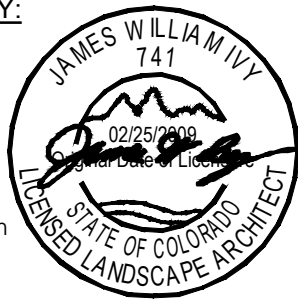




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1 303.531.4905 • f 303.531.4908



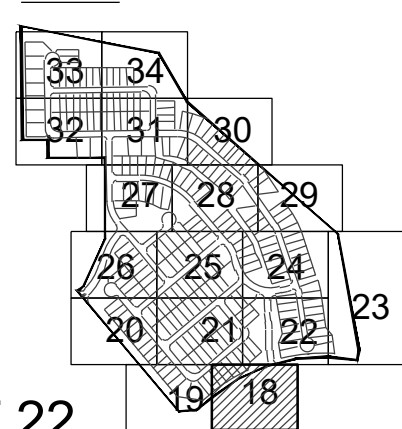
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USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN  
TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

KEYMAP

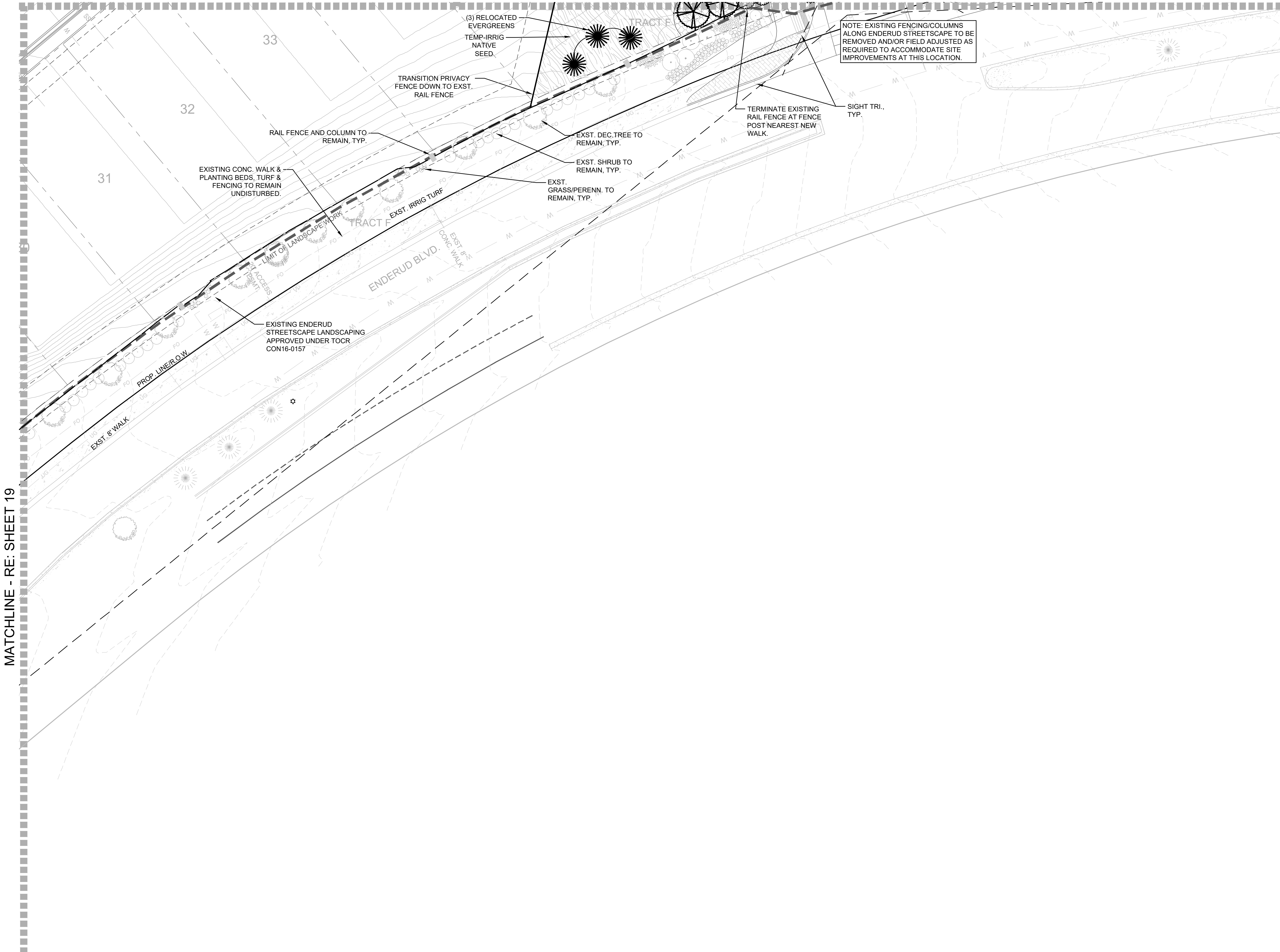


PLANT & GROUNDCOVER LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- ORNAMENTAL GRASSES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS
- CRUSHER FINES, TAN
- ROCK MULCH, 2"-4" COBBLE
- ROCK MULCH, 3/4" DIA
- ROCK MULCH, 4"-12" COBBLE
- WOOD MULCH
- NATIVE SEED FESCUE MIX PERMANENT IRRIGATION
- NATIVE SEED MIX IRRIG TO ESTABLISHMENT
- NATIVE SEED MIX NON-IRRIGATED
- IRRIGATED SOD
- FIBER PLAYGROUND MULCH
- LANDSCAPE BOULDERS, TYPICAL
- STEEL EDGER, TYP.
- SPADE DUG EDGER, TYP.

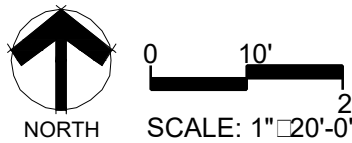
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MATCHLINE - RE: SHEET 22



MATCHLINE - RE: SHEET 19

December 21, 2015: Y:\TERRAIN\LANDSCAPE\ARCHITECTURE\CURRENT DWGS\IN\STONE VILLAGE\PA'S 47-51-02\PA 47-51-02-SDP.DWG: JIM



TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

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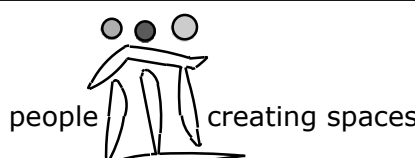
TERRAIN FILING NO 4  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

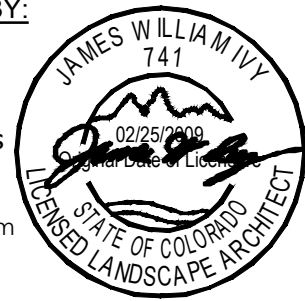
JOB NO.  
14-001  
SHEET  
18 OF 35



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IREA TRANSMISSION ROW NOTES:

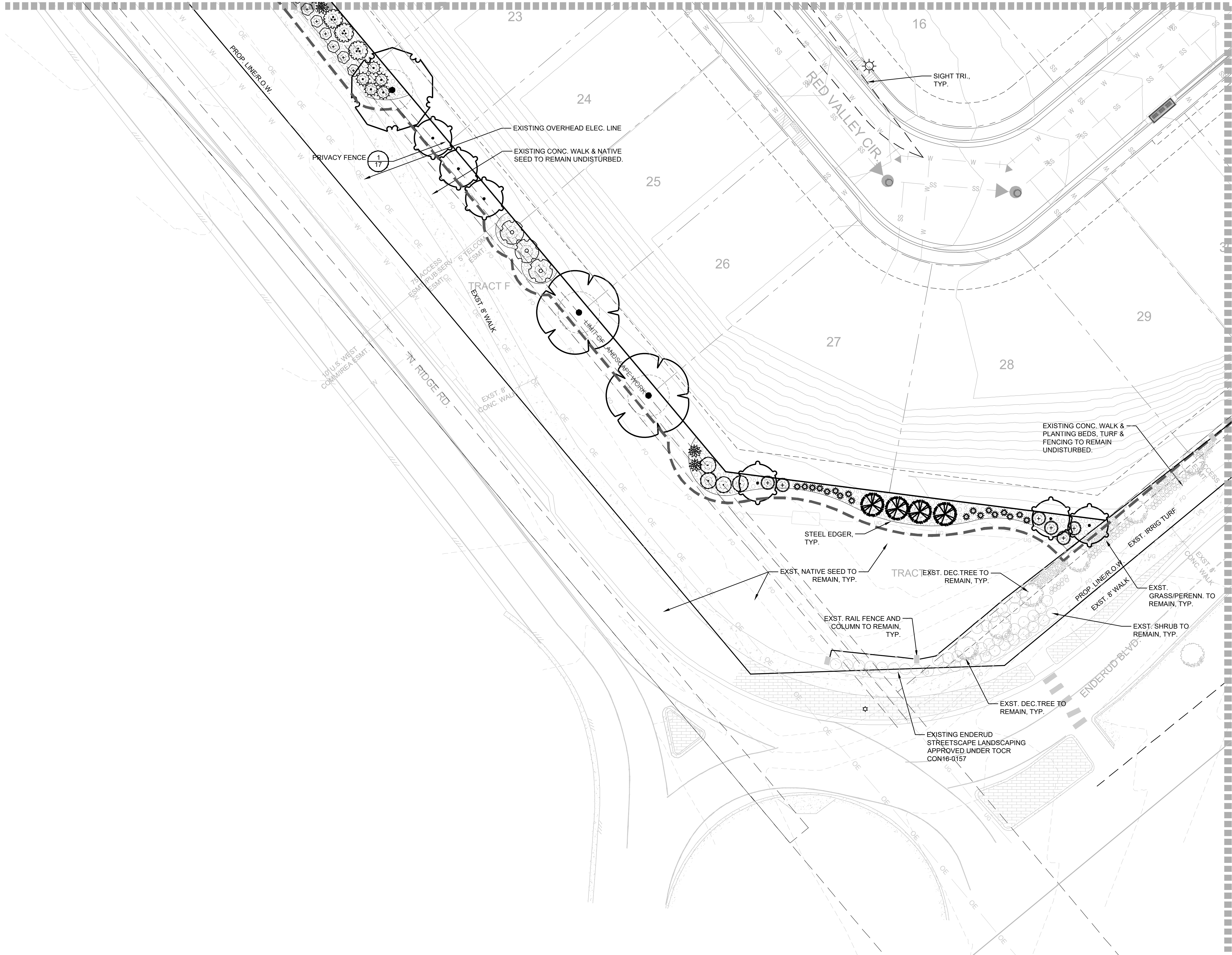
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# USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

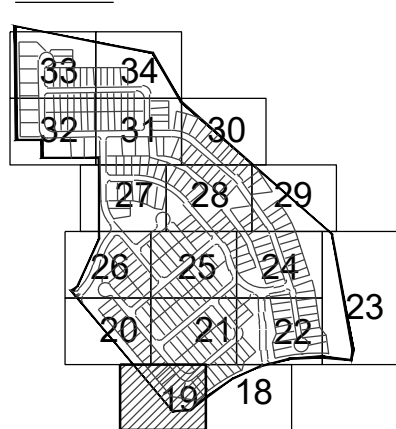
MATCHLINE - RE: SHEET 20

MATCHLINE - RE: SHEET 21



MATCHLINE - RE: SHEET 18

KEYMAP



PLANT & GROUNDCOVER LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- ORNAMENTAL GRASSES
- DECIDUOUS SHRUBS
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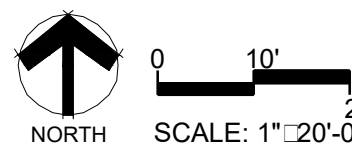
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2	2ND SUBMITTAL	10/22/18	PCS

TERRAIN FILING NO 4  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

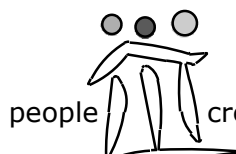
JOB NO.  
14-001  
SHEET  
1 OF 35



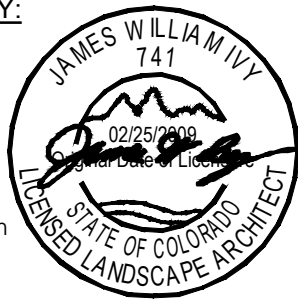
TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032



LANDSCAPE PLANS PREPARED BY:



pcs group inc. www.pcsgruppco.com  
#3, 8-180 Independence Plaza  
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1.303.531.4905 • f.303.531.4908



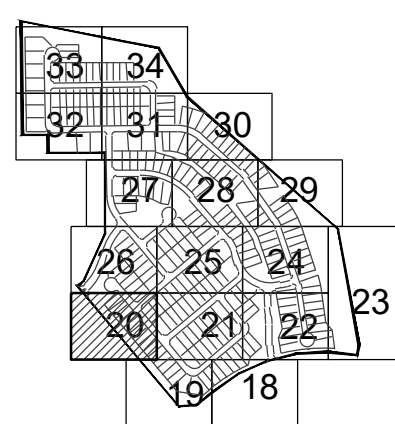
IREA TRANSMISSION ROW NOTES:

- TREES GROWING TALLER THAN 15 FEET SHOULD NOT BE PLANTED WITHIN TRANSMISSION LINE RIGHTS-OF-WAY.
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# USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN TERRAIN FILING NO. 4

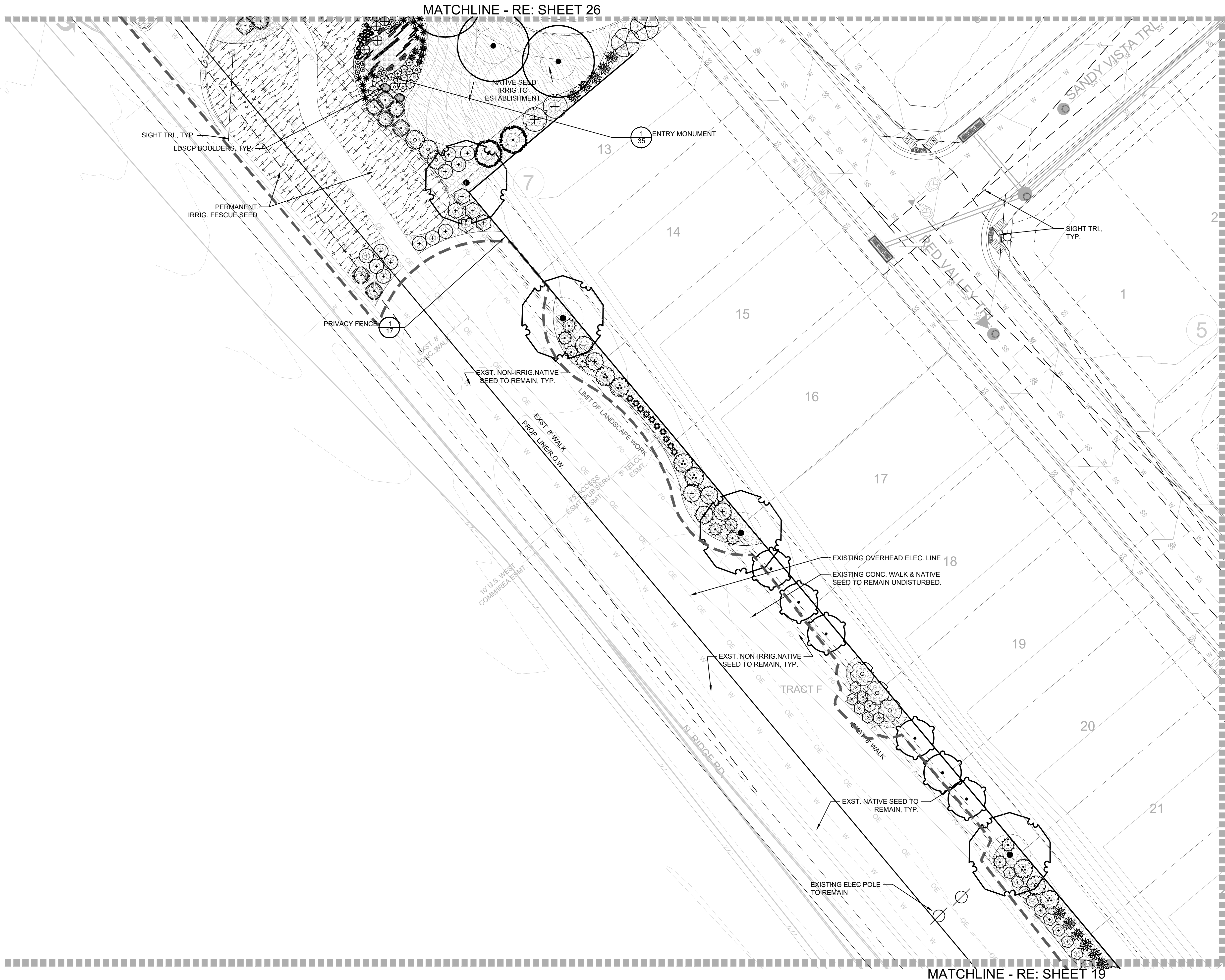
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

KEYMAP



PLANT & GROUNDCOVER LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- ORNAMENTAL GRASSES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS
- CRUSHER FINES, TAN
- ROCK MULCH, 2"-4" COBBLE
- ROCK MULCH, 3/4" DIA
- ROCK MULCH, 4"-12" COBBLE
- WOOD MULCH
- NATIVE SEED FESCUE MIX PERMANENT IRRIGATION
- NATIVE SEED MIX IRRIG TO ESTABLISHMENT
- NATIVE SEED MIX NON-IRRIGATED
- IRRIGATED SOD
- FIBER PLAYGROUND MULCH
- LANDSCAPE BOULDERS, TYPICAL
- STEEL EDGER, TYP.
- SPADE DUG EDGER, TYP.



MATCHLINE - RE: SHEET 21

MATCHLINE - RE: SHEET 19



SCALE: 1"=20'-0"

TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

CIVIL ENGINEERING  
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NATURAL RESOURCES CONSULTING  
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1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120



CALL 3.705.4444 FOR AN ADVISORY BEFORE YOU  
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CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY  
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FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER,  
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#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	07/17/18	PCS
2	2ND SUBMITTAL	10/22/18	PCS

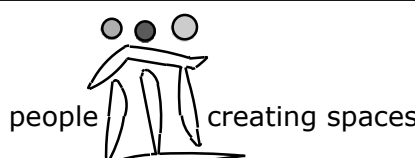
TERRAIN FILING NO. 4  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

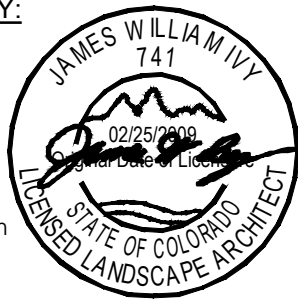
JOB NO.  
14-001  
SHEET  
20 OF 35



LANDSCAPE PLANS PREPARED BY:



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#3 8-180 Independence #620  
1007 16th street, denver co 80265  
1 303.531.4905, f 303.531.4908



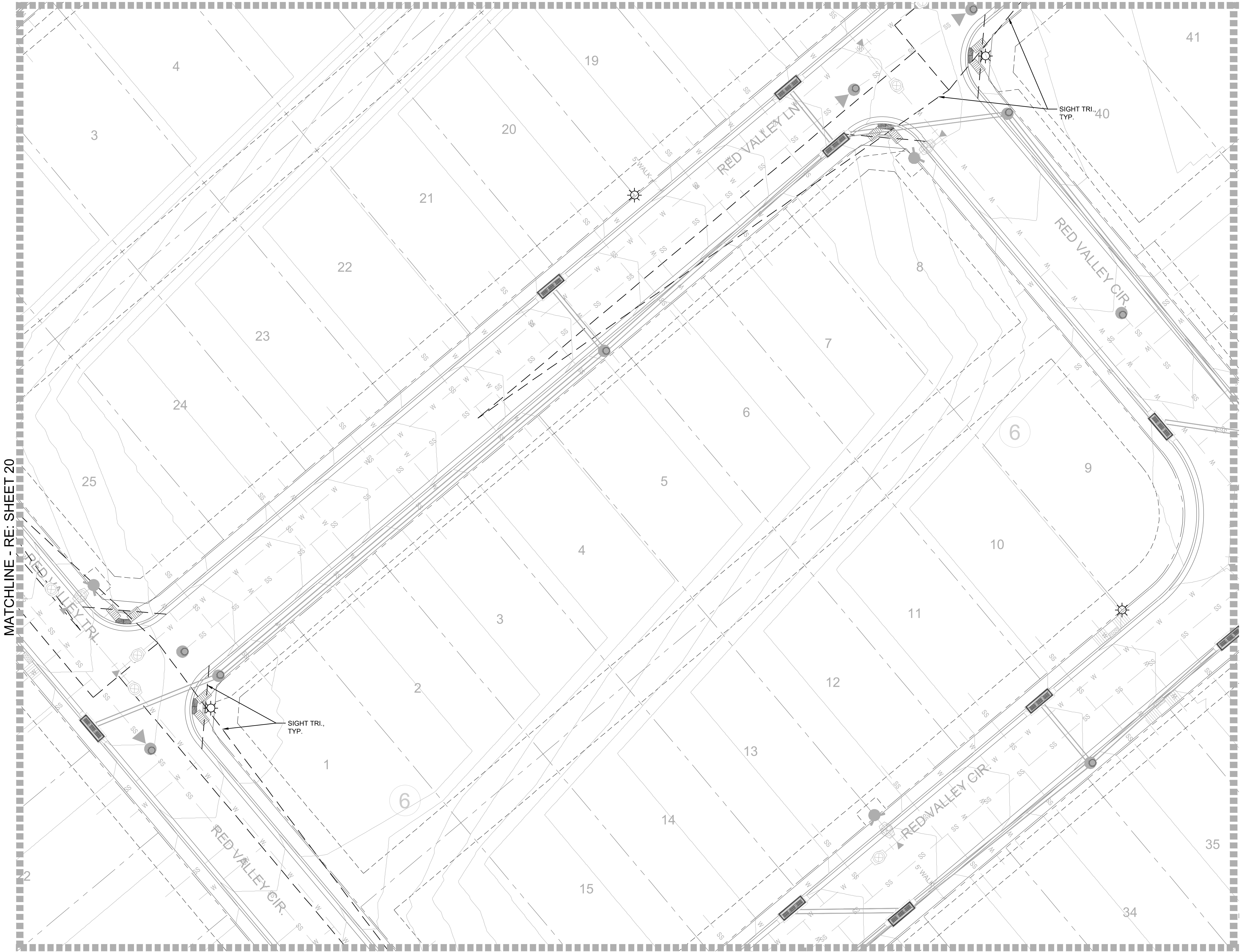
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USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN  
TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATCHLINE - RE: SHEET 25



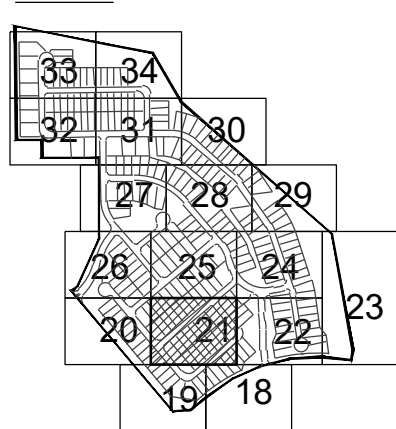
MATCHLINE - RE: SHEET 20

MATCHLINE - RE: SHEET 22

MATCHLINE - RE: SHEET 19

MATCHLINE - RE: SHEET 18

KEYMAP



PLANT & GROUNDCOVER LEGEND

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- EVERGREEN TREES
- ORNAMENTAL TREES
- ORNAMENTAL GRASSES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS
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- ROCK MULCH, 4"-12" COBBLE
- WOOD MULCH
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- NATIVE SEED MIX IRRIG TO ESTABLISHMENT
- NATIVE SEED MIX NON-IRRIGATED
- IRRIGATED SOD
- FIBAR PLAYGROUND MULCH
- LANDSCAPE BOULDERS, TYPICAL
- STEEL EDGER, TYP.
- SPADE DUG EDGER, TYP.



SCALE: 1"=20'-0"

TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDPI8-0032

CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
NATURAL RESOURCES CONSULTING  
LAND SURVEYING  
303.703.4444  
1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120



CALL 811 BEFORE YOU  
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1	1ST SUBMITTAL	07/17/18	PCS
2	2ND SUBMITTAL	10/22/18	PCS

TERRAIN FILING NO 4  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

JOB NO.  
14-001  
SHEET  
21 OF 35



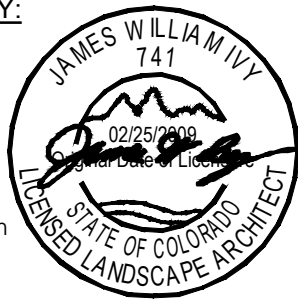




LANDSCAPE PLANS PREPARED BY:



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#3, 8-180 Independence Plaza  
1007 16th Street, Denver, CO 80265  
1 303.531.4905, f 303.531.4908



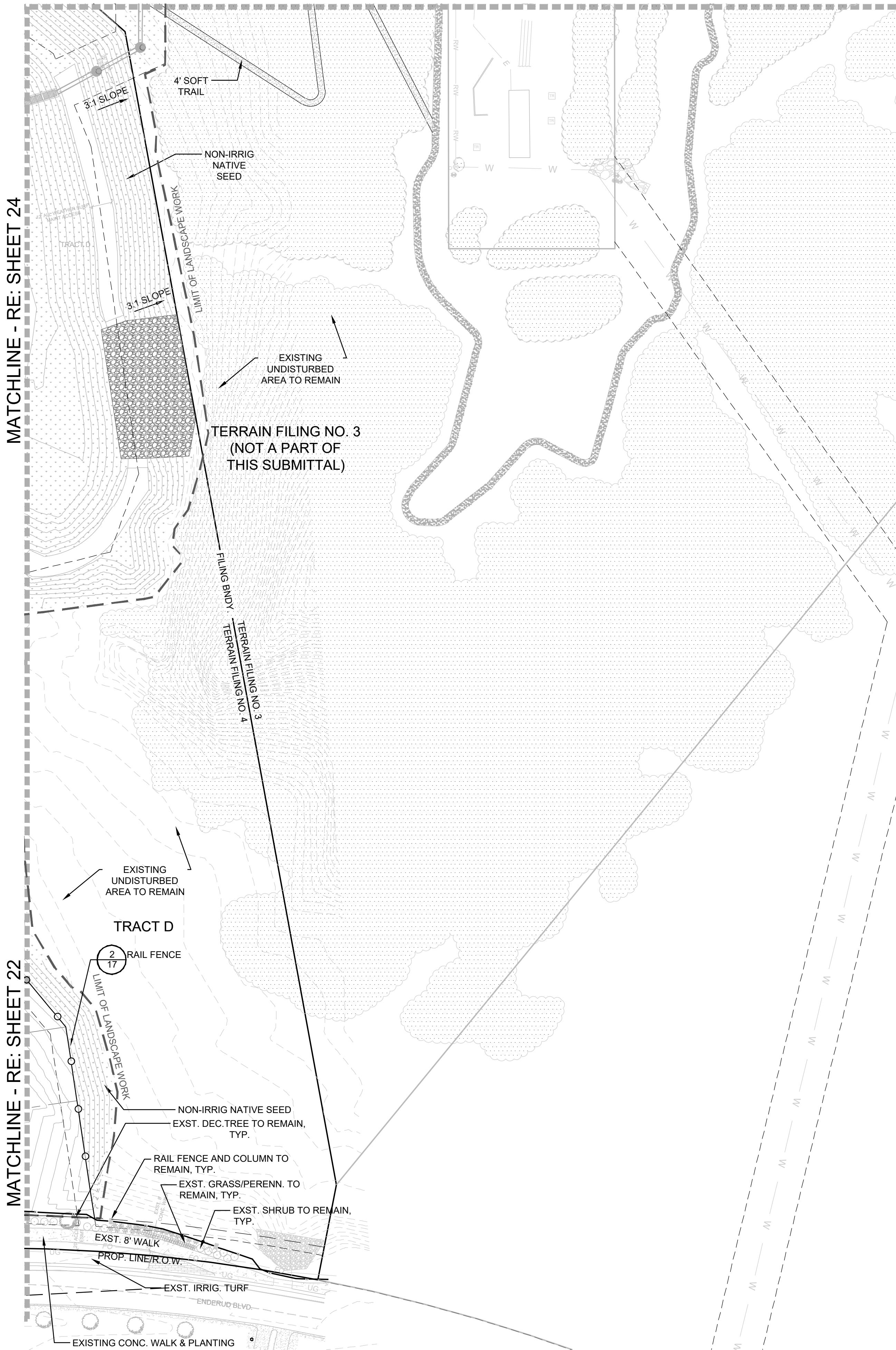
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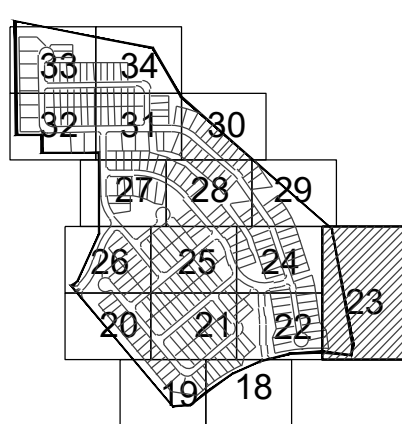
# USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATCHLINE - RE: SHEET 29



KEYMAP



PLANT & GROUNDCOVER LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- ORNAMENTAL GRASSES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS
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- NATIVE SEED MIX NON-IRRIGATED
- IRRIGATED SOD
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- LANDSCAPE BOULDERS, TYPICAL
- STEEL EDGER, TYP.
- SPADE DUG EDGER, TYP.

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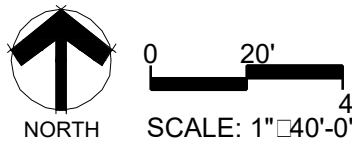
CALL A PROFESSIONAL ADVISOR BEFORE YOU  
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1	1ST SUBMITTAL	07/17/18	PCS
2	2ND SUBMITTAL	10/22/18	PCS

**TERRAIN FILING NO 4**  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

JOB NO.  
14-001  
SHEET  
23 OF 35



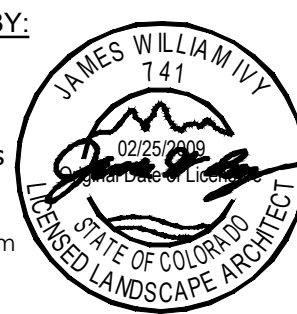
TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032



LANDSCAPE PLANS PREPARED BY:



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#3, 9-180 independence plaza  
1007 16th street, denver, co 80265  
1.303.531.4905, f.303.531.4908



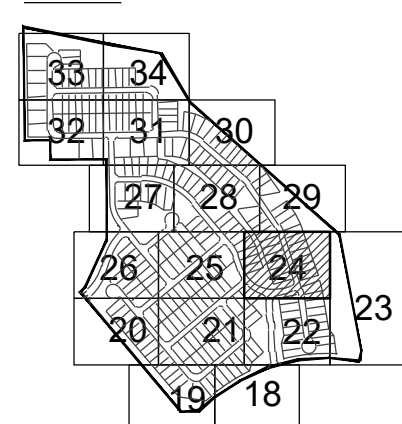
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# USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

KEYMAP



## PLANT & GROUNDCOVER LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- ORNAMENTAL GRASSES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
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- NATIVE SEED MIX IRRIG TO ESTABLISHMENT
- NATIVE SEED MIX NON-IRRIGATED
- IRRIGATED SOD
- FIBAR PLAYGROUND MULCH
- LANDSCAPE BOULDERS, TYPICAL
- STEEL EDGER, TYP.
- SPADE DUG EDGER, TYP.

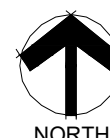
MATCHLINE - RE: SHEET 28

MATCHLINE - RE: SHEET 29



MATCHLINE - RE: SHEET 23

MATCHLINE - RE: SHEET 22



0 10' 20'  
SCALE: 1"=20'-0"

TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

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LAND SURVEYING  
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Littleton, CO 80120



CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS HORIZONTAL AND VERTICAL. THE EXISTING LOCATIONS ARE BASED ON THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE USER'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.  
811  
Know where you dig  
Call before you dig

#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITAL	07/12/18	PCS
2	2ND SUBMITAL	10/22/18	PCS

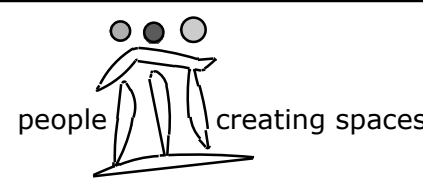
TERRAIN FILING NO 4  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

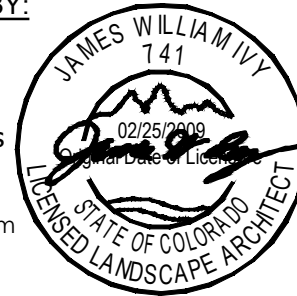
JOB NO.  
14-001  
SHEET  
24 OF 35



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1007 16th street, denver, co 80265  
1.303.531.4905, 1.303.531.4908



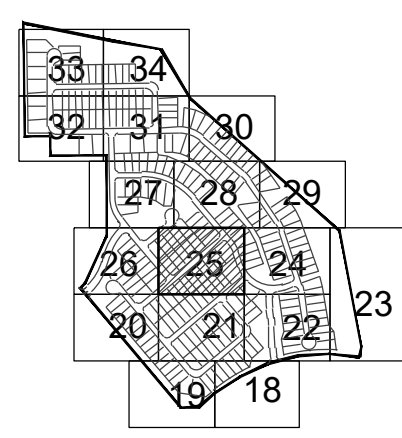
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TERRAIN FILING NO. 4

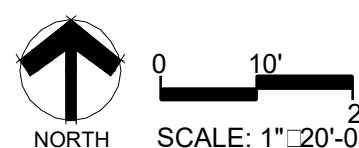
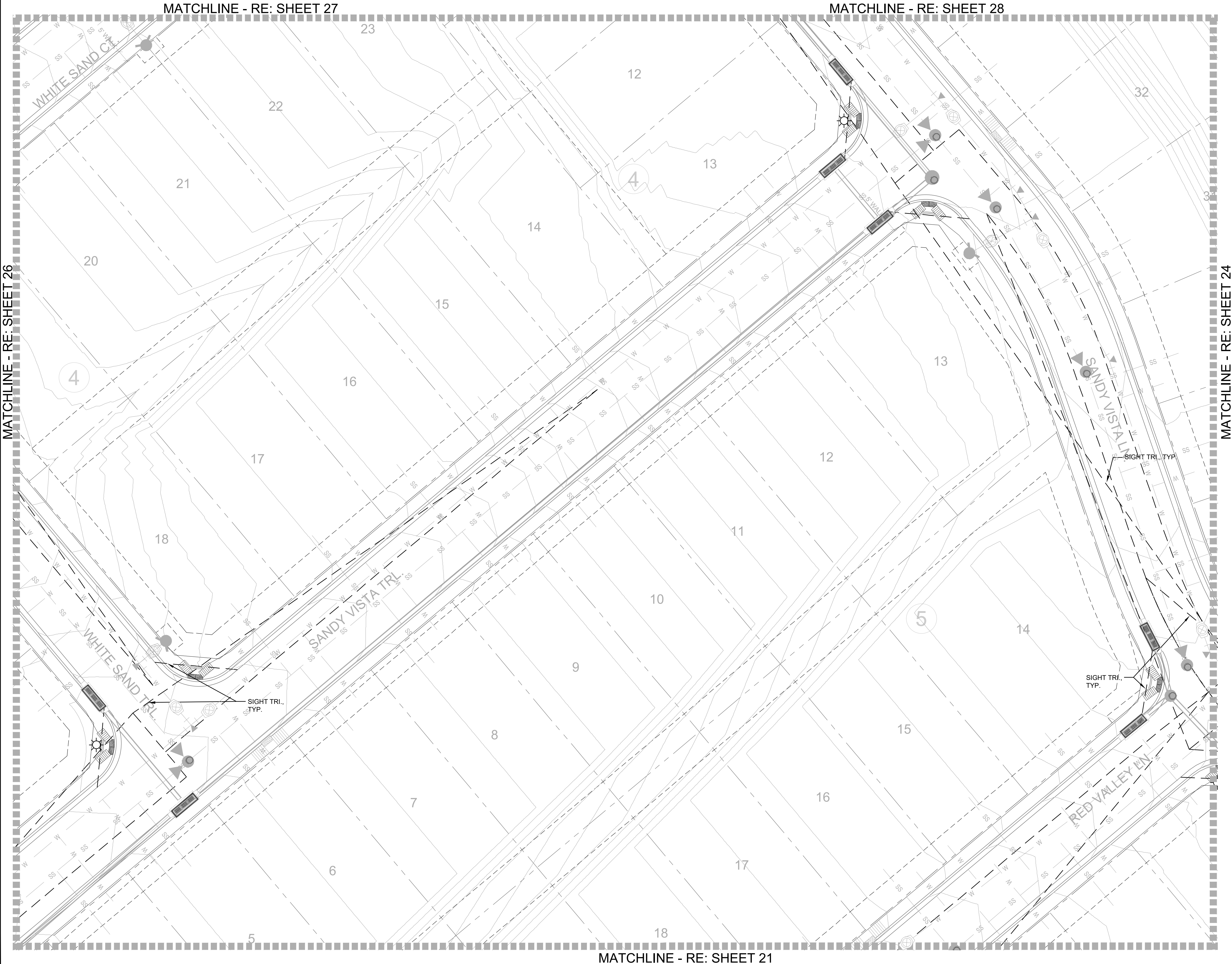
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

KEYMAP



PLANT & GROUNDCOVER LEGEND

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TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

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2	2ND SUBMITAL	10/22/18	PCS

TERRAIN FILING NO 4  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

JOB NO.  
14-001  
SHEET  
25 OF 35

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LAND SURVEYING  
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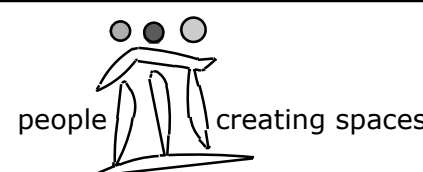




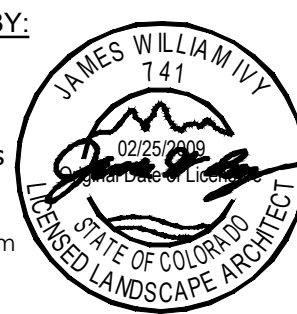




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1007 16th street, denver, co 80265  
1.303.531.4905 f. 303.531.4908



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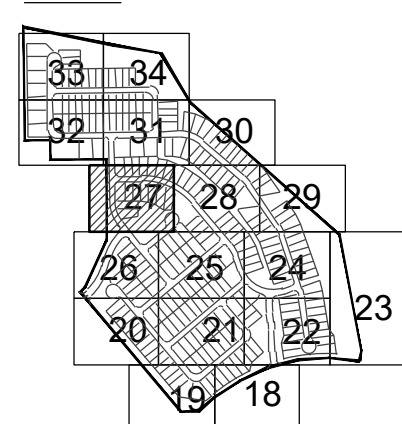
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# USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

## TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

KEYMAP



### PLANT & GROUNDCOVER LEGEND

- DECIDUOUS TREES
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- ORNAMENTAL TREES
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- PERENNIALS
- CRUSHER FINES, TAN
- ROCK MULCH, 2"-4" COBBLE
- ROCK MULCH, 3/4" DIA
- ROCK MULCH, 4"-12" COBBLE
- WOOD MULCH
- NATIVE SEED FESCUE MIX PERMANENT IRRIGATION
- NATIVE SEED MIX IRRIG TO ESTABLISHMENT
- NATIVE SEED MIX NON-IRRIGATED
- IRRIGATED SOD
- FIBAR PLAYGROUND MULCH
- LANDSCAPE BOULDERS, TYPICAL
- STEEL EDGER, TYP.
- SPADE DUG EDGER, TYP.

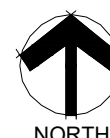
MATCHLINE - RE: SHEET 32

MATCHLINE - RE: SHEET 31

MATCHLINE - RE: SHEET 28

MATCHLINE - RE: SHEET 26

MATCHLINE - RE: SHEET 25



0 10' 20'  
SCALE: 1"=20'-0"

TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

TERRAIN FILING NO 4  
TOWN OF CASTLE ROCK, COLORADO

SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

JOB NO.  
14-001  
SHEET  
27 OF 35

CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING LOCATIONS ARE SHOWN FOR INFORMATION ONLY. IT IS THE USER'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



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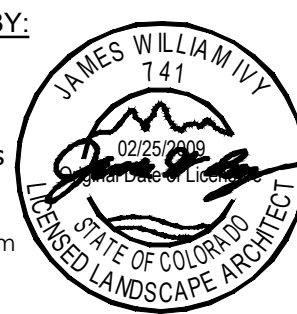




LANDSCAPE PLANS PREPARED BY:



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#3, 9-180 independence plaza  
1007 16th street, denver, co 80265  
1.303.531.4905, f.303.531.4908



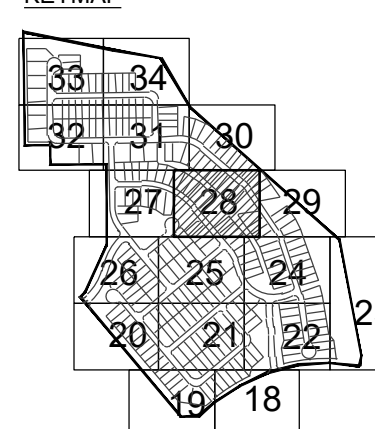
IREA TRANSMISSION ROW NOTES:

- TREES GROWING TALLER THAN 15 FEET SHOULD NOT BE PLANTED WITHIN TRANSMISSION LINE RIGHTS-OF-WAY.
- TREES WITH A MAXIMUM MATURE HEIGHT OF LESS THAN 15 FEET MAY BE PLANTED BENEATH OVERHEAD ELECTRIC TRANSMISSION EXCEPT WHEN NEAR STRUCTURES.
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# USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN TERRAIN FILING NO. 4

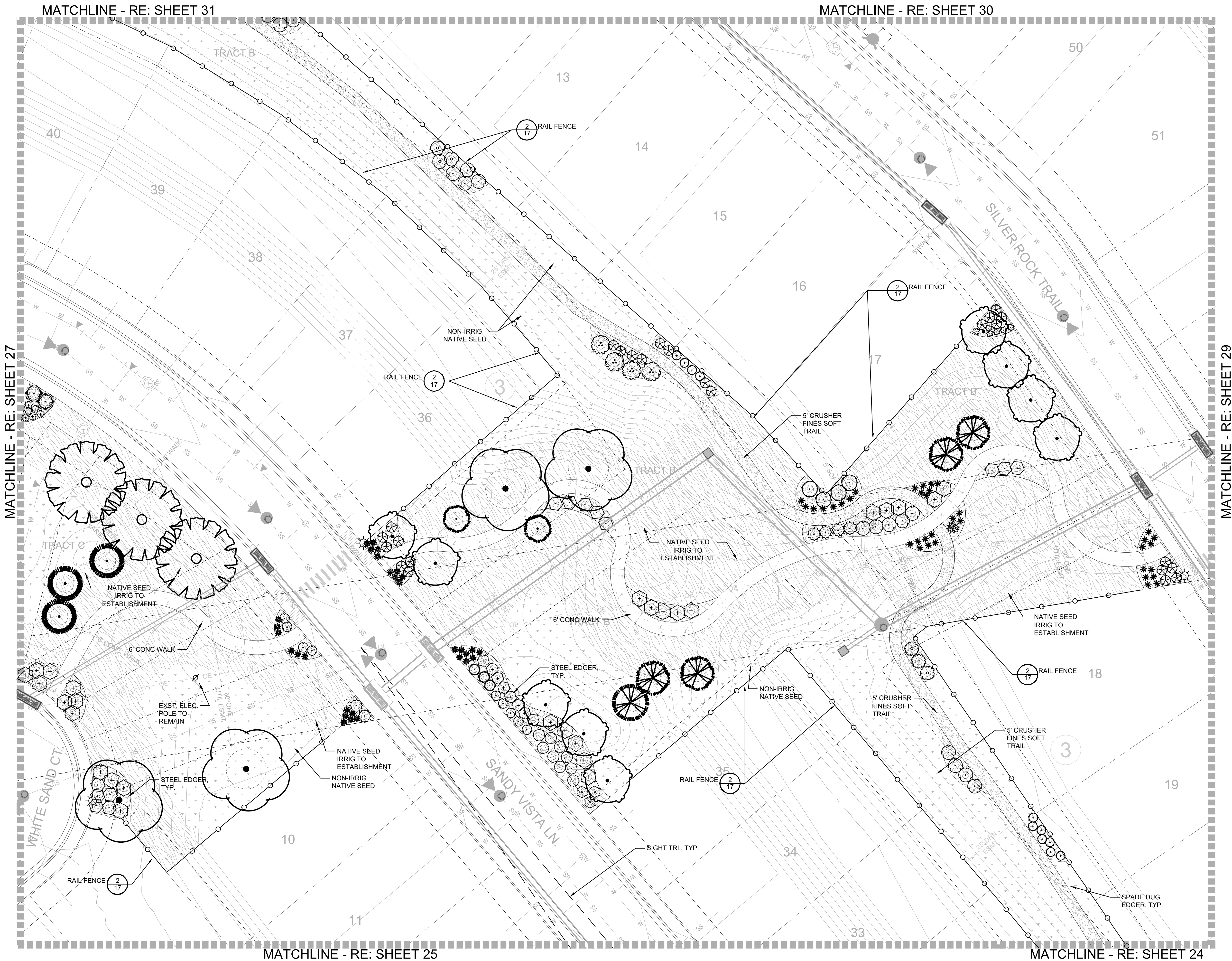
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

KEYMAP



## PLANT & GROUNDCOVER LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- ORNAMENTAL GRASSES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS
- CRUSHER FINES, TAN
- ROCK MULCH, 2"-4" COBBLE
- ROCK MULCH, 3/4" DIA
- ROCK MULCH, 4"-12" COBBLE
- WOOD MULCH
- NATIVE SEED FESCUE MIX PERMANENT IRRIGATION
- NATIVE SEED MIX IRRIG TO ESTABLISHMENT
- NATIVE SEED MIX NON-IRRIGATED
- IRRIGATED SOD
- FIBAR PLAYGROUND MULCH
- LANDSCAPE BOULDERS, TYPICAL
- STEEL EDGER, TYP.
- SPADE DUG EDGER, TYP.



SCALE: 1"=20'-0"

TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

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NATURAL RESOURCES CONSULTING  
LAND SURVEYING  
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1	1ST SUBMITAL	07/12/18	PCS
2	2ND SUBMITAL	10/27/18	PCS

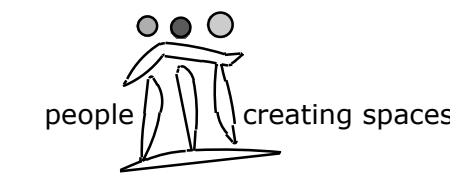
TERRAIN FILING NO 4  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

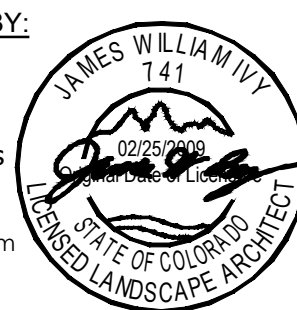
JOB NO.  
14-001  
SHEET  
28 OF 35



LANDSCAPE PLANS PREPARED BY:



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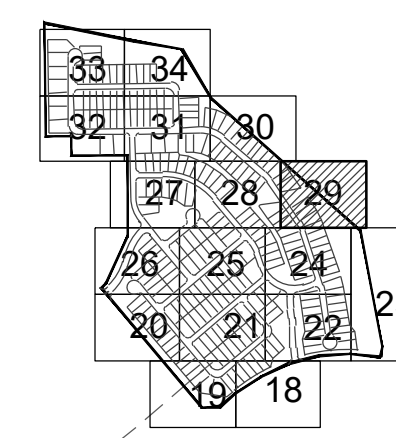
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# USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN TERRAIN FILING NO. 4

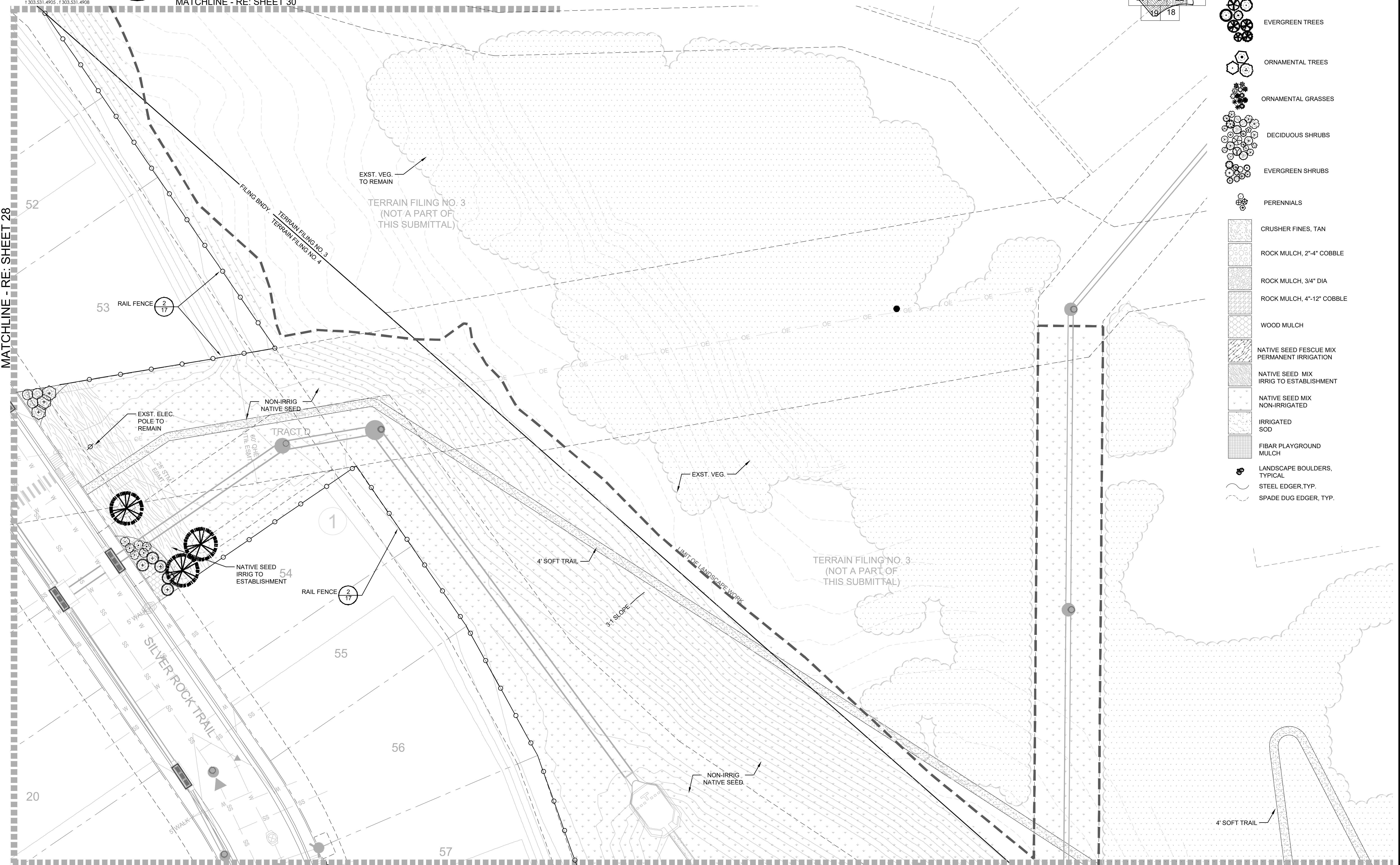
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

KEYMAP



## PLANT & GROUNDCOVER LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- ORNAMENTAL GRASSES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS
- CRUSHER FINES, TAN
- ROCK MULCH, 2"-4" COBBLE
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- ROCK MULCH, 4"-12" COBBLE
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- NATIVE SEED MIX IRRIG TO ESTABLISHMENT
- NATIVE SEED MIX NON-IRRIGATED
- IRRIGATED SOD
- FIBAR PLAYGROUND MULCH
- LANDSCAPE BOULDERS, TYPICAL
- STEEL EDGER, TYP.
- SPADE DUG EDGER, TYP.



MATCHLINE - RE: SHEET 28

December 21, 2015, Y:\TERRAIN\LANDSCAPE ARCHITECT\CURRENT DWGS\INSTONE VILLAGES\PS 47-51-SDPA-17-51-52-SDPPA-17-51-52-SDP DWG, JMI

MATCHLINE - RE: SHEET 24

MATCHLINE - RE: SHEET 23



TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

CODE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITY LOCATIONS ARE BASED ON THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE USER'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

811

Know where you dig. Call before you dig.

#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	07/12/18	PCS
2	2ND SUBMITTAL	10/27/18	PCS

**TERRAIN FILING NO 4**  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

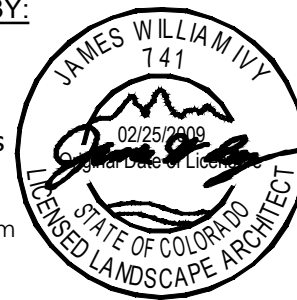
JOB NO.  
14-001  
SHEET  
2 OF 35

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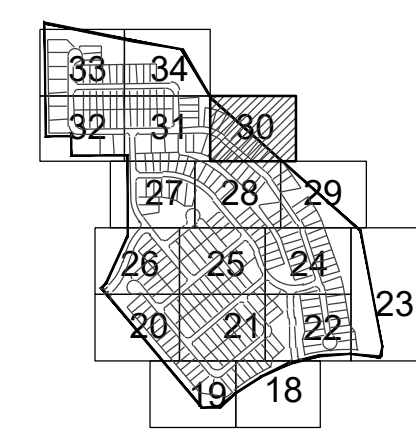


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#3, B-180 Independence plaza  
1007 16th street, denver co 80265  
t 303.531.4905, f 303.531.4908

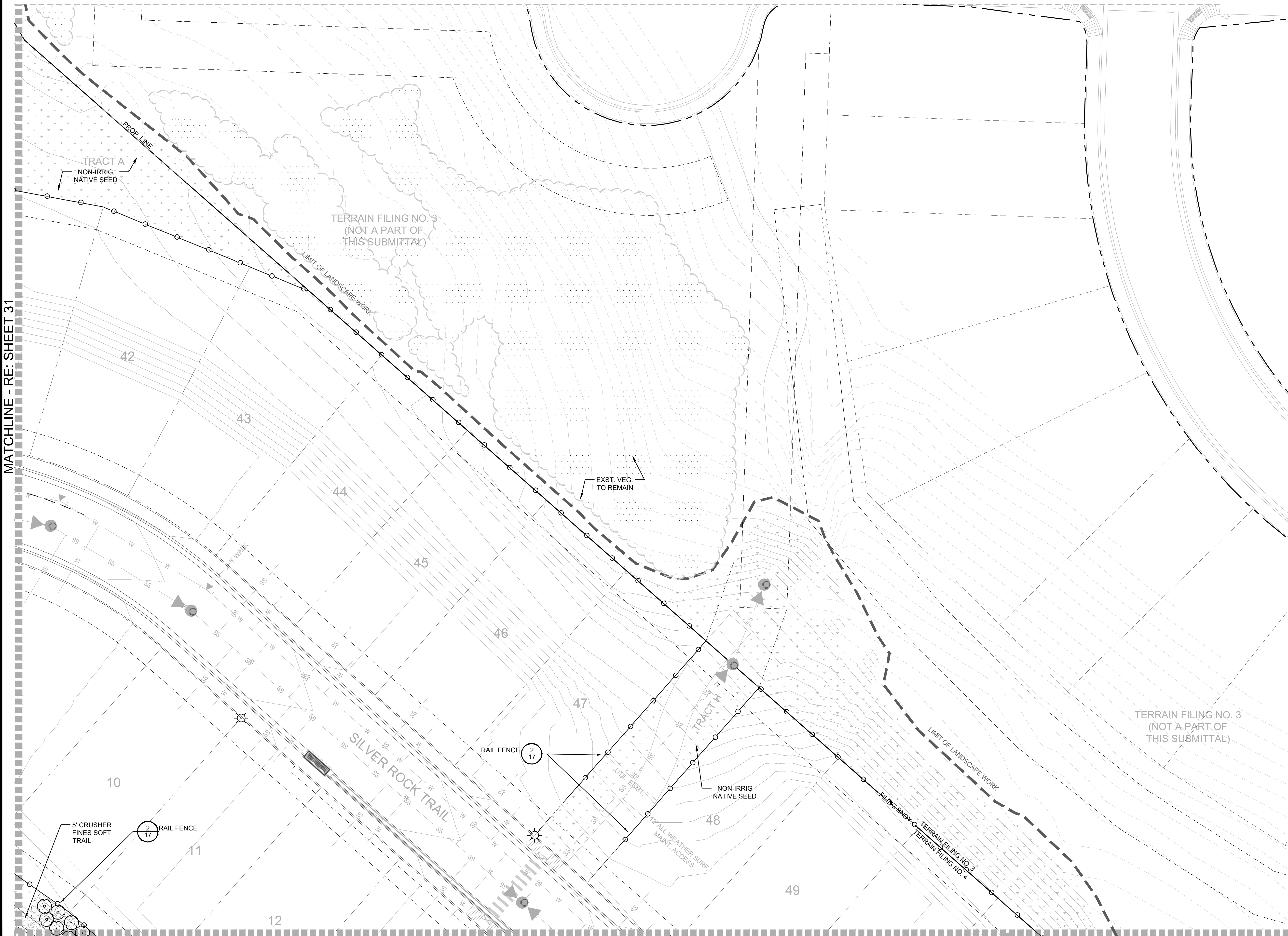


- TREES GROWING TALLER THAN 15 FEET SHOULD **NOT** BE PLANTED WITHIN TRANSMISSION LINE RIGHTS-OF-WAY.
- TREES WITH A MAXIMUM MATRUE HEIGHT OF LESS THAN 15 FEET **MAY** BE PLANTED BENEATH OVERHEAD ELECTRIC TRANSMISSION EXCEPT WHEN NEAR STRUCTURES.
- ALL TREES SHOULD BE PLANTED AT **LEAST** 20 FEET FROM TRANSMISSION AND DISTRIBUTION POLES AND STRUCTURES.
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SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO




	DECIDUOUS TREES
	EVERGREEN TREES
	ORNAMENTAL TREES
	ORNAMENTAL GRASSES
	DECIDUOUS SHRUBS
	EVERGREEN SHRUBS
	PERENNIALS
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	IRRIGATED SOD
	FIBAR PLAYGROUND MULCH
	LANDSCAPE BOULDERS, TYPICAL
	STEEL EDGER, TYP.
	SPADE DUG EDGER, TYP.



TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

**Call before you dig.** Know what's below. Call 2 business days in advance before you dig, grade, core or excavate for the marking of underground member utilities.

CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL) OR FOR EXISTING UTILITY DEPTHS. CORE ASSUMES NO RESPONSIBILITY FOR THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION AND DEPTHS OF ALL UTILITIES PRIOR TO ANY COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	07/12/18	PCS
2	2ND SUBMITTAL	10/22/18	PCS

**TERRAIN FILING NO 4**  
TOWN OF CASTLE ROCK, COLORADO

SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

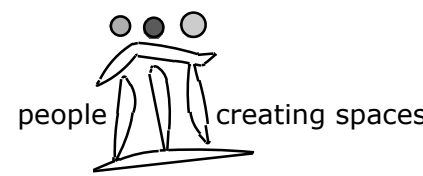
DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

JOB NO.	14-001
SHEET	30 OF 35

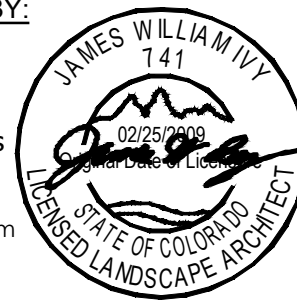
December 21, 2015; Y:\TERRAIN\LANDSCAPE ARCHITECTURE\CURRENT DWGS\SUNSTONE VILLAGE\PA'S 47-51-52\PA 47-51-52-SDPIPA 47-51-52-SDP.DWG; JIM



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1.303.531.4905, 1.303.531.4908



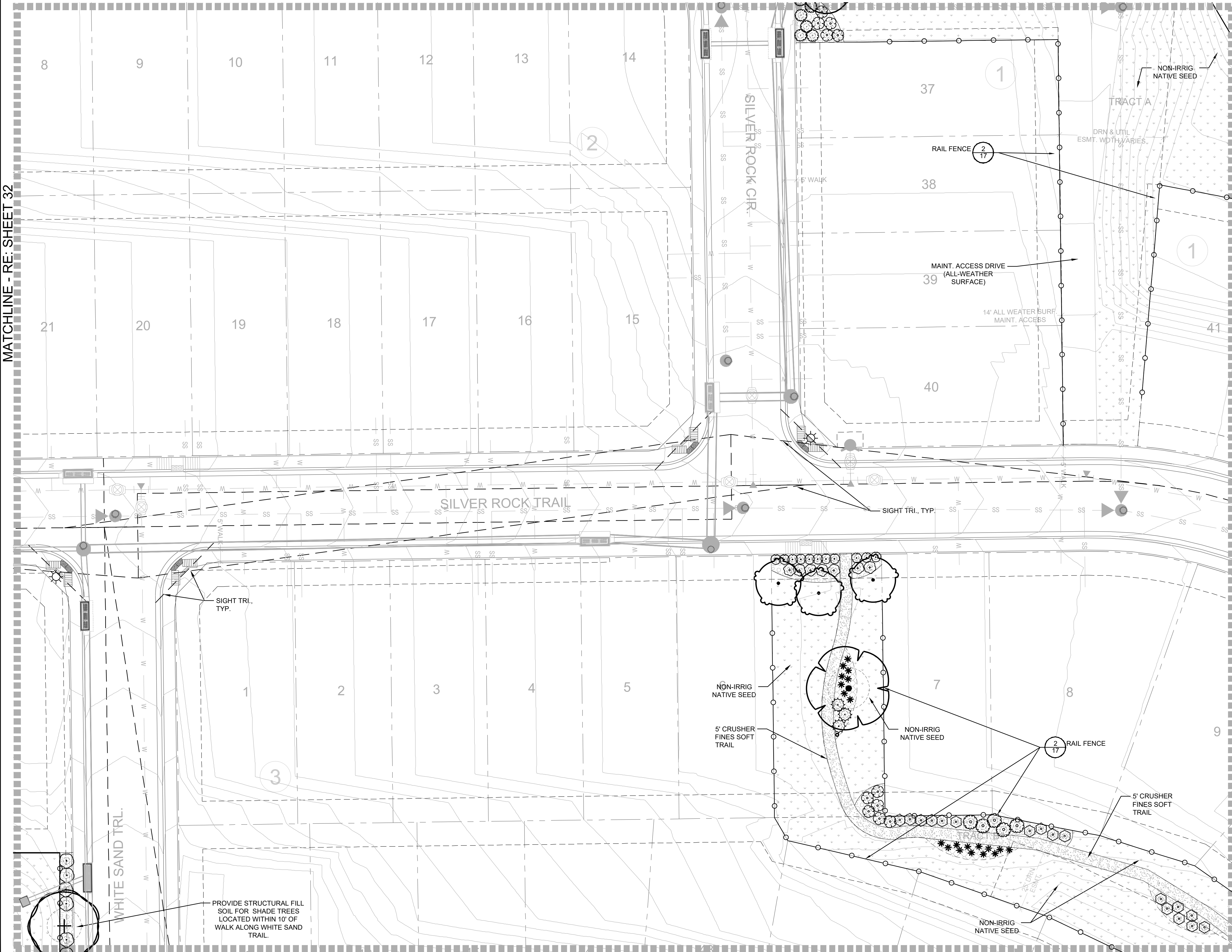
IREA TRANSMISSION ROW NOTES:

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USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN  
TERRAIN FILING NO. 4

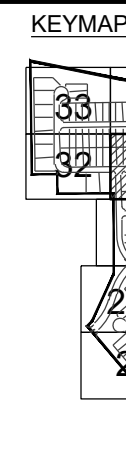
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATCHLINE - RE: SHEET 34



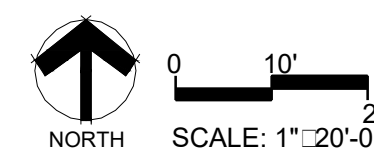
MATCHLINE - RE: SHEET 27

MATCHLINE - RE: SHEET 28



PLANT & GROUNDCOVER LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- ORNAMENTAL GRASSES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
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- IRRIGATED SOD
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- LANDSCAPE BOULDERS, TYPICAL
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- SPADE DUG EDGER, TYP.



TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU  
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#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITAL	07/12/18	PCS
2	2ND SUBMITAL	10/27/18	PCS

TERRAIN FILING NO 4  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

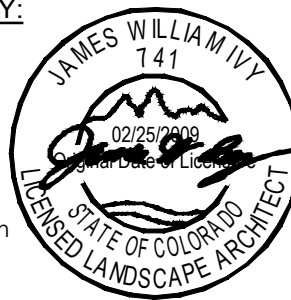
JOB NO.  
14-001  
SHEET  
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LANDSCAPE PLANS PREPARED BY:



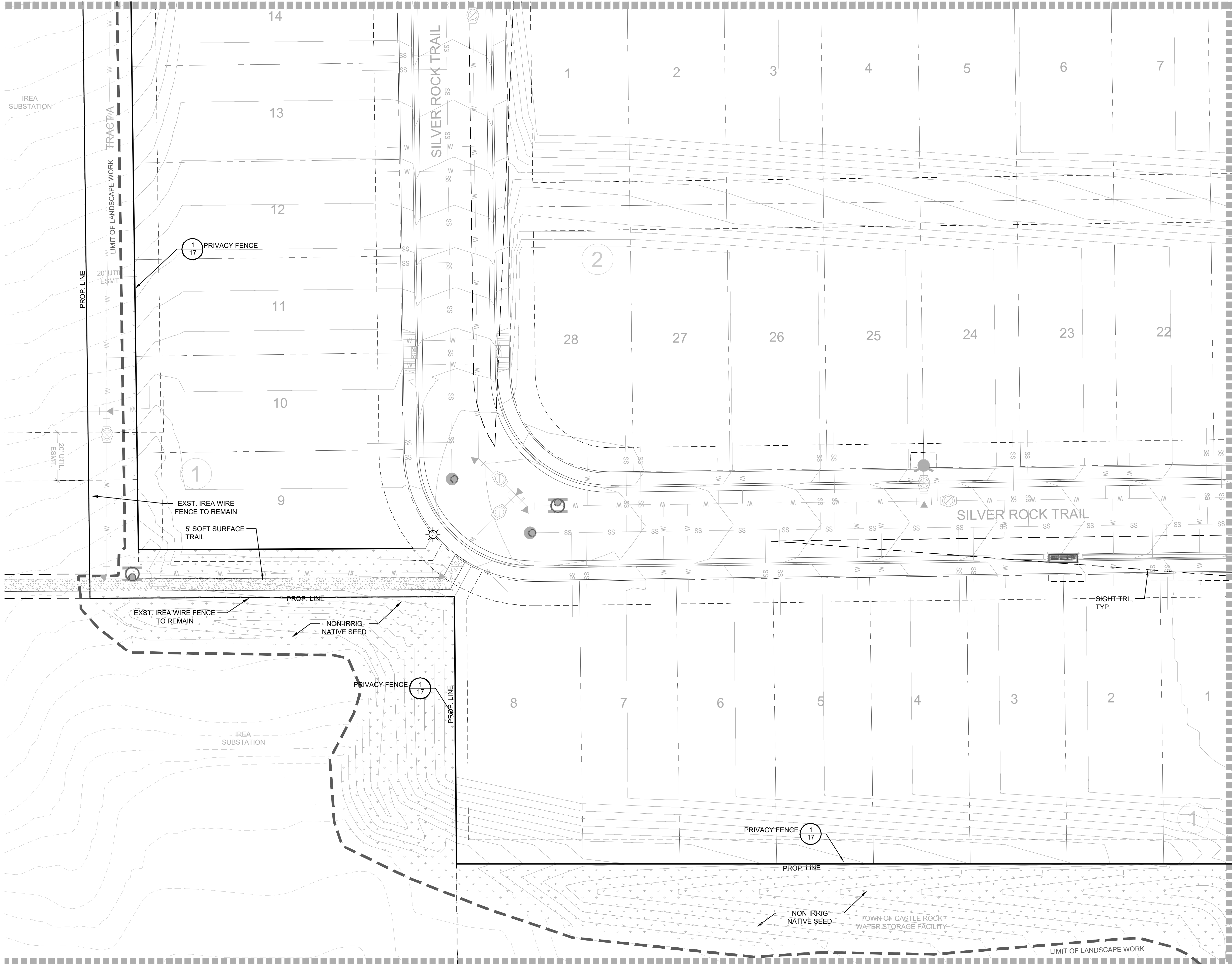
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# USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN TERRAIN FILING NO. 4

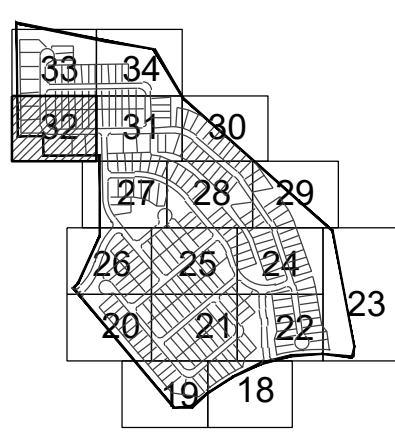
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATCHLINE - RE: SHEET 33



MATCHLINE - RE: SHEET 27

KEYMAP



## PLANT & GROUNDCOVER LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- ORNAMENTAL GRASSES
- DECIDUOUS SHRUBS
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SCALE: 1"=20'-0"

TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

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2	2ND SUBMITAL	10/27/18	PCS

TERRAIN FILING NO 4  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

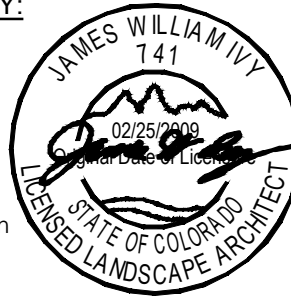
JOB NO.  
14-001  
SHEET  
32 OF 35

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LANDSCAPE PLANS PREPARED BY:

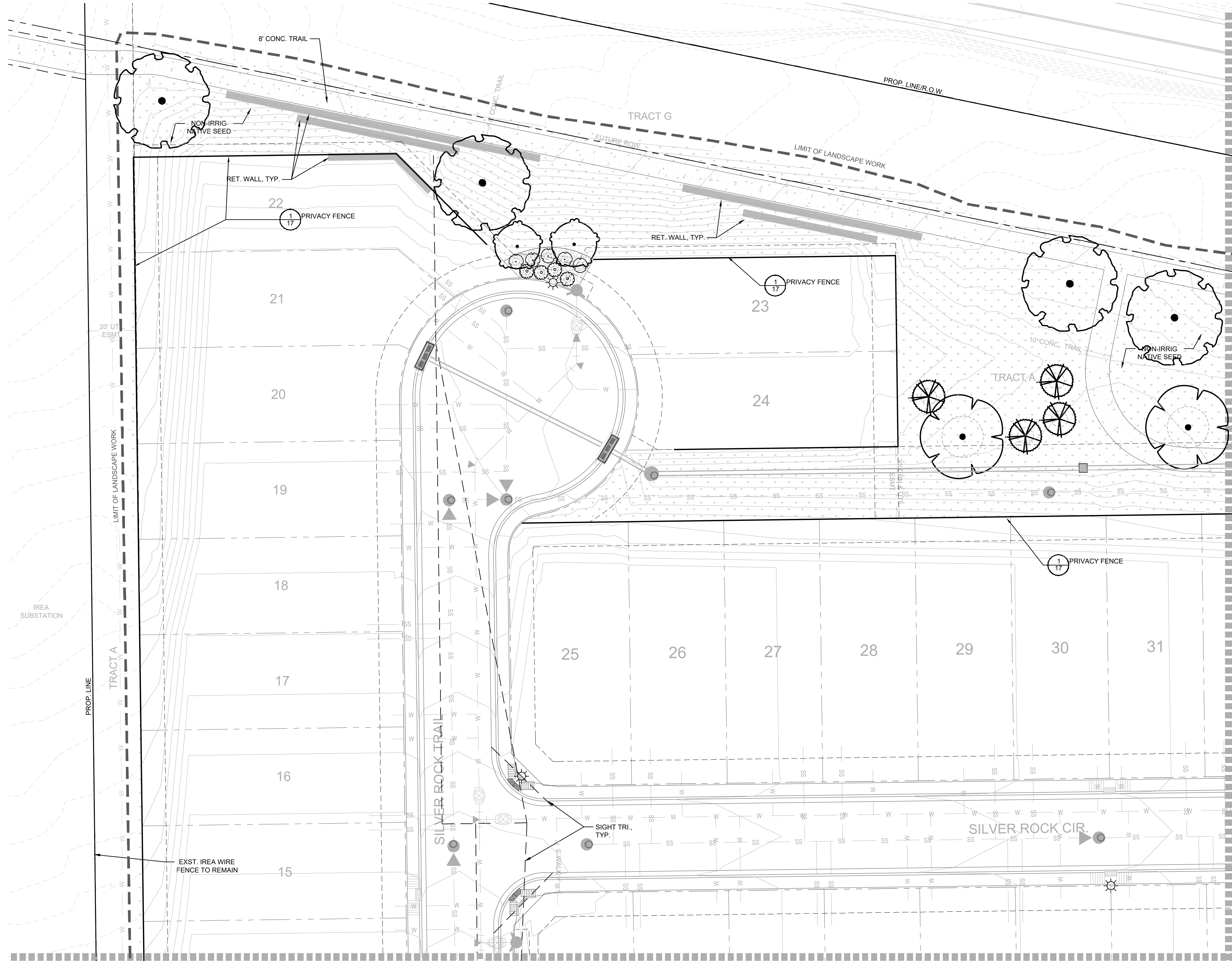


IREA TRANSMISSION ROW NOTES:

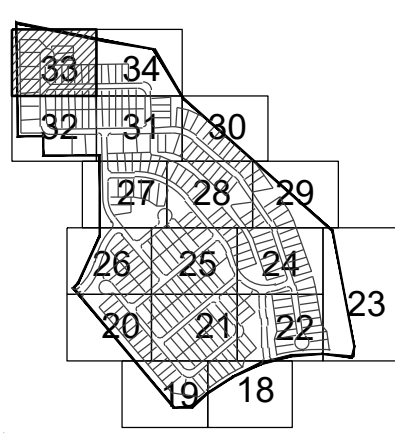
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- SHRUBS, GROUND COVERS, AND FLOWERSBEDS CAN BE PLANTED UP TO THE BASE OF POLES AND STRUCTURES. HOWEVER, PLANT MATERIAL MAY BE DESTROYED DURING GROUNDLINE INSPECTION OF WOOD STRUCTURES FOR UNDERGROUND DECAY. DAMAGED OR DESTROYED PLANT MATERIAL WILL NOT BE REPLACED.
- ALL PLANT MATERIAL IS REQUIRED TO COMPLY WITH IREA GUIDELINES FOR PLANT MATERIALS WITHIN THE TRANSMISSION ROW.

# USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



KEYMAP



## PLANT & GROUNDCOVER LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- ORNAMENTAL GRASSES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS
- CRUSHER FINES, TAN
- ROCK MULCH, 2"-4" COBBLE
- ROCK MULCH, 3/4" DIA
- ROCK MULCH, 4"-12" COBBLE
- WOOD MULCH
- NATIVE SEED FESCUE MIX PERMANENT IRRIGATION
- NATIVE SEED MIX IRRIG TO ESTABLISHMENT
- NATIVE SEED MIX NON-IRRIGATED
- IRRIGATED SOD
- FIBAR PLAYGROUND MULCH
- LANDSCAPE BOULDERS, TYPICAL
- STEEL EDGER, TYP.
- SPADE DUG EDGER, TYP.

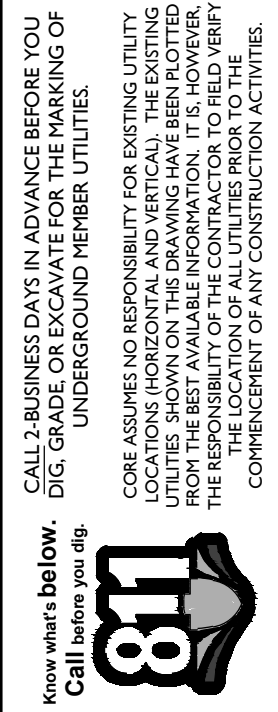
MATCHLINE - RE: SHEET 34

MATCHLINE - RE: SHEET 32



SCALE: 1"=20'-0"

TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032



#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITAL	07/12/18	PCS
2	2ND SUBMITAL	10/27/18	PCS

**TERRAIN FILING NO 4**  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

JOB NO.  
14-001  
SHEET  
33 OF 35

CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
NATURAL RESOURCES CONSULTING  
LAND SURVEYING  
303.703.4444  
1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120

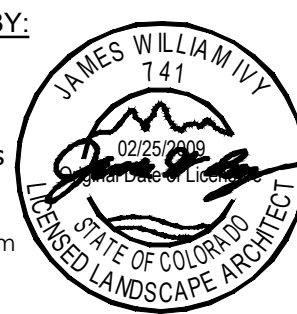
**CORE**  
CONSULTANTS



LANDSCAPE PLANS PREPARED BY:



pcs group inc. www.pcsgruopco.com  
#3, 9-180 Independence Plaza  
1007 16th Street, Denver, CO 80202  
1.303.531.4905, 1.303.531.4908



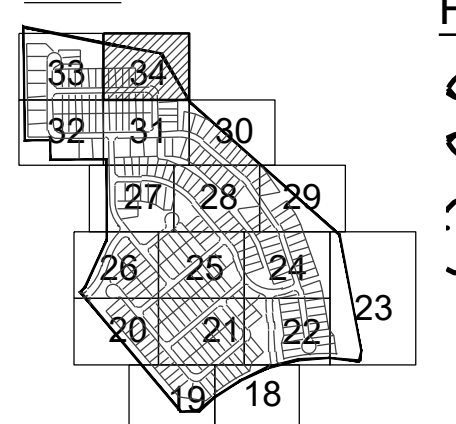
IREA TRANSMISSION ROW NOTES:

- TREES GROWING TALLER THAN 15 FEET SHOULD NOT BE PLANTED WITHIN TRANSMISSION LINE RIGHTS-OF-WAY.
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USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN  
TERRAIN FILING NO. 4

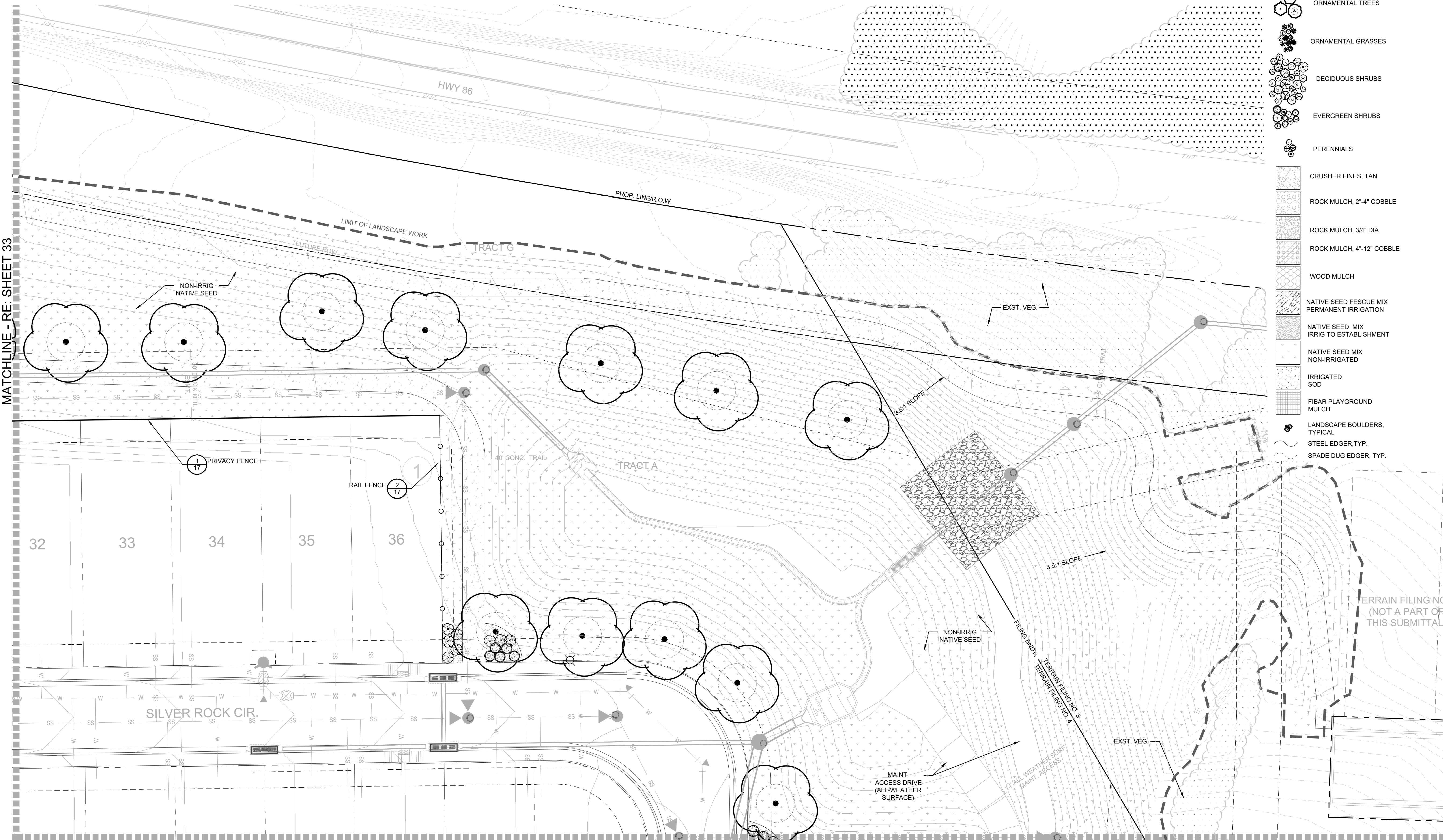
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

KEYMAP

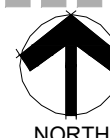


PLANT & GROUNDCOVER LEGEND

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- EVERGREEN TREES
- ORNAMENTAL TREES
- ORNAMENTAL GRASSES
- DECIDUOUS SHRUBS
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- NATIVE SEED MIX NON-IRRIGATED
- IRRIGATED SOD
- FIBER PLAYGROUND MULCH
- LANDSCAPE BOULDERS, TYPICAL
- STEEL EDGER, TYP.
- SPADE DUG EDGER, TYP.



MATCHLINE - RE: SHEET 31



0 10' 20'  
SCALE: 1"=20'-0"

TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032

CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU  
DIG, GRADE OR EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.  
CODE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY  
LOCATIONS HORIZONTAL AND VERTICAL. THE EXISTING  
FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER,  
THE LOCATION OF ALL UTILITIES PRIOR TO THE  
COMPLETION OF ANY CONSTRUCTION ACTIVITIES.

#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	07/12/18	PCS
2	2ND SUBMITTAL	10/22/18	PCS

TERRAIN FILING NO 4  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
LANDSCAPE PLAN

DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

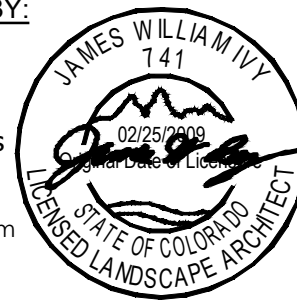
JOB NO.  
14-001  
SHEET  
34 OF 35



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LAND SURVEYING  
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1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120



LANDSCAPE PLANS PREPARED BY:



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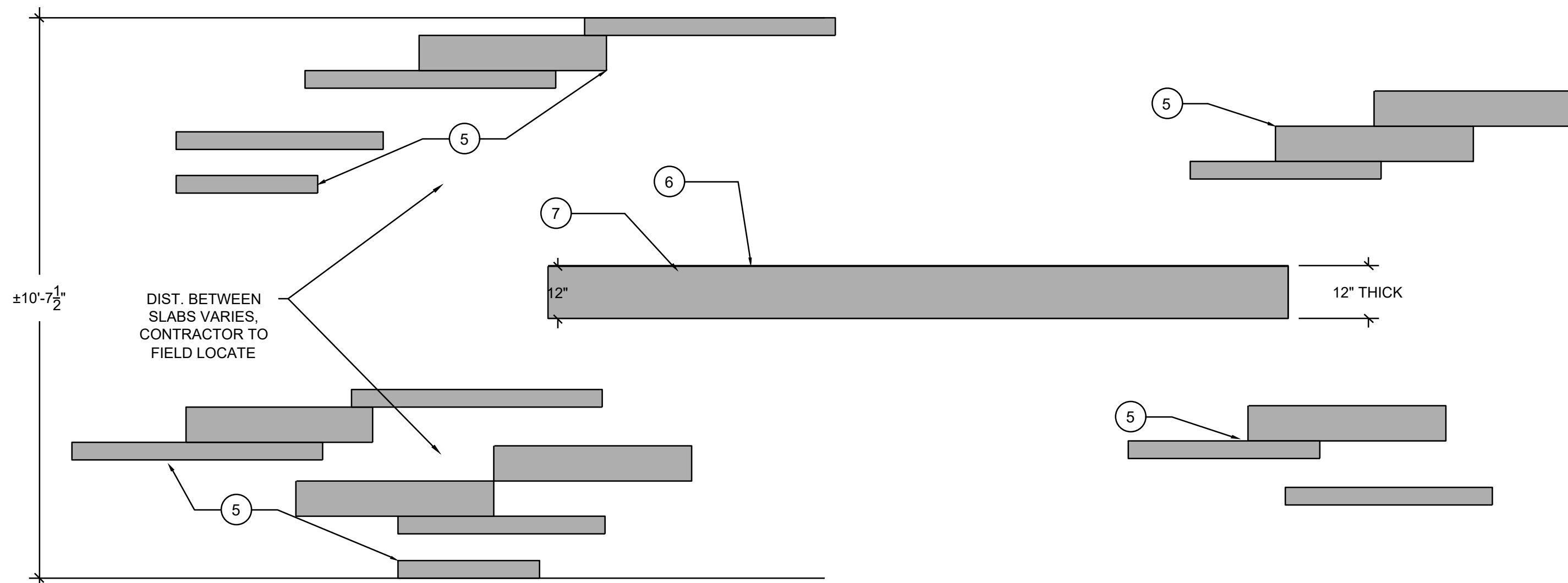
## USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

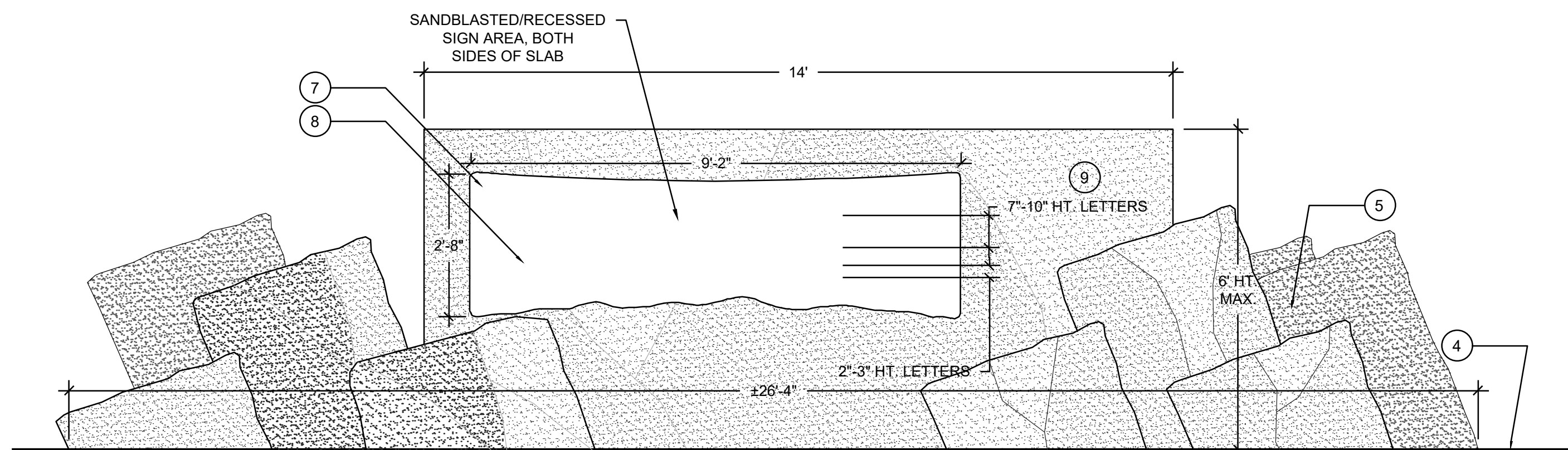
### MONUMENT MATERIAL NOTES:

- SANDSTONE SLAB BOULDERS SET VERTICALLY, ANGLED.
- SANDSTONE SLAB WITH FABRICATED METAL SIGN PLAQUE
- METAL SIGN PLAQUE, RE: DETAIL, THIS SHEET
- FINISH GRADE
- ±4"-8" THICK BOULDER SLAB
- SEDIMENTARY SANDSTONE SLAB WITH SAW CUT EDGES, SIENNA BUFF. BY SILOAM STONE (719) 275-4275. STONE MUST SET BE SET VERTICAL TO CURE A MINIMUM OF 90 DAYS PRIOR TO INSTALLATION. MATCH MATERIALS WITH EXISTING MONUMENTS ALONG FOUNDERS PKWY.
- ETCH/SANDBLAST RECTANGULAR RECESS TO 2" DEPTH, MIN.
- PAINT RECESS SURFACE GLOSSY BLACK.
- ALUMINUM, LASER CUT LETTERS PIN-MOUNTED TO STONE FACE, SET FLUSH.

MONUMENTS ARE SHOWN TO ILLUSTRATE DESIGN INTENT. LOCATION OF SLABS MAY CHANGE SLIGHTLY DUE TO FIELD CONDITIONS BUT OTHER DESIGN ATTRIBUTES SUCH AS MATERIAL AND COLOR OF SLABS MAY NOT CHANGE WITHOUT APPROVAL OF AN SDP AMENDMENT.



MONUMENT PLAN VIEW



MONUMENT ELEVATION

## 1 ENTRY MONUMENT

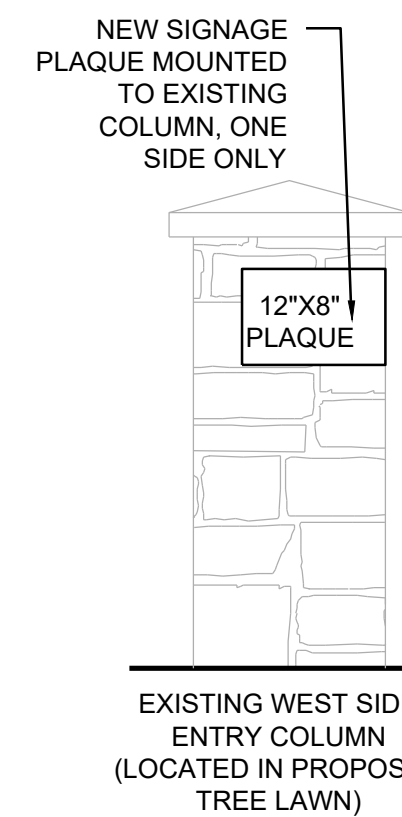
NOT TO SCALE

## 2 COLUMN SIGNAGE

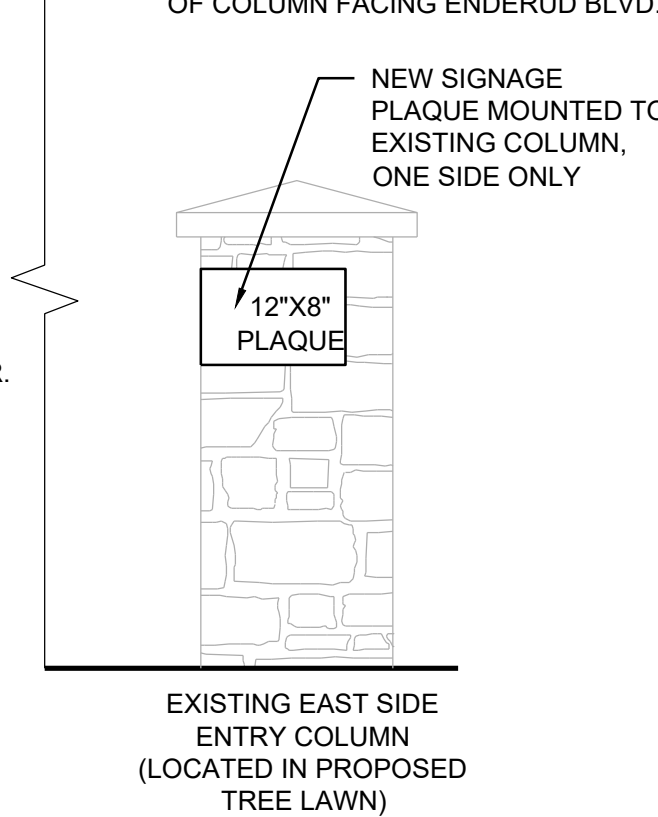
NOT TO SCALE

### NOTES:

- THIS DETAIL DEPICTS THE TWO EXISTING COLUMNS LOCATED ON EITHER SIDE OF PROPOSED BOULDER VIEW DR. AS APPROVED UNDER TOCR CON16-0157.
- SIGN PLAQUES TO BE MOUNTED ON ONE SIDE OF COLUMN FACING ENDERUD BLVD.



BOULDER VIEW DR.



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TERRAIN FILING NO. 4  
TOWN OF CASTLE ROCK, COLORADO  
SITE DEVELOPMENT PLAN  
SITE DETAILS

DESIGNED BY: JWI  
DRAWN BY: JWI  
CHECKED BY: PCS

JOB NO.  
14-001  
SHEET  
35 OF 35

TERRAIN FILING NO. 4  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0032