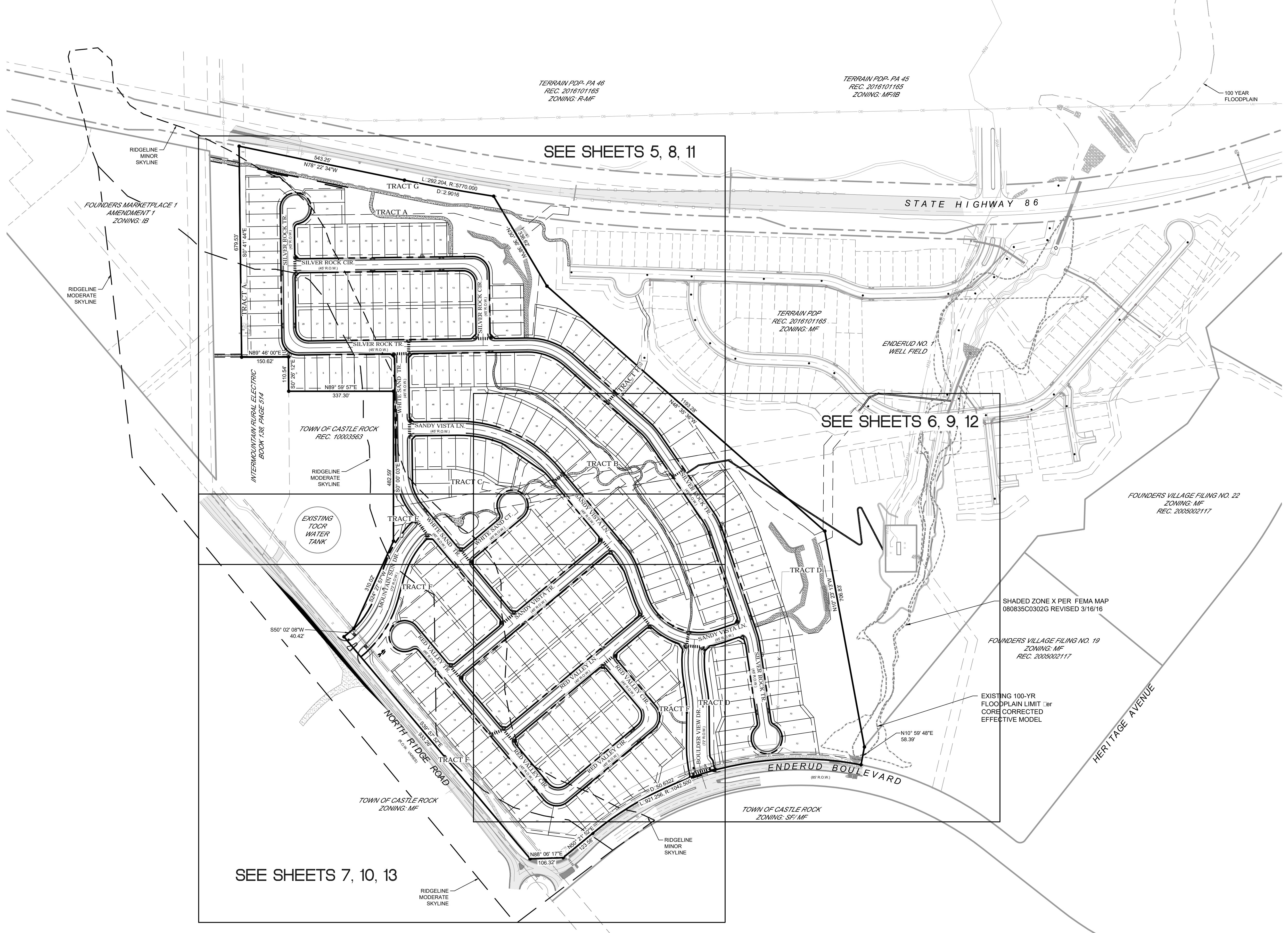


USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

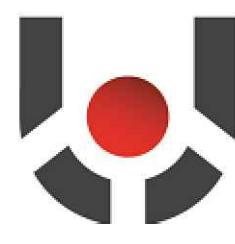


TERRAIN FILING NO. 4
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SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0032

TERRAIN FILING NO 4
TOWN OF CASTLE ROCK, COLORADO
SITE DEVELOPMENT PLAN
OVERALL MAP

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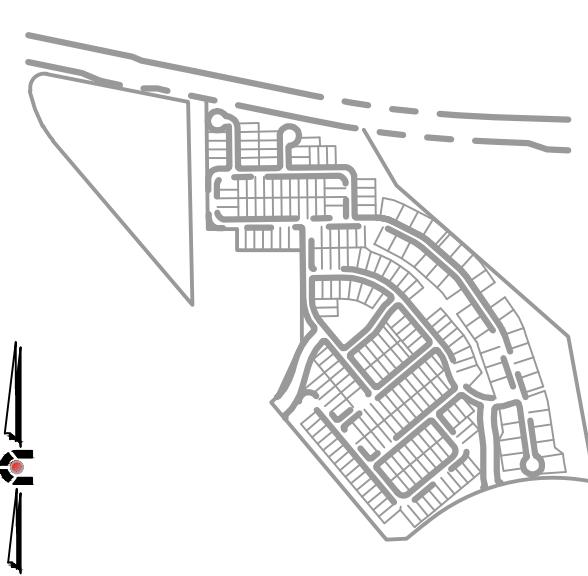
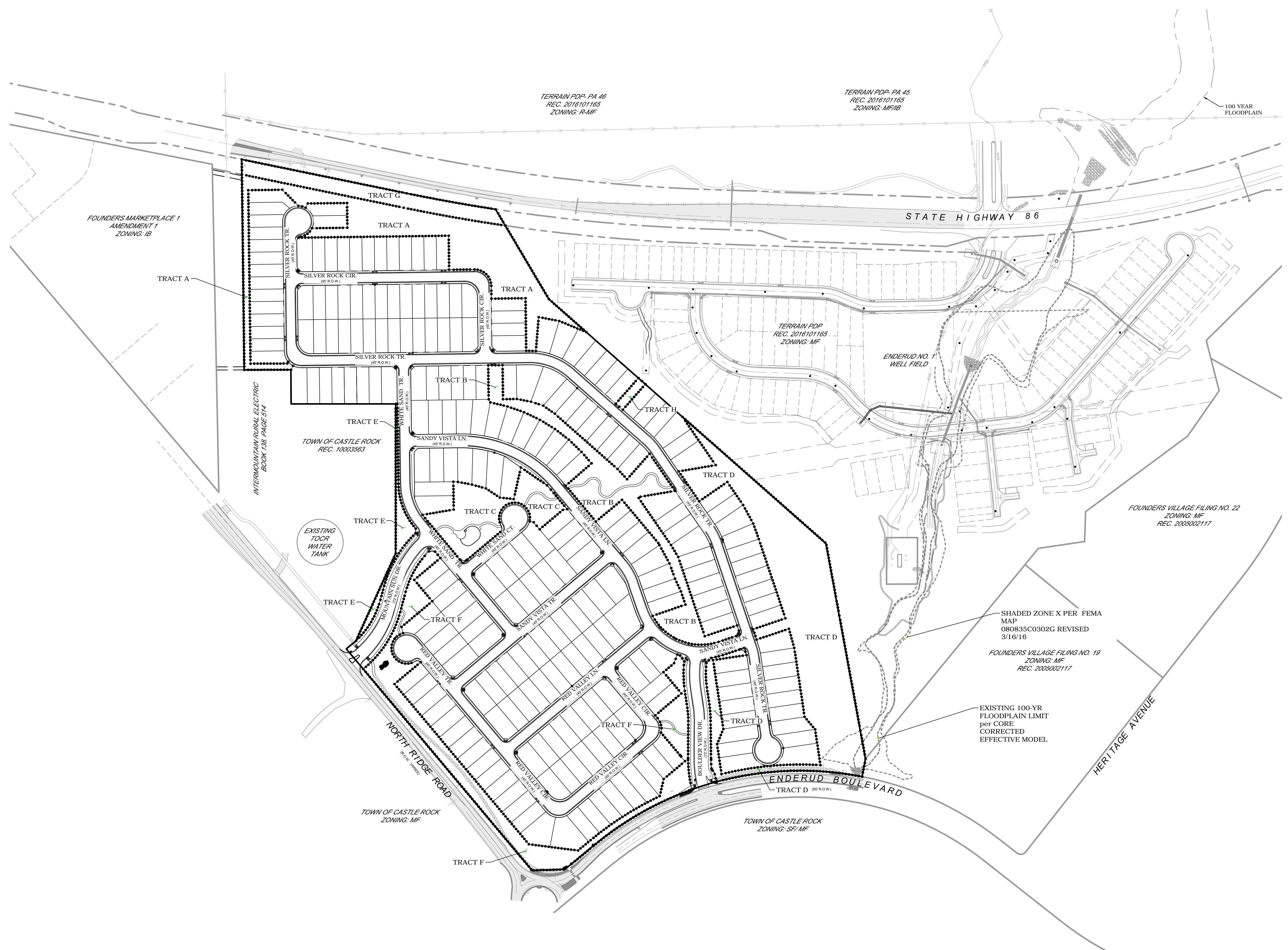
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
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CORE ASSUMES NO RESPONSIBILITY FOR EXISTING
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FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER,
THE RESPONSIBILITY OF THE CONTRACTOR TO FEE DUE
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DESIGNED BY: RCY
DRAWN BY: JF
CHECKED BY: BC
JOB NO. 14-001
SHEET 35
OF 35

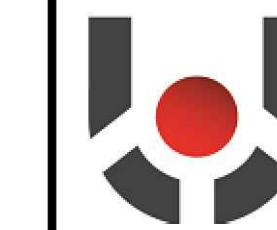
USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP

SCALE: 1" = 1000'



LESS DAYS IN ADVANCE BEFORE YOU
OR EXCAVATE FOR THE MARKING OF
GROUND MEMBER UTILITIES.

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2	2ND SUBMIT

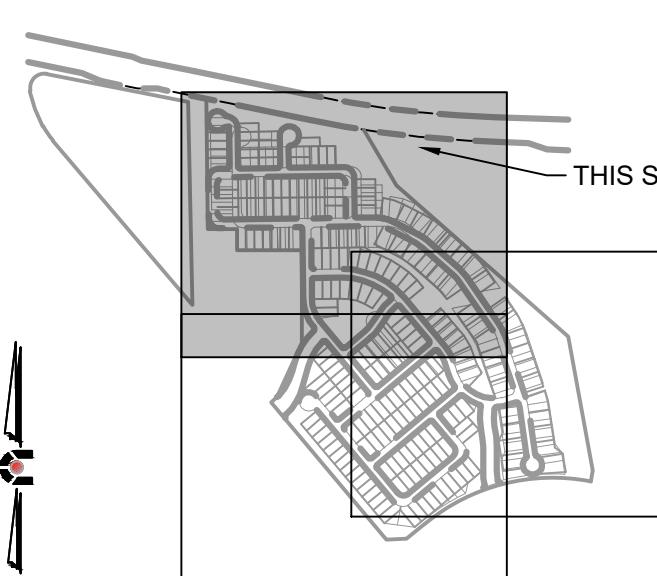
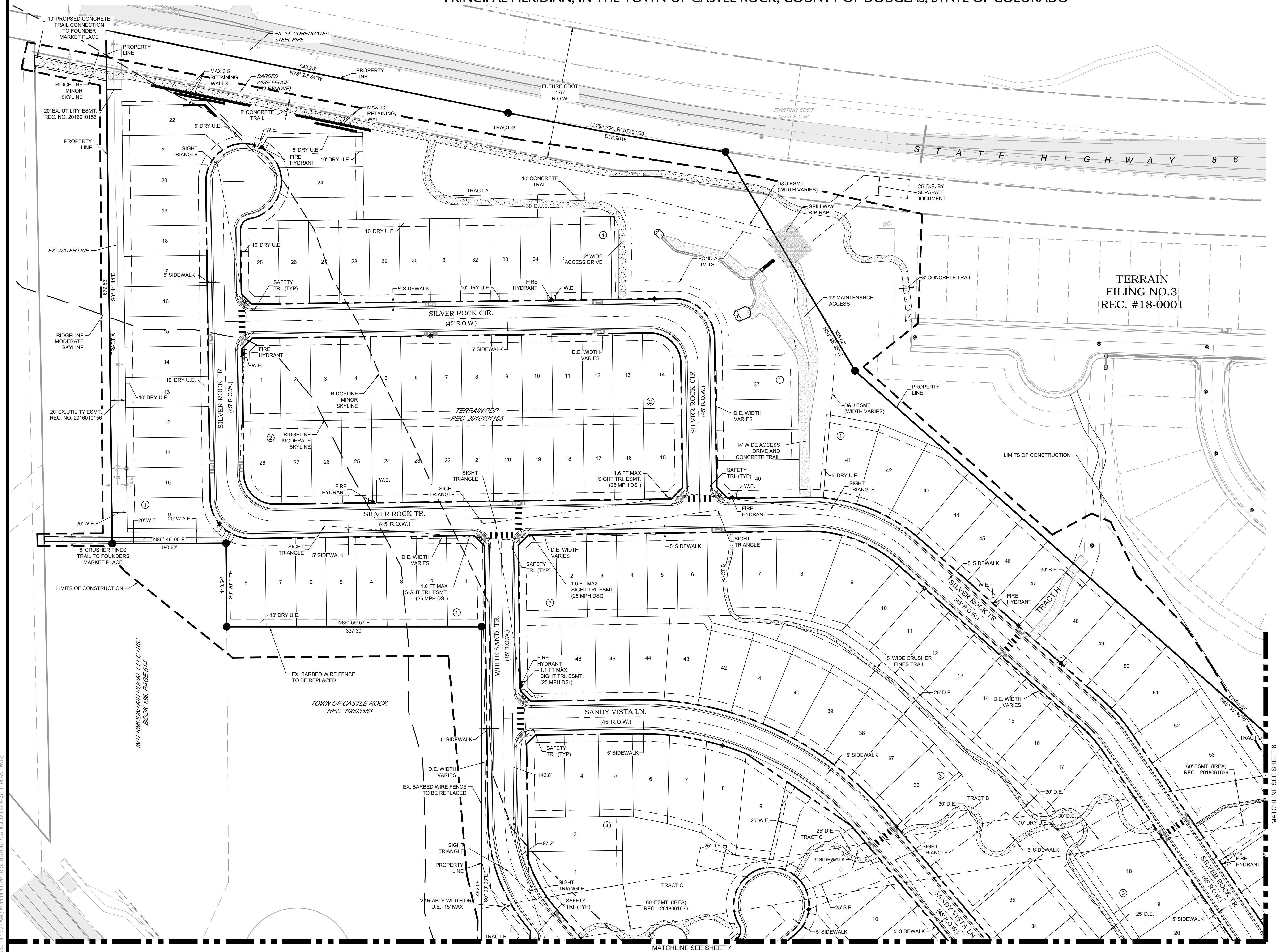
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TOWN OF CASTLE ROCK, COLORADO

SITE DEVELOPMENT PLAN
TRACT MAP

4	DRAWN BY: _____
	CHECKED BY: _____
	JOB NO. 14-001
	SHEET 4 OF 3

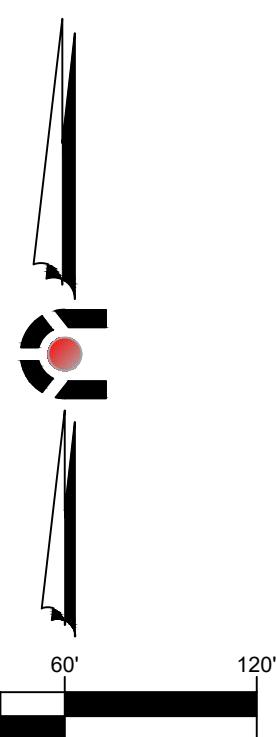
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KEY MAP

SCALE: 1" = 1000'



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303.703.4444

1050 W. 14th Street Blvd. Suite 100

TERRAIN FILING NO 4
OWN OF CASTLE ROCK, COLORADO

SITE DEVELOPMENT PLAN

TERRAIN FILING NO 4
TOWN OF CASTLE ROCK, COLORADO

SITE DEVELOPMENT PLAN

4	DESIGNED BY: _____
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	SHEET 5 OF 3

USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TERRAIN FILING NO. 4
TOWN OF CASTLE ROCK, COLORADO

SITE DEVELOPMENT PLAN

SITE PLAN

DESIGNED BY: RCY
DRAWN BY: JF
CHECKED BY: BC

JOB NO. 14-001
PROJECT NO. SDP18-0032
SHEET 6 OF 35

KEY MAP
SCALE: 1" = 1000'

TERRAIN FILING NO. 3
REC. #18-0001

PROPOSED 100-YR FLOODZONE PER FMA DATED JULY 25, 2018 BY CORE CONSULTANTS

SHADED ZONE X PER FEMA MAP 080835C0302G REVISED 3/16/16

EXISTING 100-YR FLOODPLAIN LIMIT PER CORE CORRECTED EFFECTIVE MODEL

LEGEND

ABBREVIATIONS:

W.E. WATER EASEMENT
U.E. UTILITY EASEMENT
D.E. DRAINAGE EASEMENT
D.U.E. DRAINAGE & UTILITY EASEMENT
S.E. SANITARY SEWER EASEMENT
DS DESIGN SPEED

NOTES:

CALL 2 BUSINESS ADVANCE BEFORE YOU DIG. GRID CO. CAN LOCATE MEMBER UTILITIES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITY LOCATIONS ARE FOR INFORMATION ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES.

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DEVELOPMENT
NATURAL LAND SURVEY
1950 W. LITTLETON, CO
303.703.4411

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all before you dig.

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TERRAIN FILING NO 4
TOWN OF CASTLE ROCK, COLORADO

SITE DEVELOPMENT PLAN
SITE PLAN

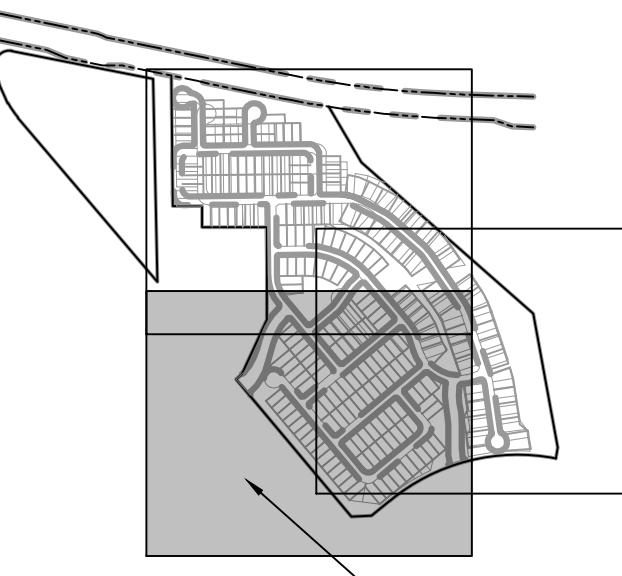
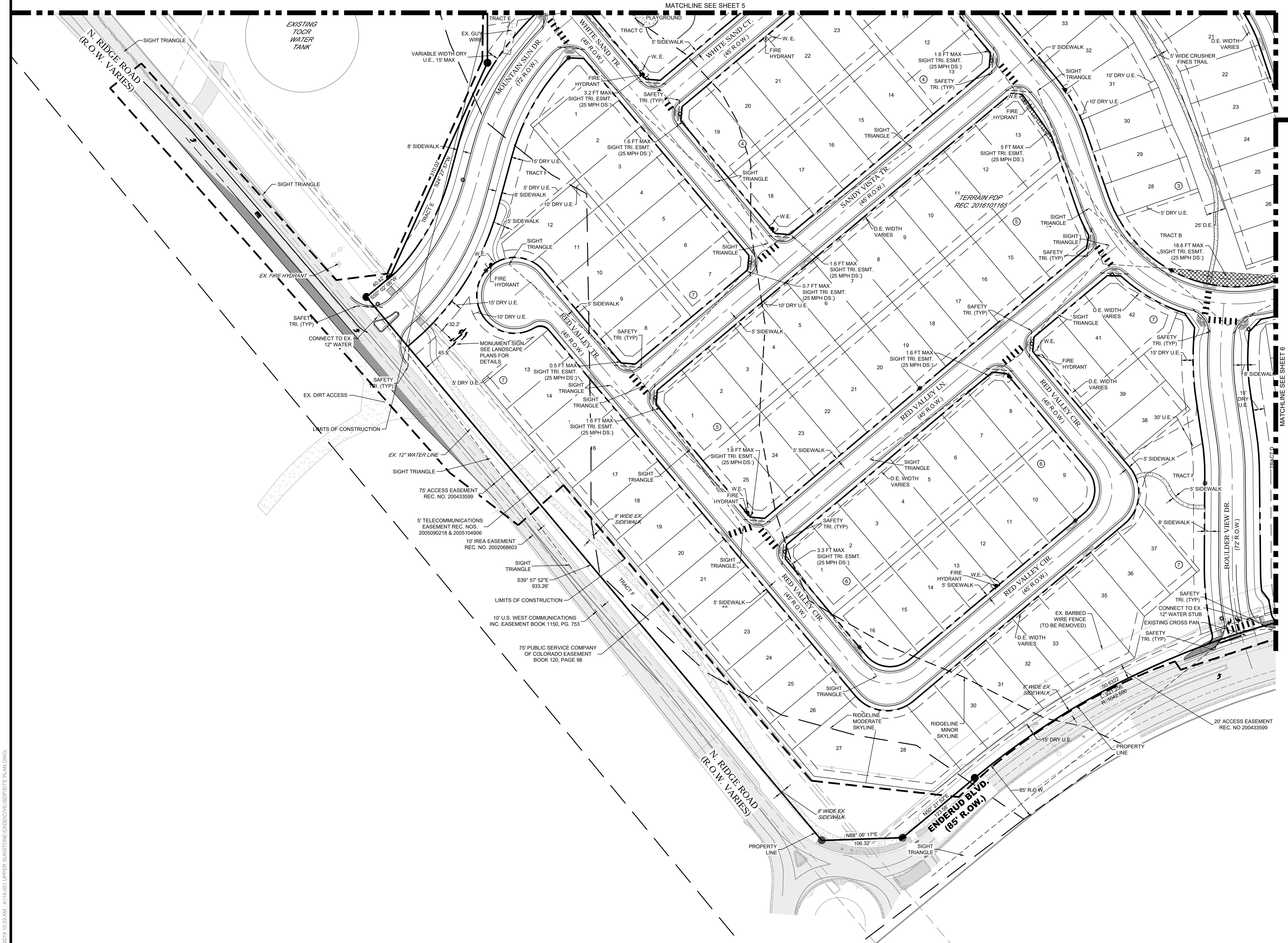
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JOB NO.
14-001

SHEET
6 OF 35

USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN TERRAIN FILING NO. 4

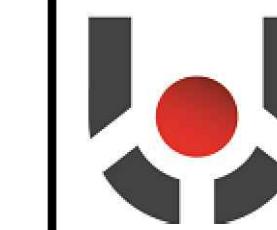
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KEY MAP

SCALE: 1" □ 1000'

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TERRAIN FILING NO 4
DOWN OF CASTLE ROCK, COLORADO

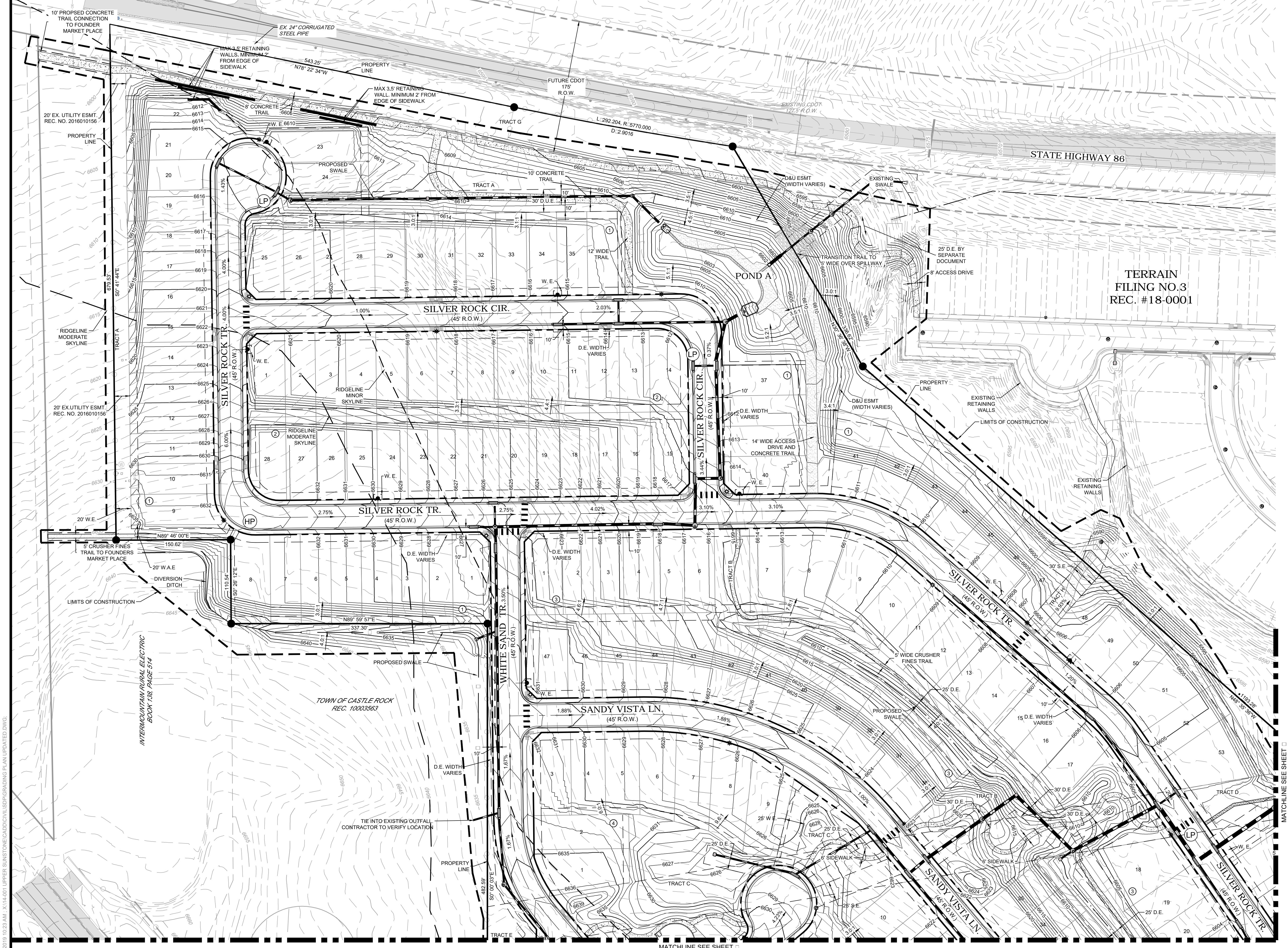
SITE DEVELOPMENT PLAN

4	DESIGNED BY: _____
3	DRAWN BY: _____
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1	JOB NO. 14-001
7	SHEET 7 OF 3

USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

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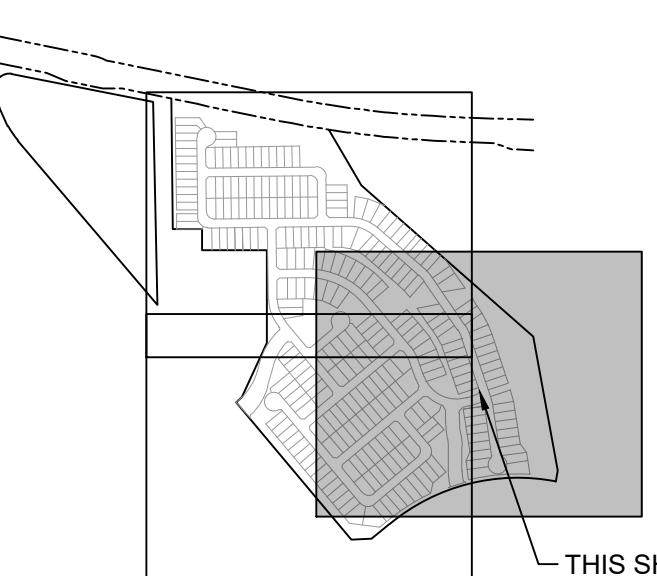
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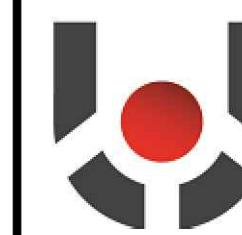
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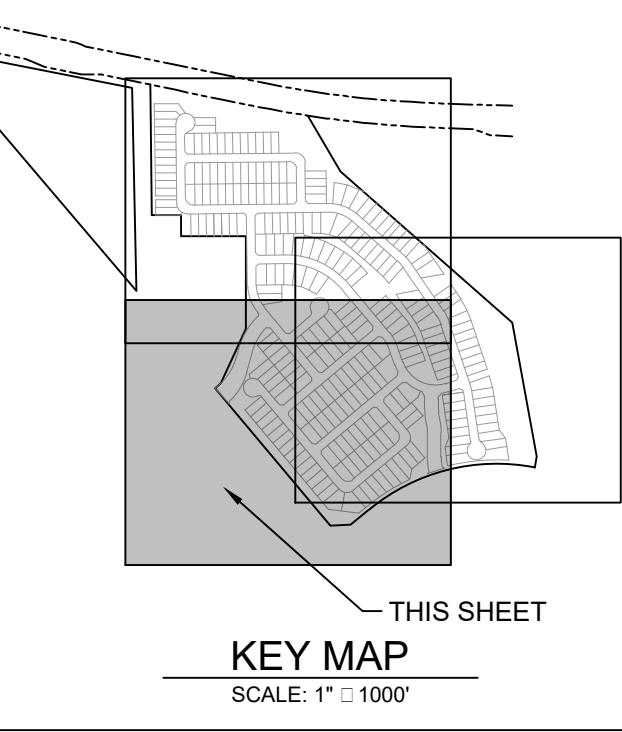
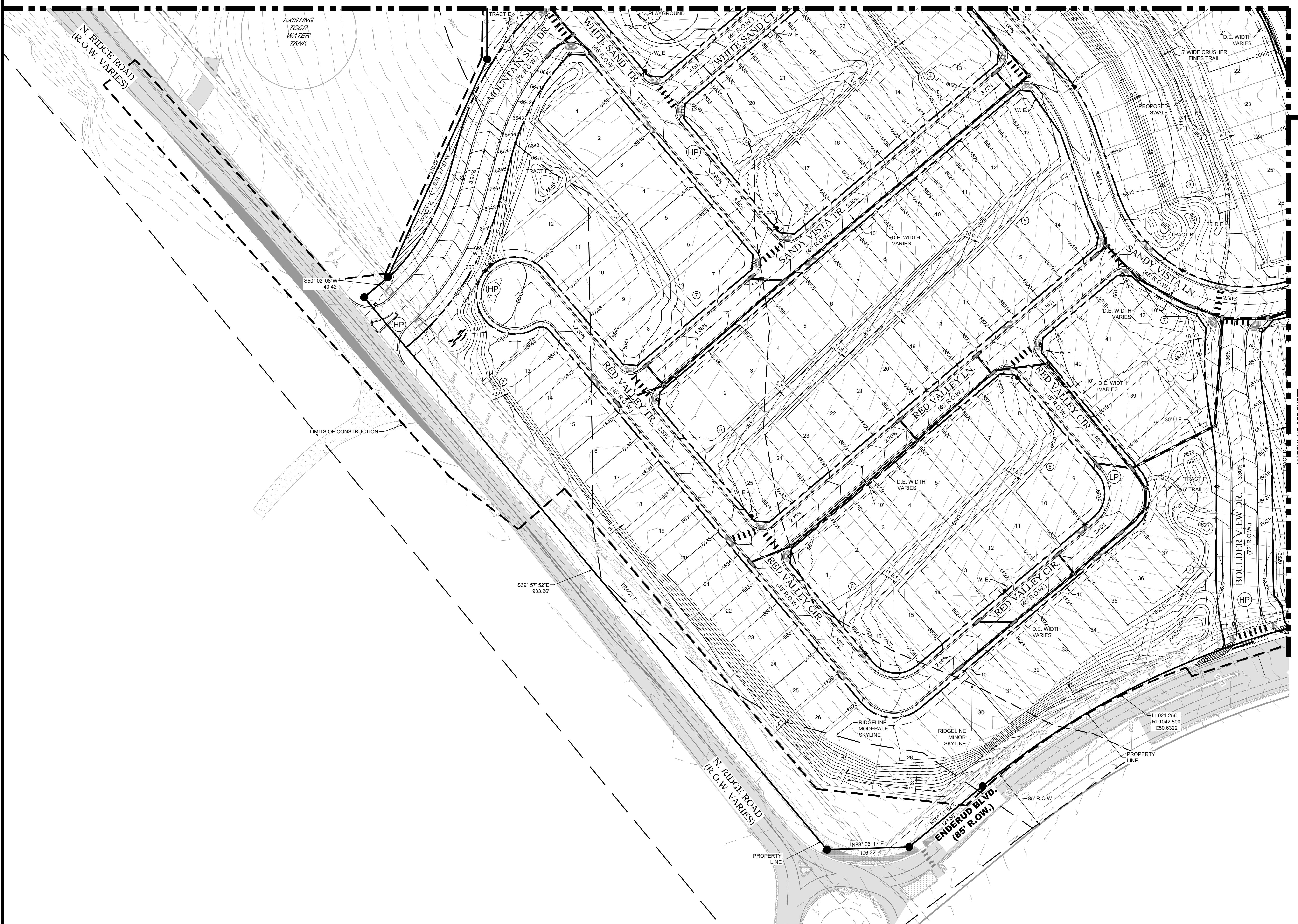
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1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

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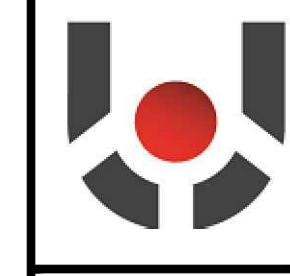
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MATCHLINE SEE SHEET □



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Call 2 business days in advance before you
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DESIGNED BY: RCY
DRAWN BY: JF
CHECKED BY: BC
JOB NO. 14-001
SHEET 10 OF 35

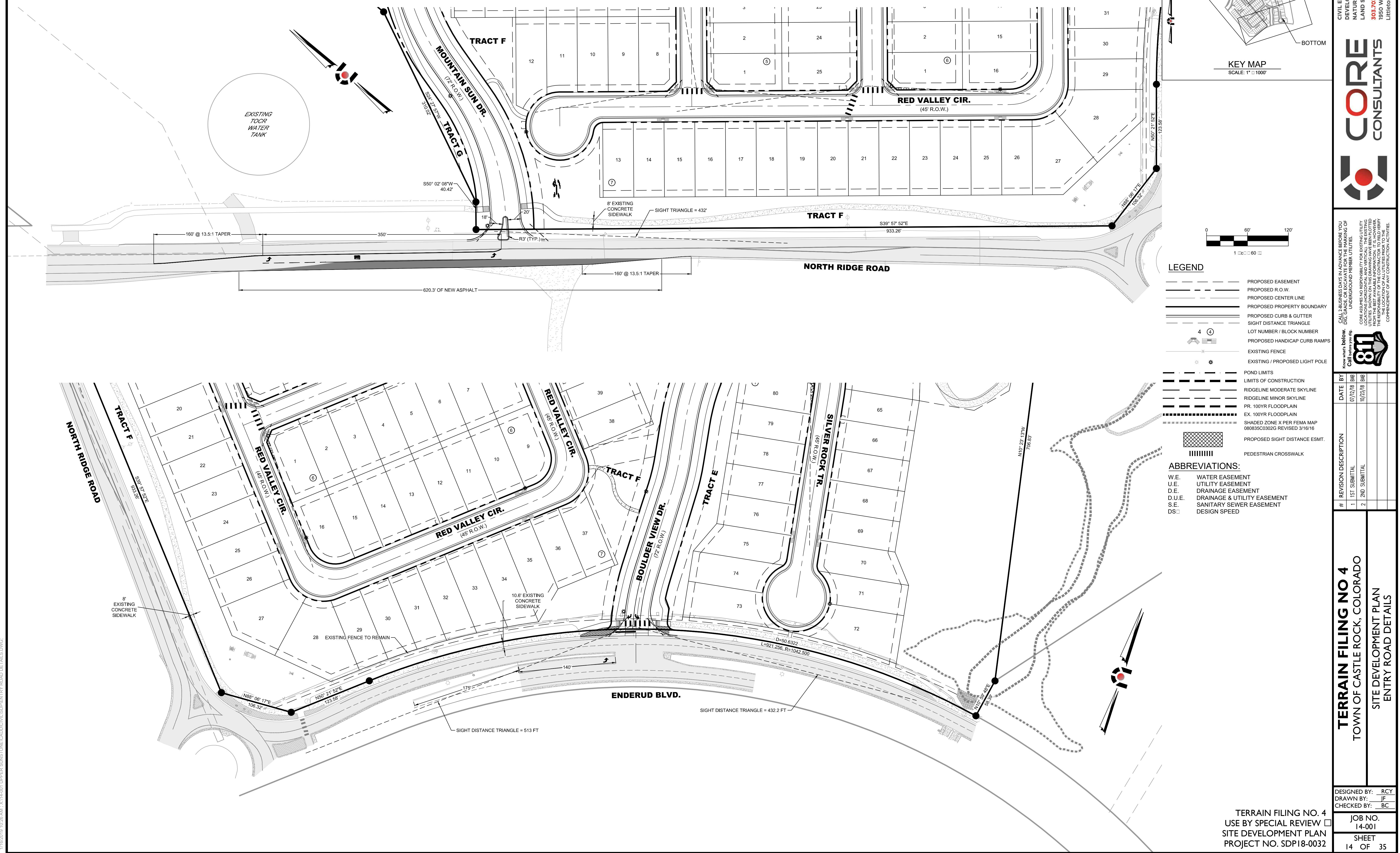
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USE BY SPECIAL REVIEW □
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0032

TERRAIN FILING NO. 4
USE BY SPECIAL REVIEW □
SITE DEVELOPMENT PLAN
GRADING PLAN

USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

TERRAIN FILING NO. 4

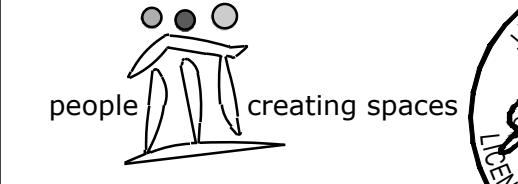
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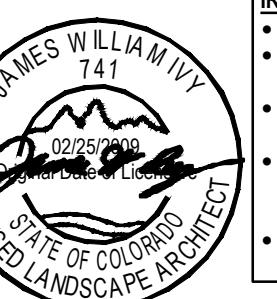


USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

TERRAIN FILING NO. 4

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LANDSCAPE PLANS PREPARED BY:

 pcs group inc. www.pcsgroupco.com
 #3, B-180 Independence Plaza
 1007 16th Street, Denver, CO 80265
 303.531.4905 | 303.531.4908



IREA TRANSMISSION ROW NOTES:
 • TREES GROWING TALLER THAN 15 FEET SHOULD NOT BE PLANTED WITHIN TRANSMISSION LINE RIGHTS-OF-WAY.
 • TREES WITH A MAXIMUM MATURE HEIGHT OF LESS THAN 15 FEET MAY BE PLANTED BEHIND OVERHEAD ELECTRIC TRANSMISSION EXCEPT WHEN NEAR STRUCTURES.
 • ALL TREES SHOULD BE PLANTED AT LEAST 20 FEET FROM TRANSMISSION AND DISTRIBUTION POLES AND STRUCTURES.
 • SHRUBS, GROUND COVERS, AND FLOWERBEDS CAN BE PLANTED UP TO THE BASE OF POLES AND STRUCTURES; HOWEVER, PLANT MATERIAL MAY BE DESTROYED DURING GROUNDLINE INSPECTION OF WOOD STRUCTURES FOR UNDERGROUND DECAY. DAMAGED OR DESTROYED PLANT MATERIAL WILL NOT BE REPLACED.
 • ALL PLANT MATERIAL IS REQUIRED TO COMPLY WITH IREA GUIDELINES FOR PLANT MATERIALS WITHIN THE TRANSMISSION ROW.

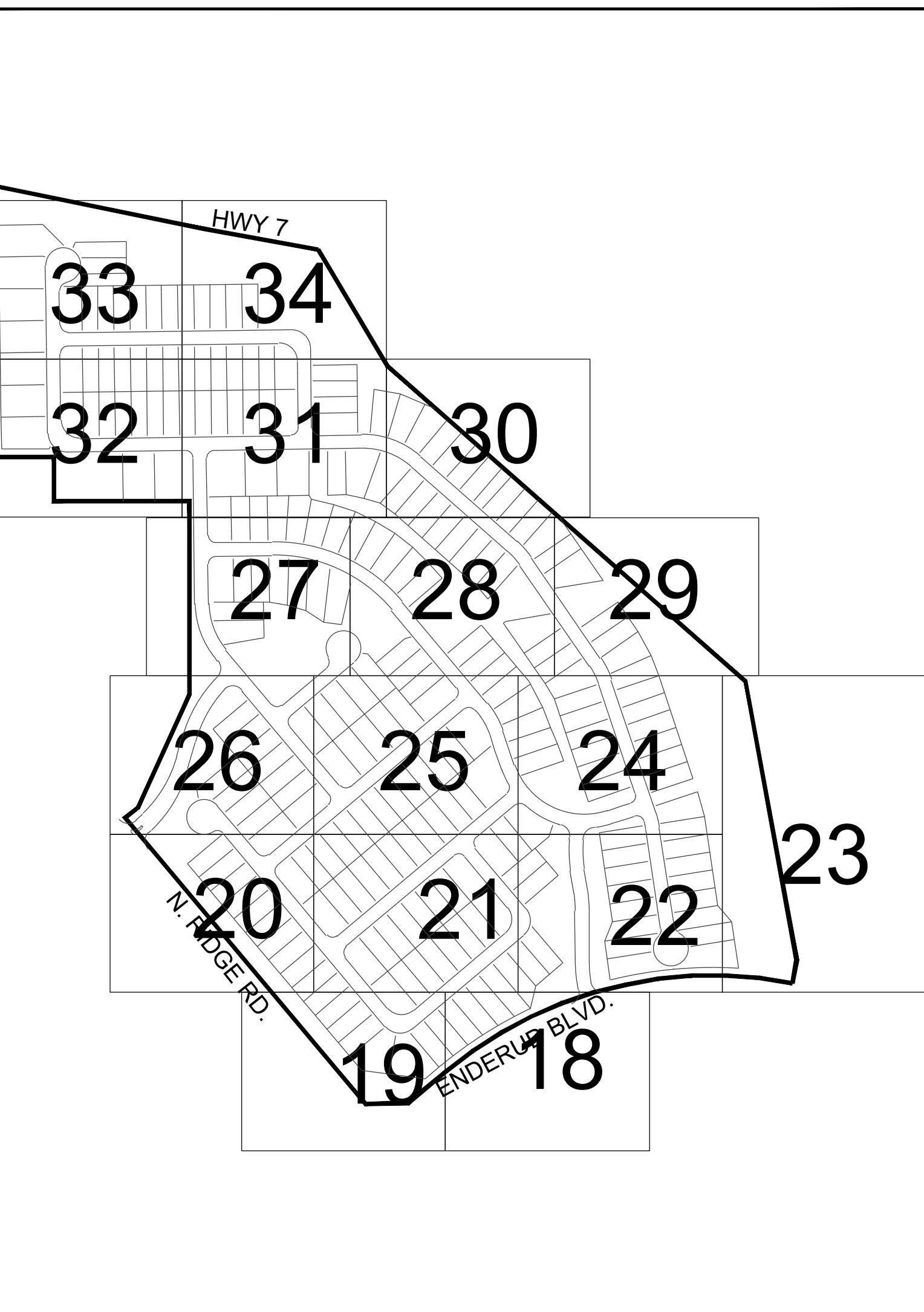
CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES.

1. SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
2. QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
3. ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
4. DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
6. DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
7. IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
8. IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
9. SLOPES GREATER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

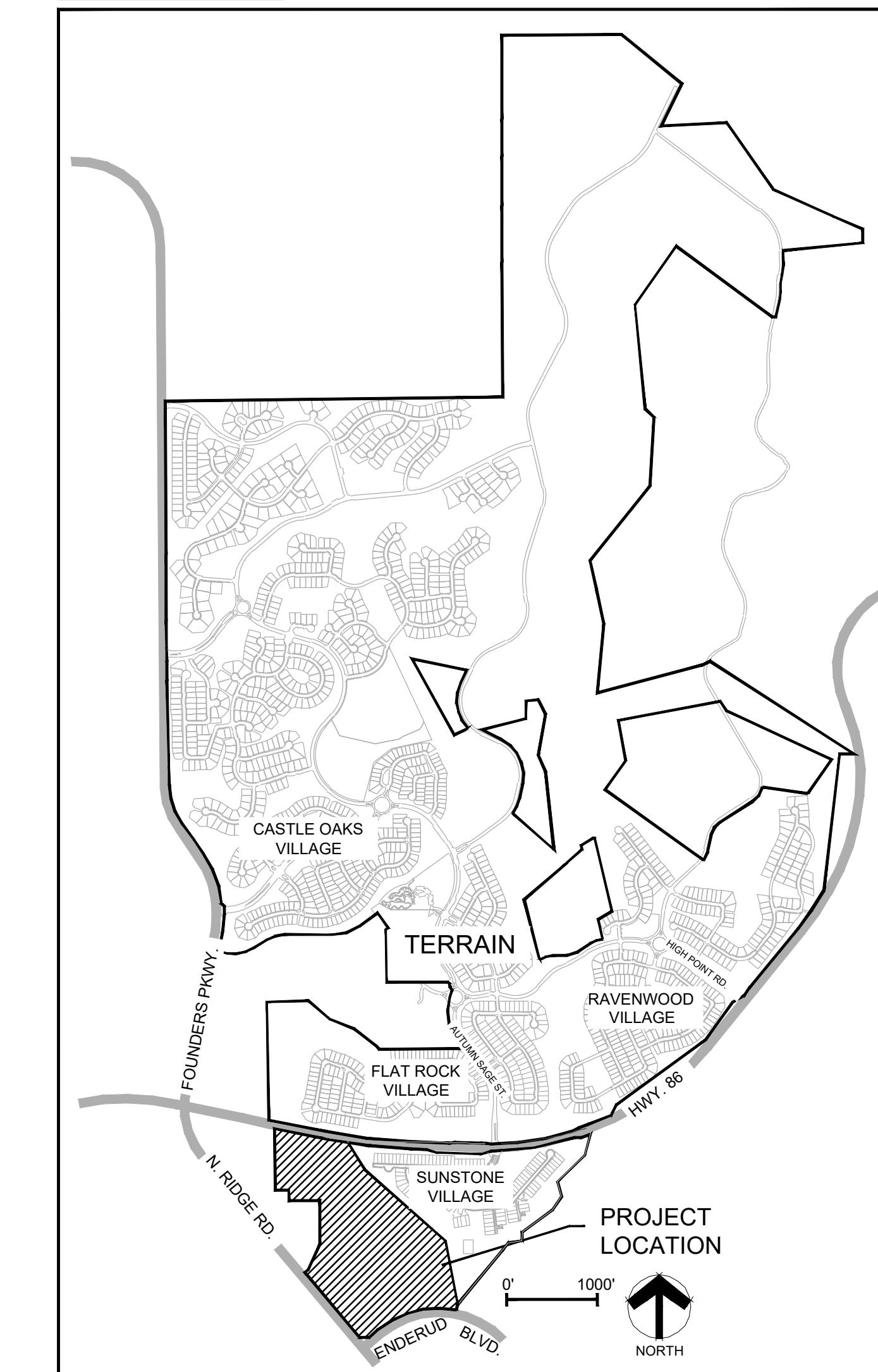
LANDSCAPE SHEET INDEX

Sheet Number	Sheet Title
15	LANDSCAPE COVER SHEET & NOTES
16	PLANT REQUIREMENTS
17	OVERALL LANDSCAPE PLAN & FENCING DETAILS
18	LANDSCAPE PLAN
19	LANDSCAPE PLAN
20	LANDSCAPE PLAN
21	LANDSCAPE PLAN
22	LANDSCAPE PLAN
23	LANDSCAPE PLAN
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27	LANDSCAPE PLAN
28	LANDSCAPE PLAN
29	LANDSCAPE PLAN
30	LANDSCAPE PLAN
31	LANDSCAPE PLAN
32	LANDSCAPE PLAN
33	LANDSCAPE PLAN
34	LANDSCAPE PLAN
35	SITE DETAILS

LANDSCAPE SHEET KEY



VICINITY MAP



TERRAIN FILING NO. 4

TOWN OF CASTLE ROCK, COLORADO
 SITE DEVELOPMENT PLAN
 LANDSCAPE COVER SHEET NOTES

DESIGNED BY: JWI
 DRAWN BY: JWI
 CHECKED BY: PCS
 JOB NO. 14-001
 SHEET 15 OF 35

CONTACTS

OWNER
 SLV CASTLE OAKS, LLC
 385 INVERNESS PKWY., STE. 310
 ENGLEWOOD, CO 80112
 CONTACT: CRAIG CAMPBELL 303.720.4436

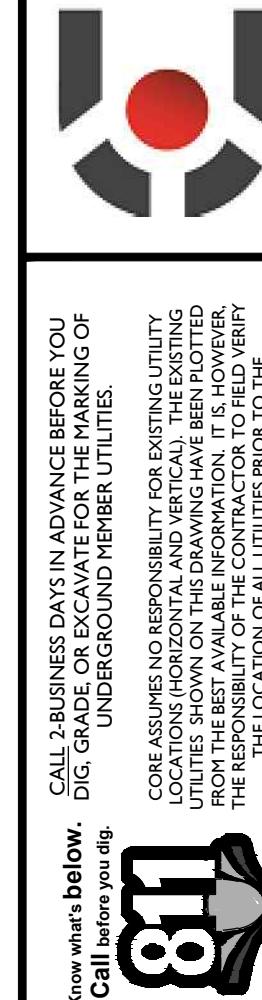
PLANNER/LANDSCAPE ARCHITECT
 PCS GROUP, INC.
 PO BOX 18287
 DENVER, CO 80218
 CONTACT: JIM IVY 303.531.4905

CIVIL ENGINEER
 CORE CONSULTANTS, INC.
 1950 W. LITTLETON BLVD., STE 109
 LITTLETON, CO 80120
 CONTACT: BLAKE CALVERT 303.703.4444

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 PROJECT NO. SDP18-0032

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December 24, 2015 YATERRAINLandscape Architecture CURRENT DIVISIONS: VILLAGE/PAS 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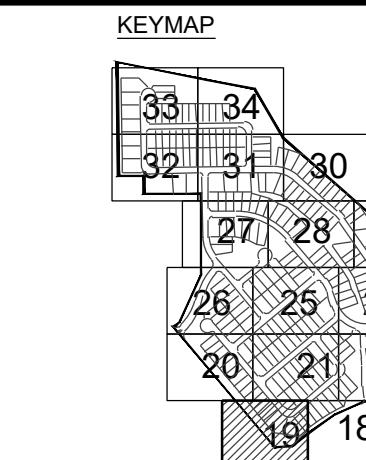
USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

TERRAIN FILING NO. 4

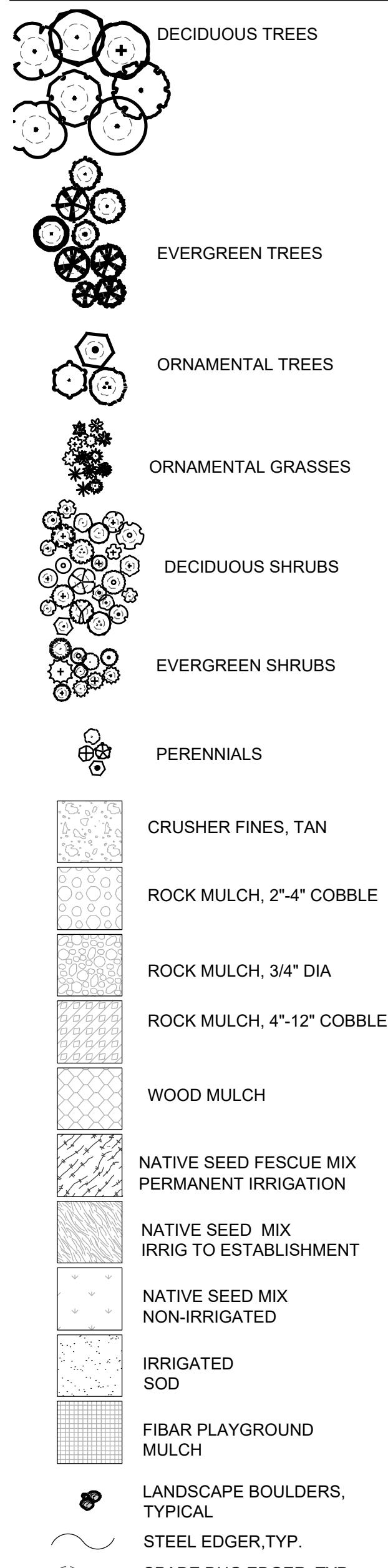
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



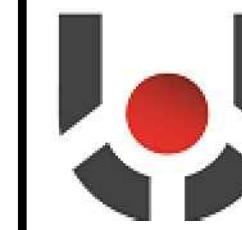
IREA TRANSMISSION ROW NOTES:
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PLANT & GROUNDCOVER LEGEND



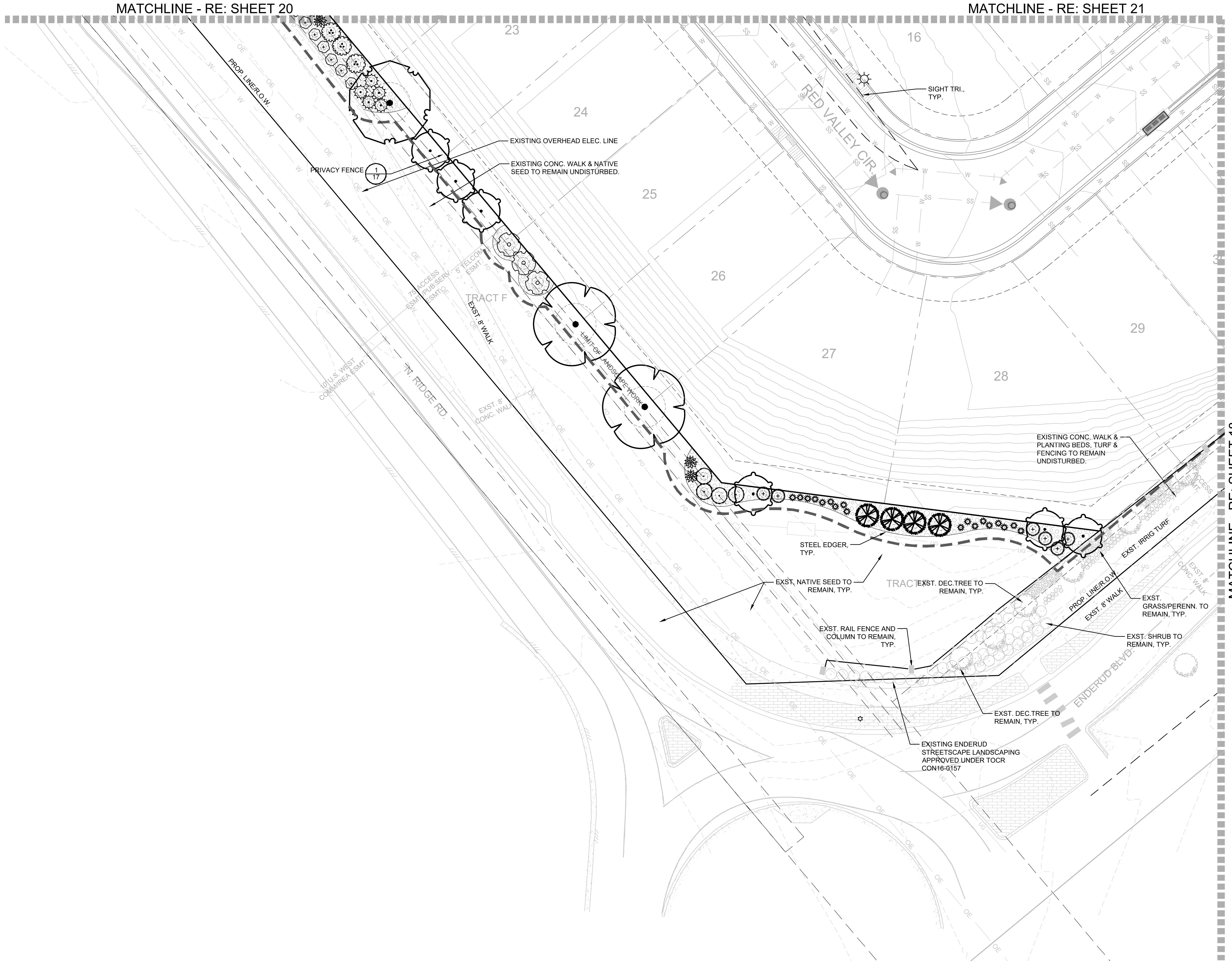
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TERRAIN FILING NO. 4
TOWN OF CASTLE ROCK, COLORADO
SITE DEVELOPMENT PLAN
LANDSCAPE PLAN

DESIGNED BY: JWI
DRAWN BY: JWI
CHECKED BY: PCS
JOB NO. 14-001
SHEET 1 OF 35
TERRAIN FILING NO. 4
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0032
SCALE: 1"-20'-0"

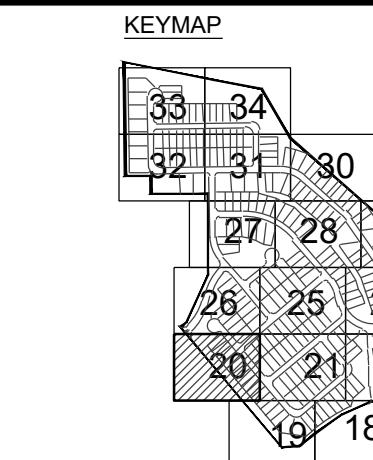
USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

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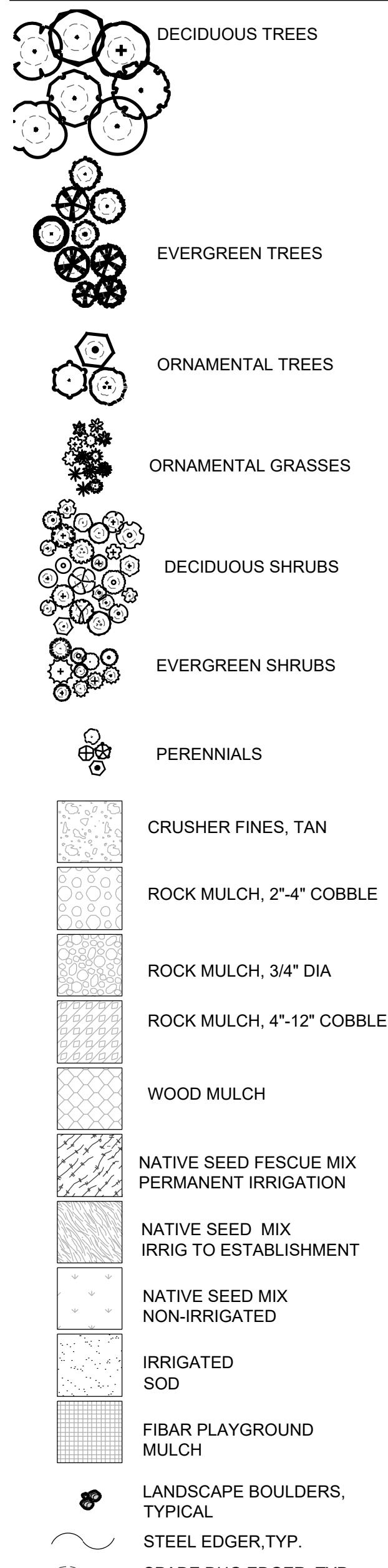
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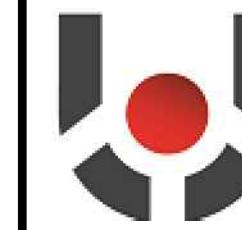
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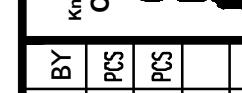
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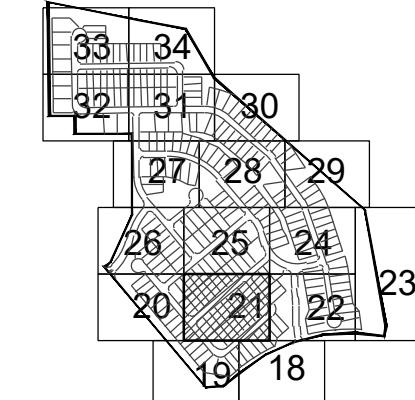
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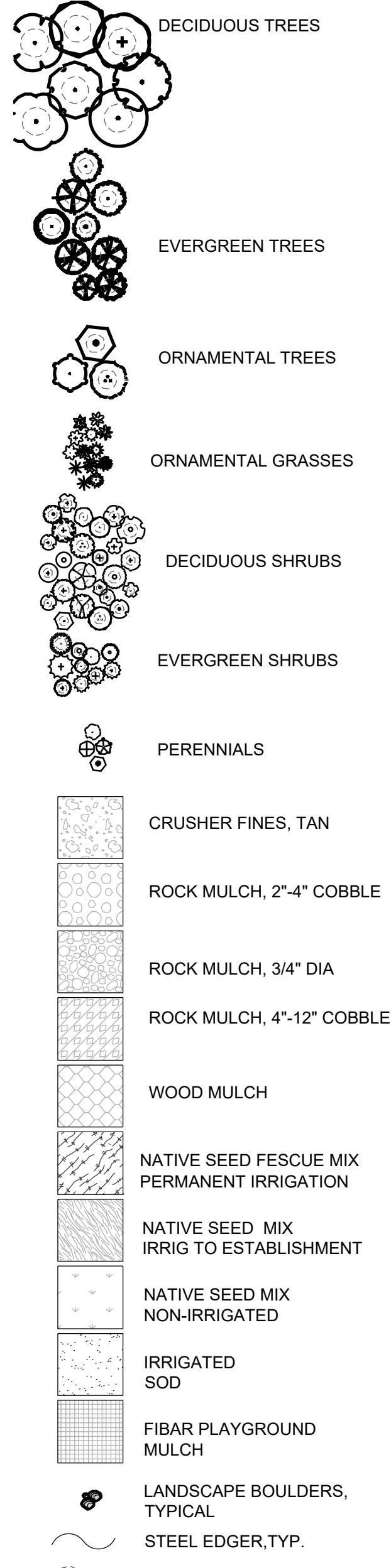


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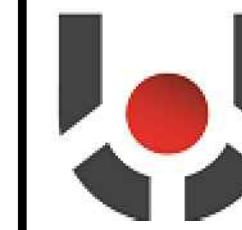
KEYMAP



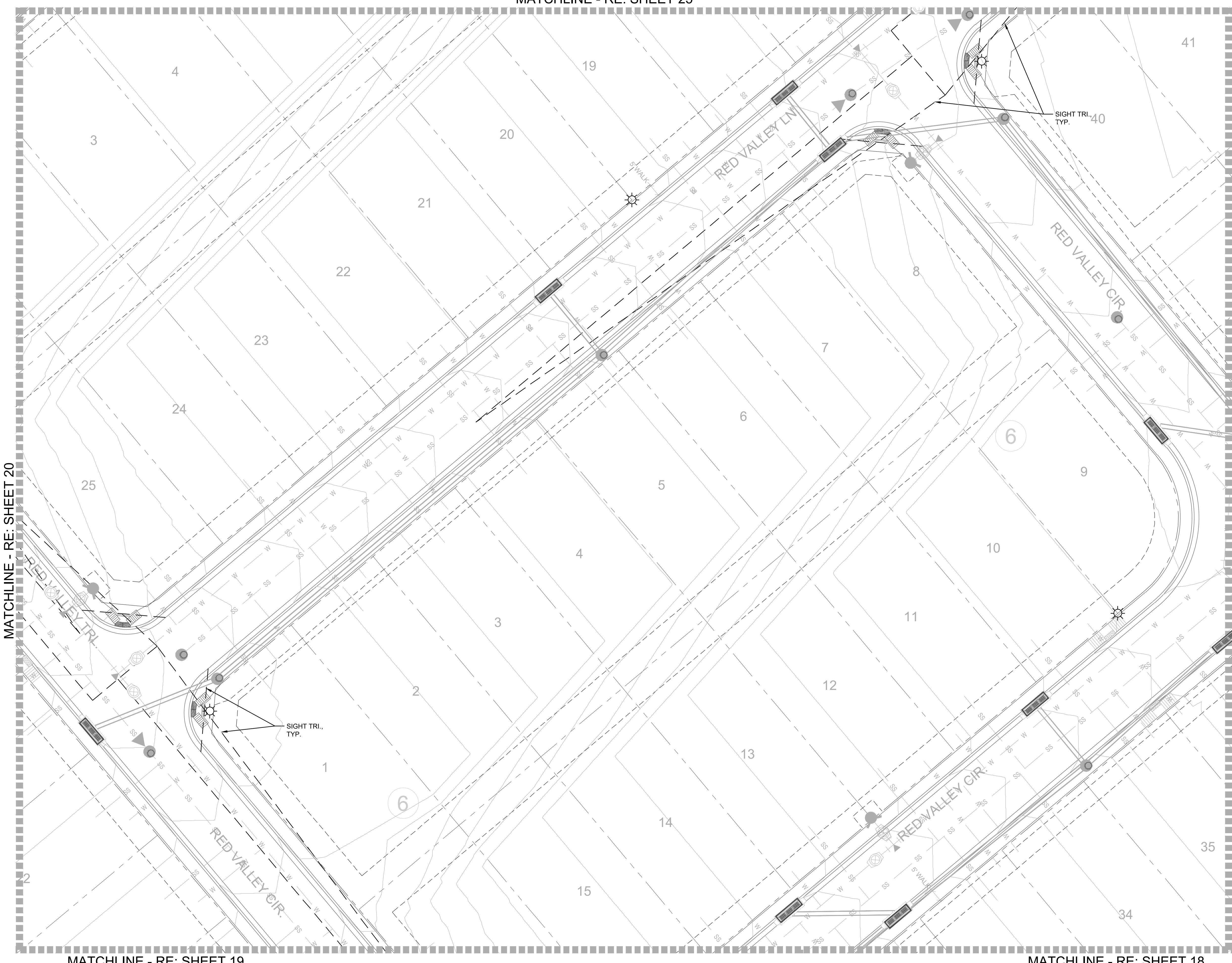
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COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES



TERRAIN FILING NO. 4
TOWN OF CASTLE ROCK, COLORADO
SITE DEVELOPMENT PLAN
LANDSCAPE PLAN

DESIGNED BY: JWI
DRAWN BY: JWI
CHECKED BY: PCS
JOB NO. 14-001
SHEET 21 OF 35
TERRAIN FILING NO. 4
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0032
SCALE: 1"-20'-0"

USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

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A diagram titled "KEYMAP" showing a layout of numbered keys. The keys are arranged in a grid-like pattern with some irregular shapes. The numbers are: 35, 34, 32, 31, 30, 27, 28, 29, 26, 25, 24, 23, 20, 21, 22, 19, and 18. The keys are represented by various hatching patterns: solid black, diagonal lines, horizontal lines, and vertical lines.

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This detailed architectural landscape plan shows property boundaries, trees, shrubs, and proposed improvements along Enderud Boulevard and Boulder View Drive. The plan includes property lines, tree species (e.g., TRACT F, TRACT D, NATIVE SEED, EVERGREEN, DECIDUOUS, SIGHT TRI., SIGHT TRI. TYP.), and shrub types (e.g., RAIL FENCE, NON-IRRIG NATIVE SEED, EXST. SHRUB TO REMAIN, EXST. GRASS/PERENN. TO REMAIN). The plan also shows irrigation systems, walkways (e.g., 5' WALK, 5' WALK), and fencing (e.g., PRIVACY FENCE, STEEL EDGER, TYP.). Specific notes include the removal of existing fencing and columns along Enderud Boulevard, the relocation of evergreen trees, and the adjustment of property lines. A note specifies that existing fencing/columns along Enderud Streetscape will be removed and/or field adjusted as required to accommodate site improvements at this location. The plan also includes a note regarding the transition of a privacy fence down to an existing rail fence and the termination of an existing rail fence at a fence post nearest a new walk. Column signage is also indicated.

A north arrow icon consisting of a circle with a vertical arrow pointing upwards. Below it is a scale bar with tick marks. The text '0' is at the left end, '10'' is at the first tick mark, and '20'' is at the right end. Below the scale bar is the text 'SCALE: 1" = 20'-0"'.

NORTH

0 10' 20'

SCALE: 1" = 20'-0"

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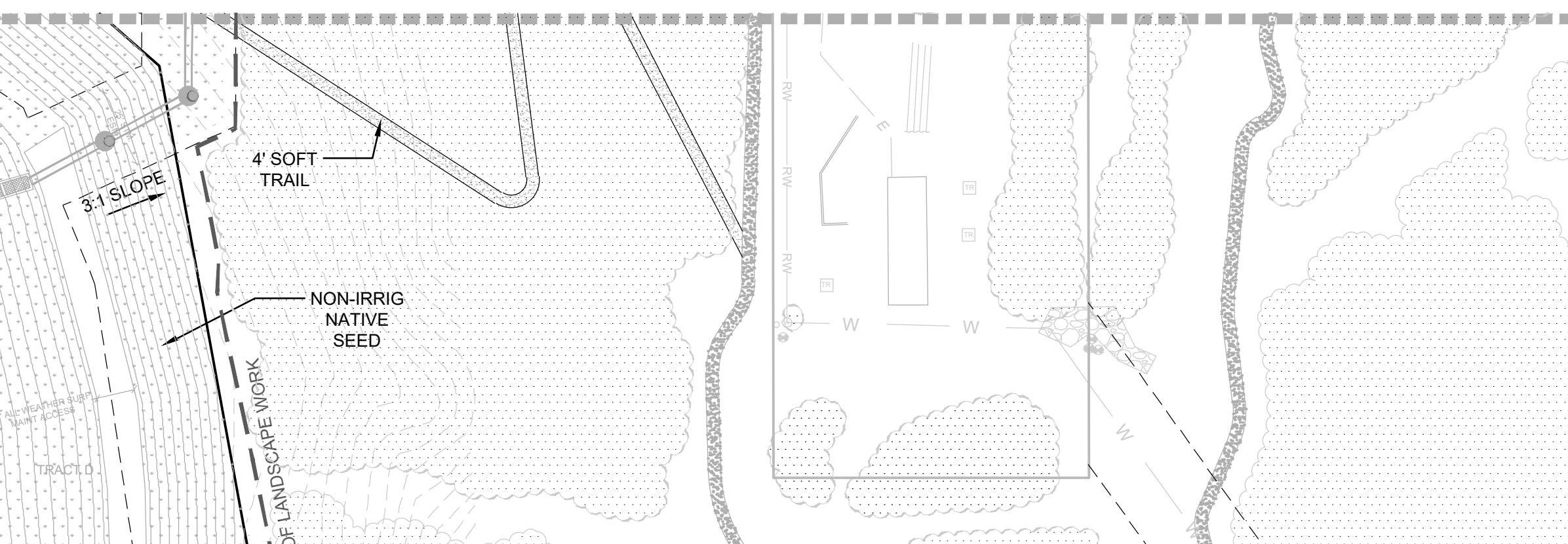
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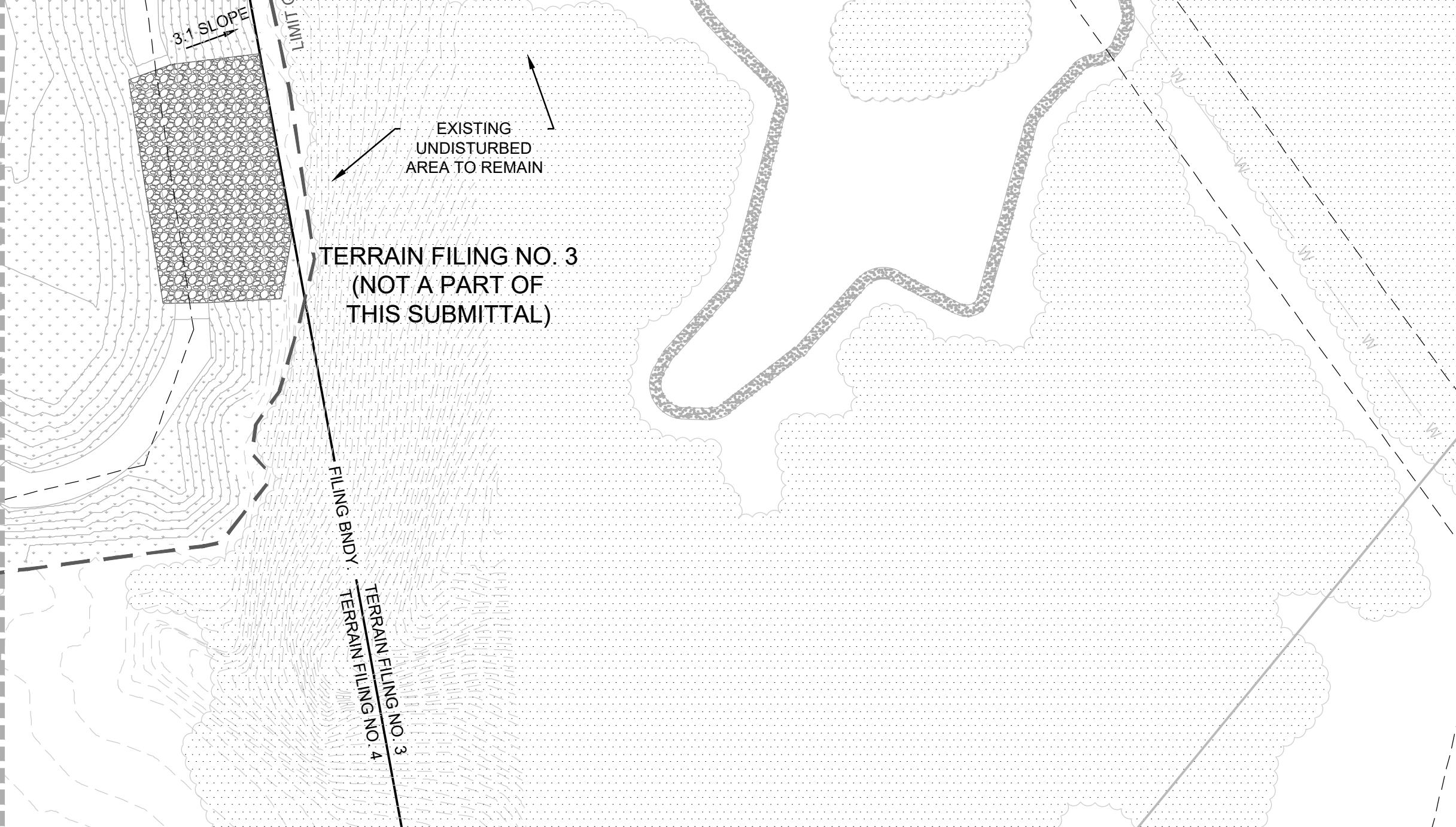
TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

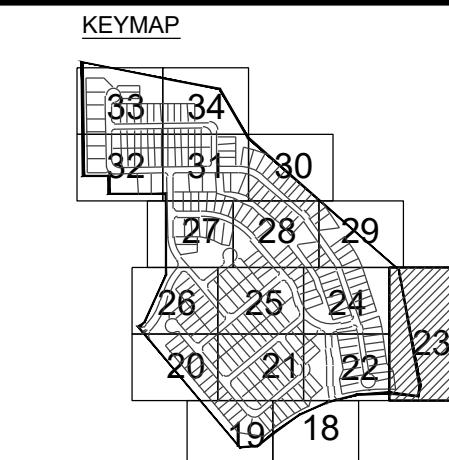
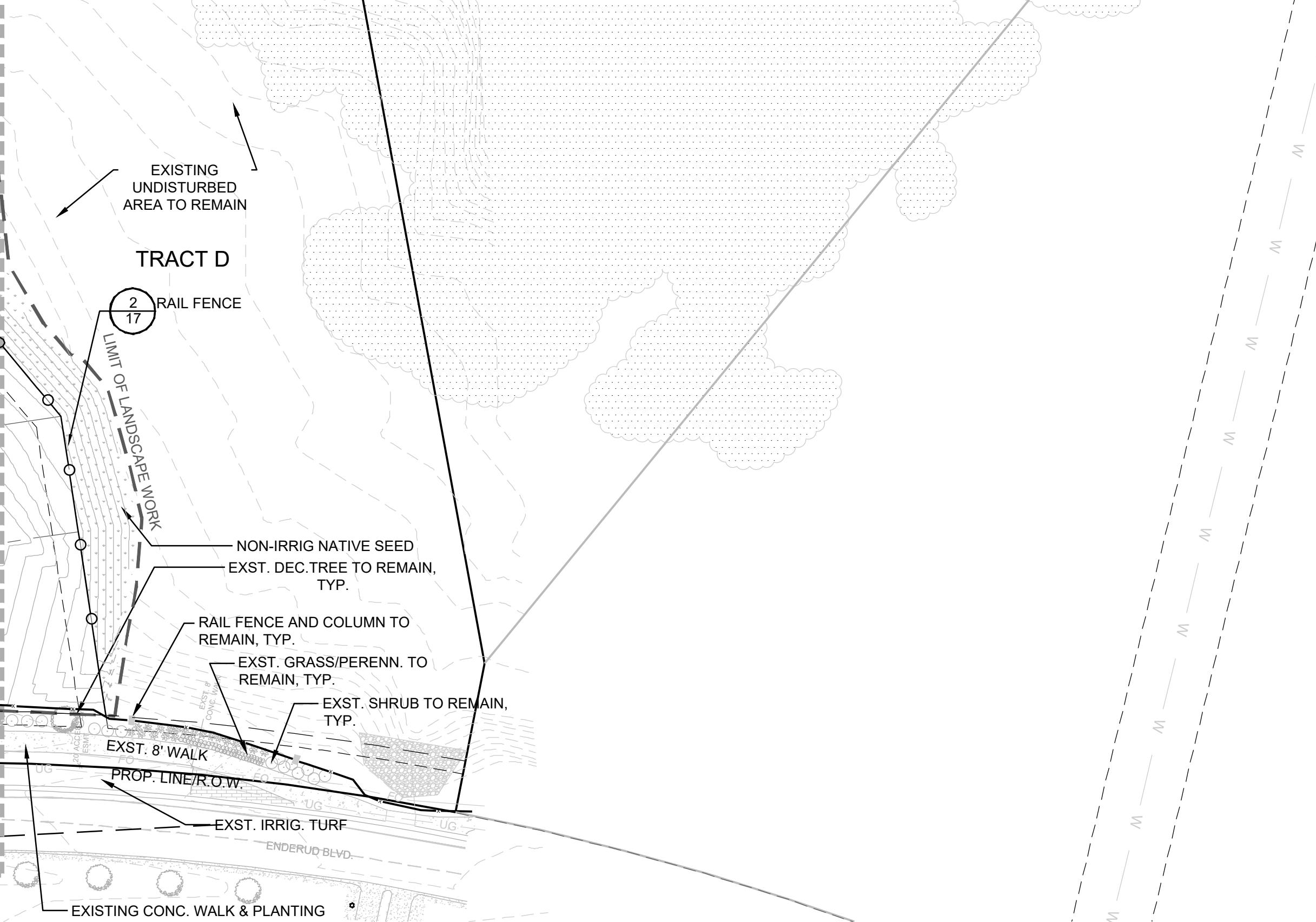
MATCHLINE - RE: SHEET 29



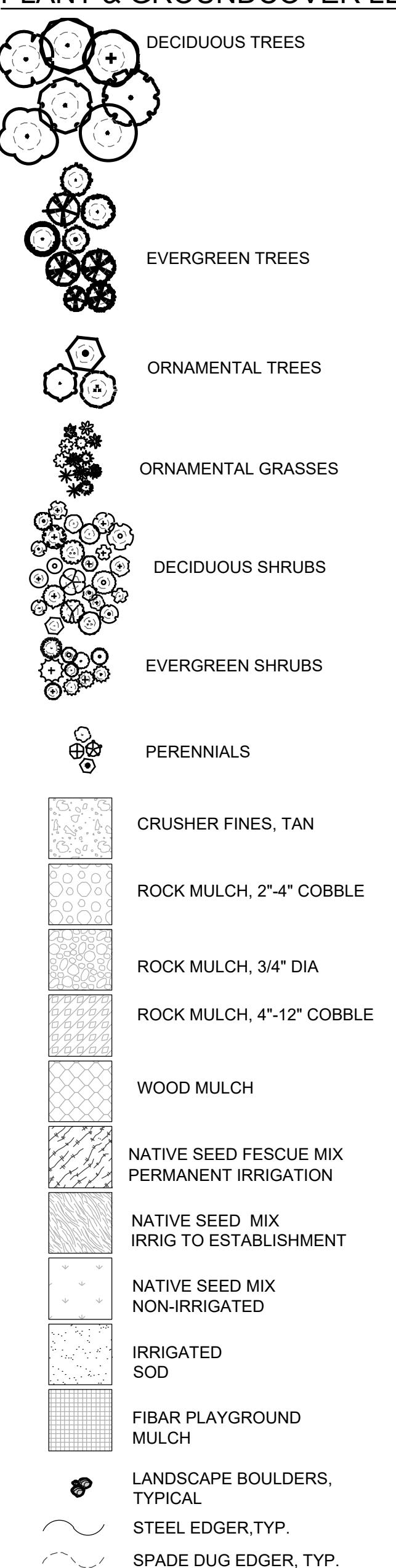
MATCHLINE - RE: SHEET 24



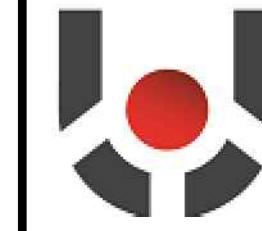
MATCHLINE - RE: SHEET 22



PLANT & GROUNDCOVER LEGEND



CORE
CONSULTANTS



811

CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU
KNOW WHERE'S BELOW. DOG GRADE OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MUNICIPAL UTILITIES.

CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY

LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING

LOCATION OF THE UTILITY IS UNKNOWN.

IT IS ADVISED THAT THE CONTRACTOR TO FIELD VERIFY

THE LOCATION OF THE UTILITY.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY

THE LOCATION OF THE UTILITY.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION ACTIVITIES.

CALL BEFORE YOU DIG.

811

CALL BEFORE YOU DIG.

USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

TERRAIN FILING NO. 4

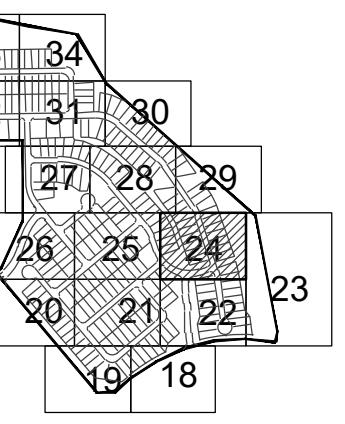
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE PLANS PREPARED BY:

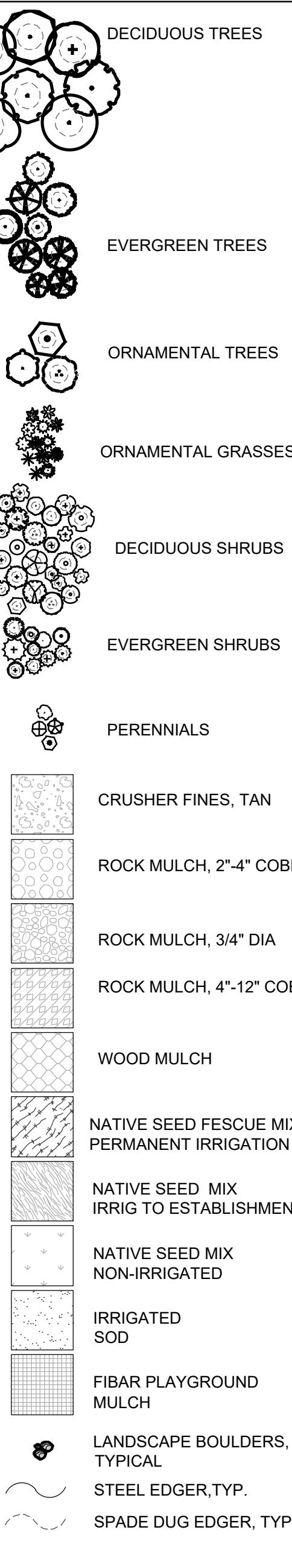
 pcs group inc. www.pcsgroupco.com
 #3, 180 Independence Plaza
 1007 14th Street, Denver, CO 80265
 303.531.4905 / 303.531.4908

IREA TRANSMISSION ROW NOTES:
 • TREES GROWING TALLER THAN 15 FEET SHOULD NOT BE PLANTED WITHIN TRANSMISSION LINE RIGHTS-OF-WAY.
 • TREES WITH A MAXIMUM MATURE HEIGHT OF LESS THAN 15 FEET MAY BE PLANTED BEHIND OVERHEAD ELECTRIC TRANSMISSION EXCEPT WHEN NEAR STRUCTURES.
 • ALL TREES SHOULD BE PLANTED AT LEAST 20 FEET FROM TRANSMISSION AND DISTRIBUTION POLES AND STRUCTURES.
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 • ALL PLANT MATERIAL IS REQUIRED TO COMPLY WITH IREA GUIDELINES FOR PLANT MATERIALS WITHIN THE TRANSMISSION ROW.

KEYMAP

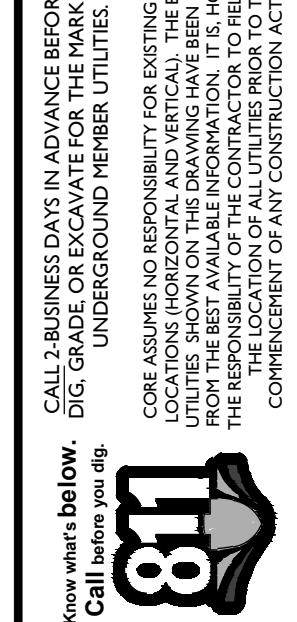


PLANT & GROUNDCOVER LEGEND



CIVIL ENGINEERING
 DEVELOPMENT CONSULTING
 LAND SURVEYING
 303.707.4444
 1950 W Littleton Blvd, Ste. 109
 Littleton, CO 80120

CORE
 CONSULTANTS



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
 DIG. GRADE OR EXCAVATE FOR THE MARKING OF
 UNDERGROUND PIPELINES.

CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
 LOCATIONS. HORIZONTAL AND VERTICAL SETBACKS
 FROM THE BEST AVAILABLE INFORMATION IT IS HOWEVER
 THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD SURVEY
 AND COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

MATCHLINE - RE: SHEET 28

MATCHLINE - RE: SHEET 25

47-51-52A-75-52B-75-52C-52D-52E-52F-52G-52H



MATCHLINE - RE: SHEET 29

MATCHLINE - RE: SHEET 23

MATCHLINE - RE: SHEET 22

TERRAIN FILING NO. 4
 TOWN OF CASTLE ROCK, COLORADO
 SITE DEVELOPMENT PLAN
 LANDSCAPE PLAN

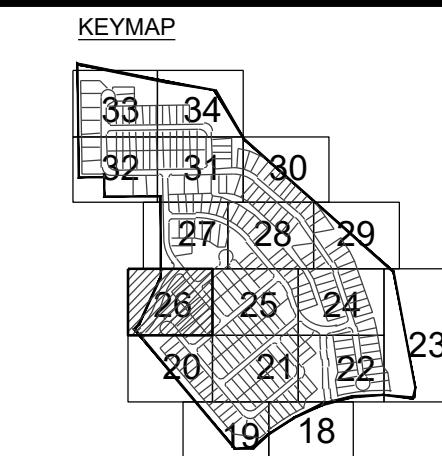
DESIGNED BY: JWI
 DRAWN BY: JWI
 CHECKED BY: PCS
 JOB NO. 14-001
 SHEET 24 OF 35
 TERRAIN FILING NO. 4
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP18-0032
 0 10' 20'
 NORTH
 SCALE: 1" = 20'-0"
 303.707.4444

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

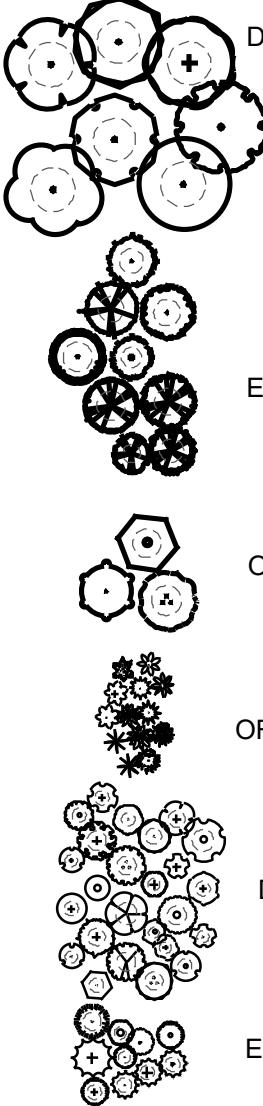


IREA TRANSMISSION ROW NOTES:

- TREES GROWING TALLER THAN 15 FEET SHOULD **NOT** BE PLANTED WITHIN TRANSMISSION LINE RIGHTS-OF-WAY.
- TREES WITH A MAXIMUM MATURE HEIGHT OF LESS THAN 15 FEET **MAY** BE PLANTED BENEATH OVERHEAD ELECTRIC TRANSMISSION EXCEPT WHEN NEAR STRUCTURES.
- ALL TREES SHOULD BE PLANTED **AT LEAST** 20 FEET FROM TRANSMISSION AND DISTRIBUTION POLES AND STRUCTURES.
- SHRUBS, GROUND COVERS, AND FLOWERBEDS CAN BE PLANTED UP TO THE BASE OF POLES AND STRUCTURES. HOWEVER, PLANT MATERIAL MAY BE DESTROYED DURING GROUNDLINE INSPECTION OF WOOD STRUCTURES FOR UNDERGROUND DECAY. DAMAGED OR DESTROYED PLANT MATERIAL WILL NOT BE REPLACED.
- ALL PLANT MATERIAL IS REQUIRED TO COMPLY WITH IREA GUIDELINES FOR PLANT MATERIALS WITHIN THE TRANSMISSION ROW.



PLANT & GROUNDCOVER LEGEND



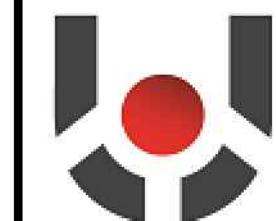
- DECIDUOUS TREES
- VERGEEEN TREES
- ORNAMENTAL TREES
- ORNAMENTAL GRASSES
- DECIDUOUS SHRUBS
- VERGEEEN SHRUBS

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
NATURAL RESOURCES CONSULTING
LAND SURVEYING

303.703.4444

1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

CORE CONSULTANTS

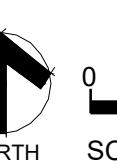


DESCRIPTION	DATE BY	DATE	DATE BY
Know what's below . Call before you dig.	07/12/18	07/12/18	CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
	10/22/18	10/22/18	CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

TERRAIN FILING NO 4
TOWN OF CASTLE ROCK, COLORADO
SITE DEVELOPMENT PLAN
LANDSCAPE PLAN

F	
DESIGNED BY:	JW
DRAWN BY:	JW
CHECKED BY:	PC
JOB NO.	
14-001	
SHEET	
26	

MATCHLINE - RE: SHEET 20



TERRAIN FILING NO. 4
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0032



10'
20'
SCALE: 1" = 20'-0"

DRAW
CHECK

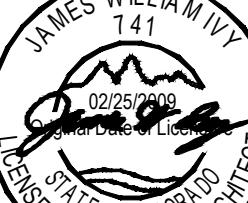
USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

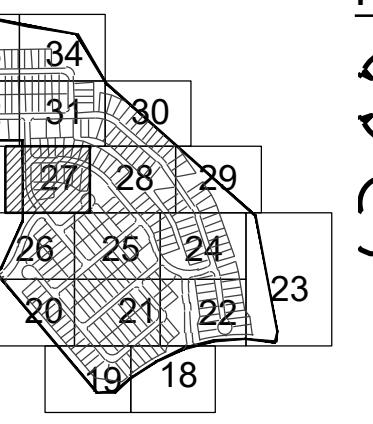
LANDSCAPE PLANS PREPARED BY:

people creating spaces
pcs group inc. www.pcsgroupco.com
#3, B-180 Independence Plaza
1007 14th Street, Denver, CO 80265
1303.531.4905, 1303.531.4908



IREA TRANSMISSION ROW NOTES:
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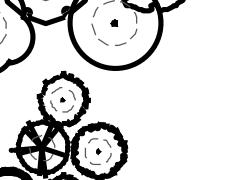
KEYMAP



PLANT & GROUNDCOVER LEGEND



DECIDUOUS TREES



EVERGREEN TREES



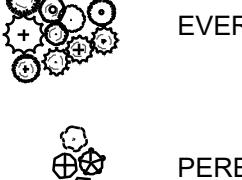
ORNAMENTAL TREES



ORNAMENTAL GRASSES



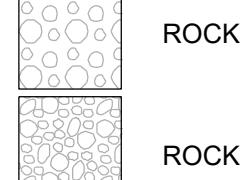
DECIDUOUS SHRUBS



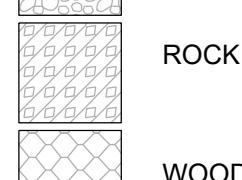
EVERGREEN SHRUBS



PERENNIALS



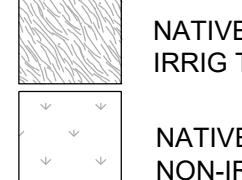
CRUSHER FINES, TAN



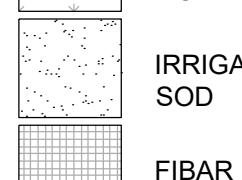
ROCK MULCH, 2"-4" COBBLE



ROCK MULCH, 3/4" DIA



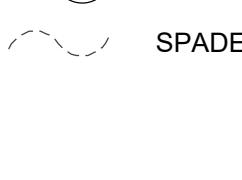
ROCK MULCH, 4"-12" COBBLE



WOOD MULCH



NATIVE SEED FESCUE MIX PERMANENT IRRIGATION



NATIVE SEED MIX IRRIG TO ESTABLISHMENT



NATIVE SEED MIX NON-IRRIGATED



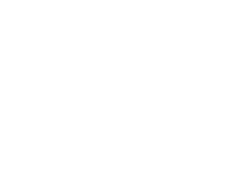
IRRIGATED SOD



FIBAR PLAYGROUND MULCH



LANDSCAPE BOULDERS, TYPICAL



STEEL EDGER, TYP.



SPADE DUG EDGER, TYP.

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
303.707.4444
1950 W Littleton Blvd, Ste. 109
Littleton, CO 80120



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRAD, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MUNICIPAL UTILITIES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITIES
LOCATED HORIZONTAL AND VERTICALLY BEING EXISTING
FROM THE BEST AVAILABLE INFORMATION IT IS ADVISED
THAT THE CONTRACTOR TO FIELD VERIFY
THE CORRECTNESS OF ANY CONSTRUCTION ACTIVITIES.

TERRAIN FILING NO. 4
TOWN OF CASTLE ROCK, COLORADO
SITE DEVELOPMENT PLAN
LANDSCAPE PLAN

DESIGNED BY: JWI
DRAWN BY: JWI
CHECKED BY: PCS

JOB NO.
14-001

SHEET
27 OF 35

MATCHLINE - RE: SHEET 32

PROVIDE STRUCTURAL
FILL SOIL FOR SHADE
TREES LOCATED WITHIN
10' OF WALK ALONG
WHITE SAND TRAIL.

NON-IRRIG
NATIVE SEED

RAIL FENCE
2 17

BEGIN RAIL FENCE AT
CORNER OF EXISTING
CHAINLINK FENCE

FRON LINE

LIMIT OF LANDSCAPE WORK

NATIVE SEED
IRRIG TO
ESTABLISHMENT

EXST ELEC. POLE
TO REMAIN

TRACT G

TOWN OF CASTLE ROCK
WATER STORAGE FACILITY

WHITE SAND TRI.

SANDY VISTA LN.

SIGHT TRI., TYP.

SS

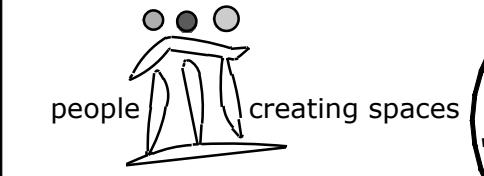
W

USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

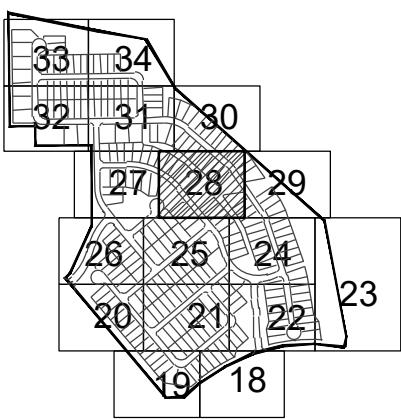
LANDSCAPE PLANS PREPARED BY:



pcs group inc. www.pcsgroupco.com
#3-180 independence plaza
1007 16th street - denver, co 80265
1 303.531.4905, 1 303.531.4908

IREA TRANSMISSION ROW NOTES:
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KEYMAP



PLANT & GROUNDCOVER LEGEND

DECIDUOUS TREES

EVERGREEN TREES

ORNAMENTAL TREES

ORNAMENTAL GRASSES

DECIDUOUS SHRUBS

EVERGREEN SHRUBS

PERENNIALS

CRUSHER FINES, TAN

ROCK MULCH, 2"-4" COBBLE

ROCK MULCH, 3/4" DIA

WOOD MULCH

NATIVE SEED FESCUE MIX

NATIVE SEED MIX PERMANENT IRRIGATION

NATIVE SEED MIX IRRIG TO ESTABLISHMENT

NATIVE SEED MIX NON-IRRIGATED

IRRIGATED SOD

FIBER PLAYGROUND MULCH

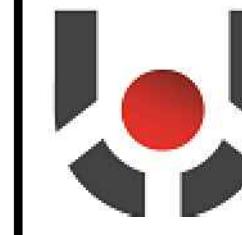
LANDSCAPE BOULDERS, TYP.

STEEL EDGER, TYP.

SPADE DUG EDGER, TYP.

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
303.707.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

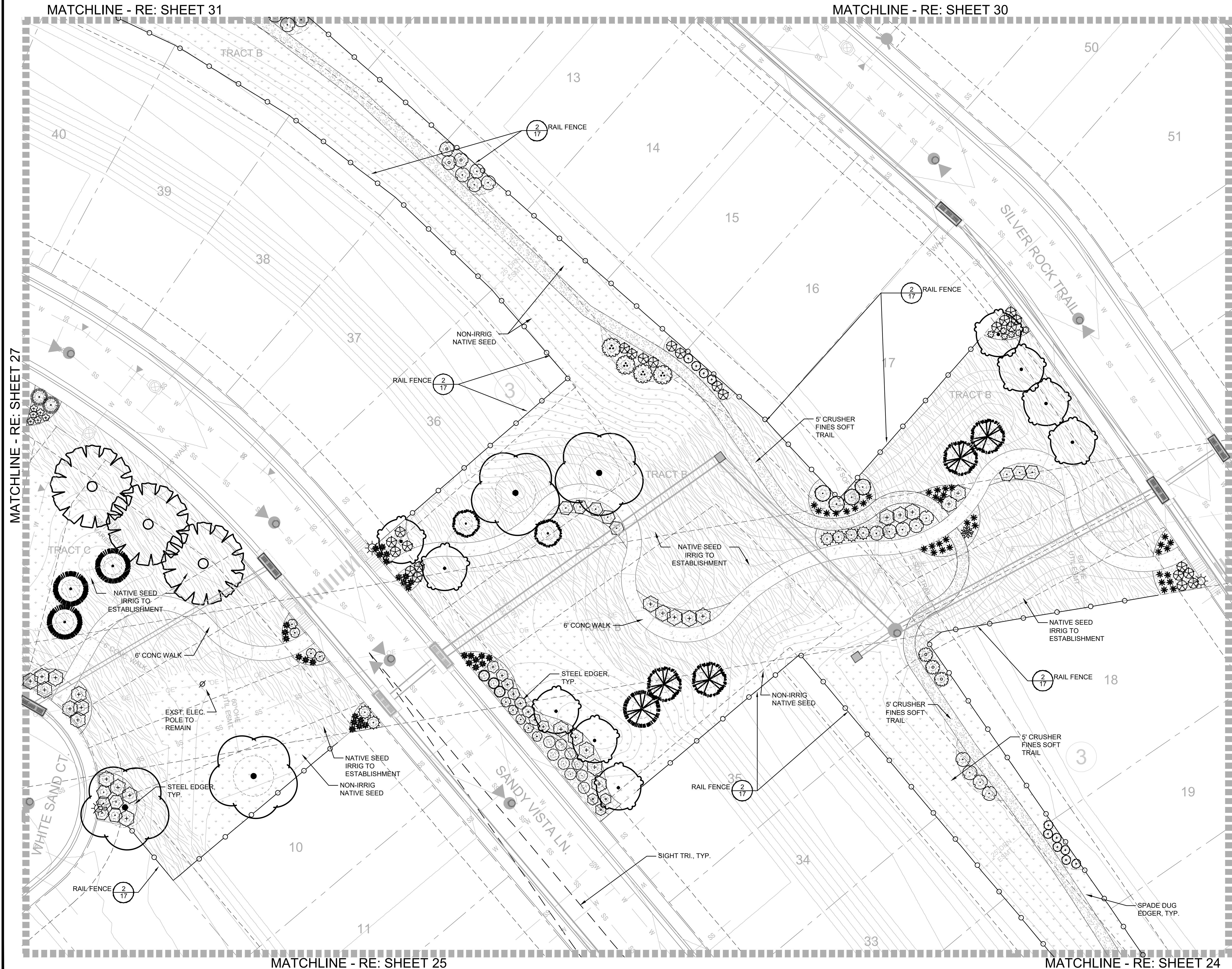
CORE
CONSULTANTS



Call 2 business days in advance before you
dig. Grade or excavate for the marking of
underground utility lines.

Core assumes no responsibility for existing utility
locations. Horizontal and vertical utility locations
from the best available information. It is the
responsibility of the contractor to field verify
the location of any construction activities.

Call 811



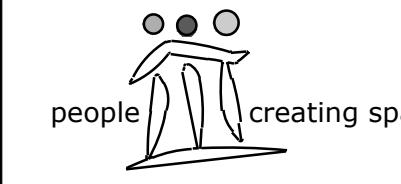
TERRAIN FILING NO. 4
TOWN OF CASTLE ROCK, COLORADO
SITE DEVELOPMENT PLAN
LANDSCAPE PLAN

DESIGNED BY: JWI
DRAWN BY: JWI
CHECKED BY: PCS
JOB NO. 14-001
SHEET 28 OF 35
TERRAIN FILING NO. 4
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0032
SCALE: 1" = 20'-0"

USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

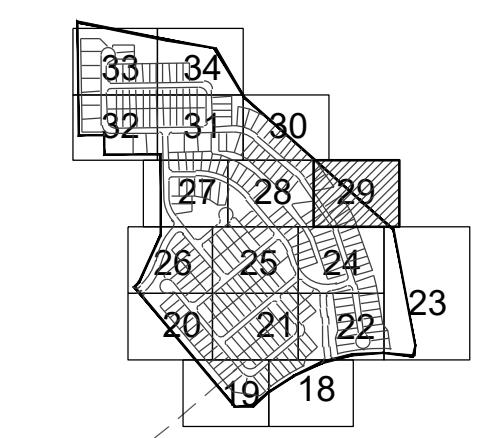
TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

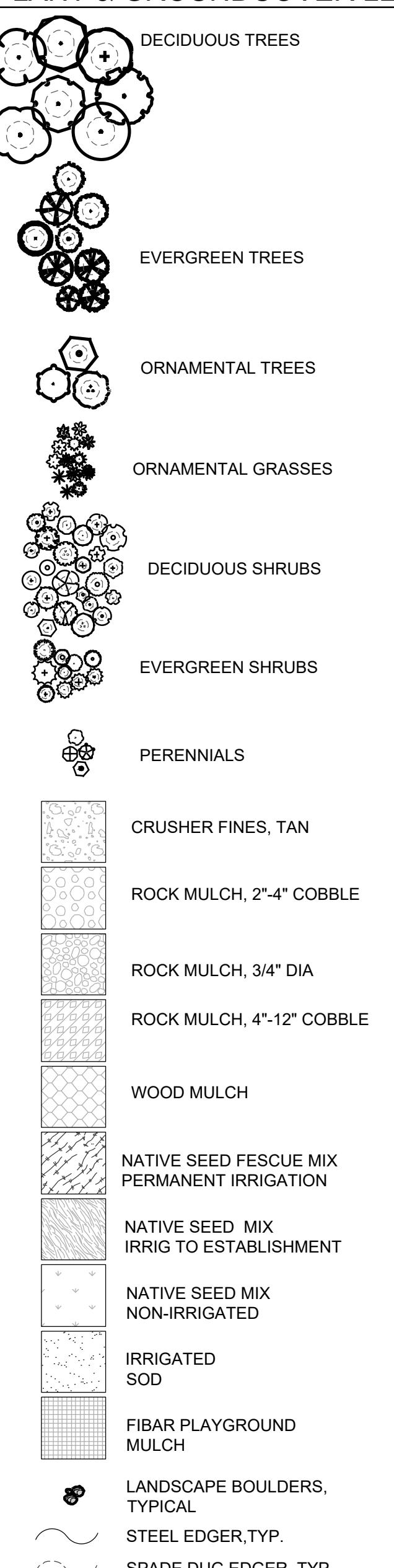
LANDSCAPE PLANS PREPARED BY:

 JAMES WILLIAM IV
 141
 02250500
 LICENSED LANDSCAPE ARCHITECT
 pcs group inc. www.pcsgroupco.com
 #3-180 Independence Plaza
 1007 14th Street, Denver, CO 80265
 303.531.4905 / 303.531.4908

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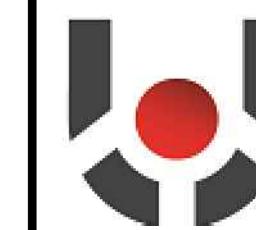
KEYMAP



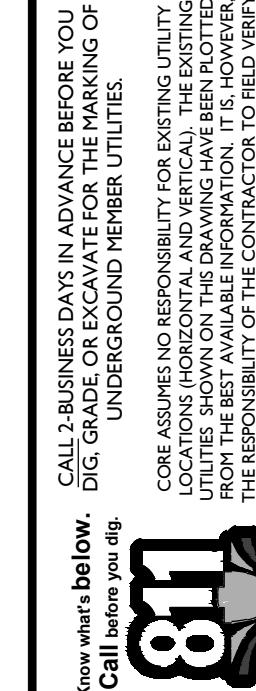
PLANT & GROUNDCOVER LEGEND



CORE
CONSULTANTS



Call 2 business days in advance before you
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underground utility lines.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
LOCATIONS. HORIZONTAL AND VERTICAL LINE LOCATING
FROM THE BEST AVAILABLE INFORMATION IT IS HOWEVER
THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY
THE CORRECTNESS OF ANY CONSTRUCTION ACTIVITIES.



MATCHLINE - RE: SHEET 28

December 21, 2015 Y-TERRAIN LANDSCAPE ARCHITECTURE CURRENT TWISUNSTONE VILAGE/PAS 475-52PA475-52SDPA475-52SDPWJWJ

MATCHLINE - RE: SHEET 30

EXST. VEG.
TO REMAIN
TERRAIN FILING NO. 3
(NOT A PART OF
THIS SUBMITTAL)

FILING BNDY
TERRAIN FILING NO. 4

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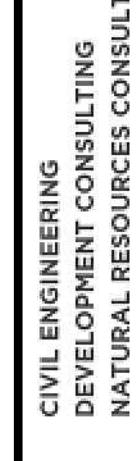
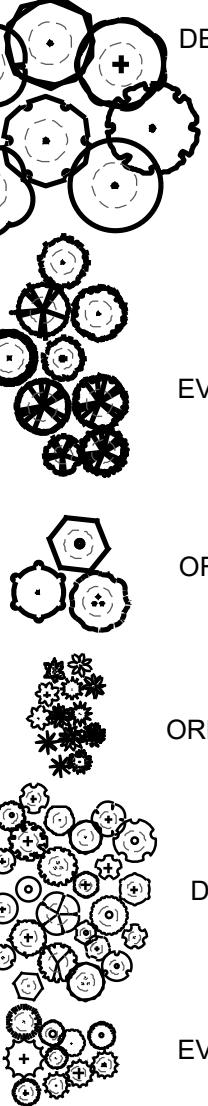
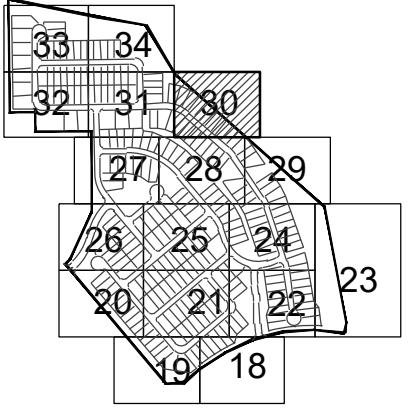
USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

KEYM

PLANT & GROUNDCOVER LEGEND



DESCRIPTION	DATE	BY
Know what's below . Call before you dig.	07/12/18	PCS
	10/22/18	PCS

CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



TERRAIN FILING NO 4 TOWN OF CASTLE ROCK, COLORADO		# REVISION DESIGN 1 1ST SUBMITTAL 2 2ND SUBMITTAL
SITE DEVELOPMENT PLAN LANDSCAPE PLAN		
DESIGNED BY: <u>JW</u> DRAWN BY: <u>JW</u> CHECKED BY: <u>PC</u>		
JOB NO. 14-001		
SHEET 30 OF 35		

DESIGNED BY:	JW
DRAWN BY:	JW
CHECKED BY:	PC
JOB NO.	
14-001	
SHEET	
30	OF 35

MATCHLINE - RE: SHEET 31

December 21, 2015; Y:\TERRAIN\LANDSCAPE ARCHITECTURE\CURRENT DWGS\SUNSTONE VILLAGE\PA'S 47-51-52\PA 47-51-52-SDP\PA 47-51-52-SDP.DWG; JIM

MAICLINE - RE: SHEET 31

PROP LINE

TRACT A

NON-IRRIG NATIVE SEED

TERRAIN FILING NO. 3 (NOT A PART OF THIS SUBMITTAL)

LIMIT OF LANDSCAPE WORK

EXST. VEG. TO REMAIN

42

43

44

45

46

47

48

49

10

11

12

5' CRUSHER FINES SOFT TRAIL

2 17

RAIL FENCE

SILVER ROCK TRAIL

NON-IRRIG NATIVE SEED

ALL WEATHER SURF. MAINT. ACCESS

30' UTIL. FLSMT.

12' TERRAIN FILING NO. 3

12' TERRAIN FILING NO. 4

12' TERRAIN FILING NO. 3

LIMIT OF LANDSCAPE WORK

PROP LINE

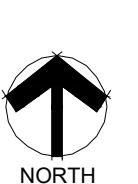
TRACT H

EXST. VEG. TO REMAIN

TERRAIN FILING NO. 3 (NOT A PART OF THIS SUBMITTAL)

MATCHLINE - RE: SHEET 28

MATCHLINE - RE: SHEET 29



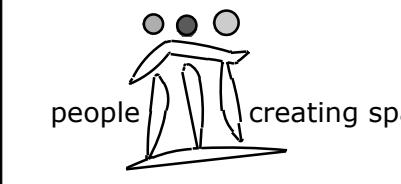
0 10' 20'
SCALE: 1" □ 20'-0"
TERRAIN FILING NO. 4
SITE DEVELOPMENT PLAN
PROJECT NO. SDP18-0032

CHECKED BY: _____
JOB NO.
14-001
SHEET
20 25

USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

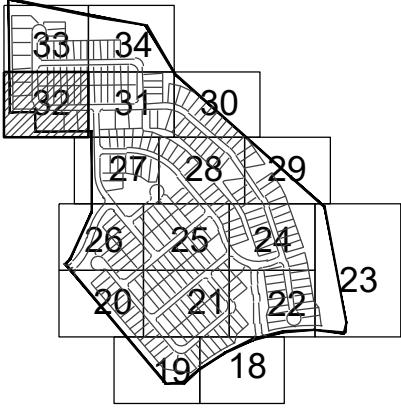
TERRAIN FILING NO. 4

SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

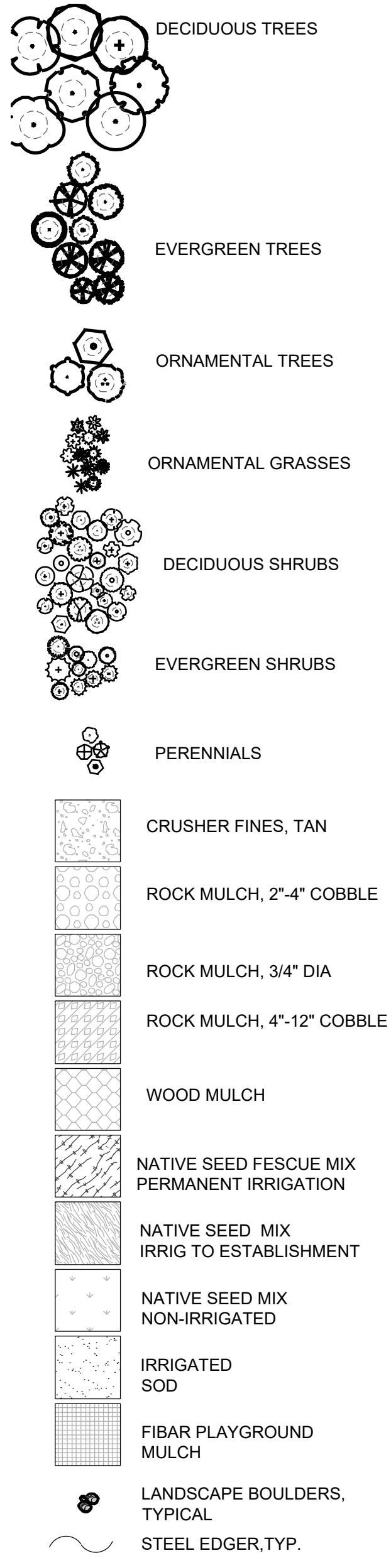
LANDSCAPE PLANS PREPARED BY:

 pcs group inc. www.pcsgroupco.com
 #3, B-180 Independence Plaza
 1007 14th Street, Denver, CO 80265
 303.531.4905 / 303.531.4908

IREA TRANSMISSION ROW NOTES:
 • TREES GROWING TALLER THAN 15 FEET SHOULD NOT BE PLANTED WITHIN TRANSMISSION LINE RIGHTS-OF-WAY.
 • TREES WITH A MAXIMUM MATURE HEIGHT OF LESS THAN 15 FEET MAY BE PLANTED BEHIND OVERHEAD ELECTRIC TRANSMISSION EXCEPT WHEN NEAR STRUCTURES.
 • ALL TREES SHOULD BE PLANTED AT LEAST 20 FEET FROM TRANSMISSION AND DISTRIBUTION POLES AND STRUCTURES.
 • SHRUBS, GROUND COVERS, AND FLOWERS CAN BE PLANTED UP TO THE BASE OF POLES AND STRUCTURES. HOWEVER, MATERIAL MAY BE DESTROYED DURING GROUNDLINE INSPECTION OF WOOD STRUCTURES FOR UNDERGROUND DECAY. DAMAGED OR DESTROYED PLANT MATERIAL WILL NOT BE REPLACED.
 • ALL PLANT MATERIAL IS REQUIRED TO COMPLY WITH IREA GUIDELINES FOR PLANT MATERIALS WITHIN THE TRANSMISSION ROW.

KEYMAP



PLANT & GROUNDCOVER LEGEND



CIVIL ENGINEERING
 DEVELOPMENT CONSULTING
 NATURAL RESOURCES CONSULTING
 LAND SURVEYING
 303.707.4444
 Littleton, CO 80120

CORE
 CONSULTANTS

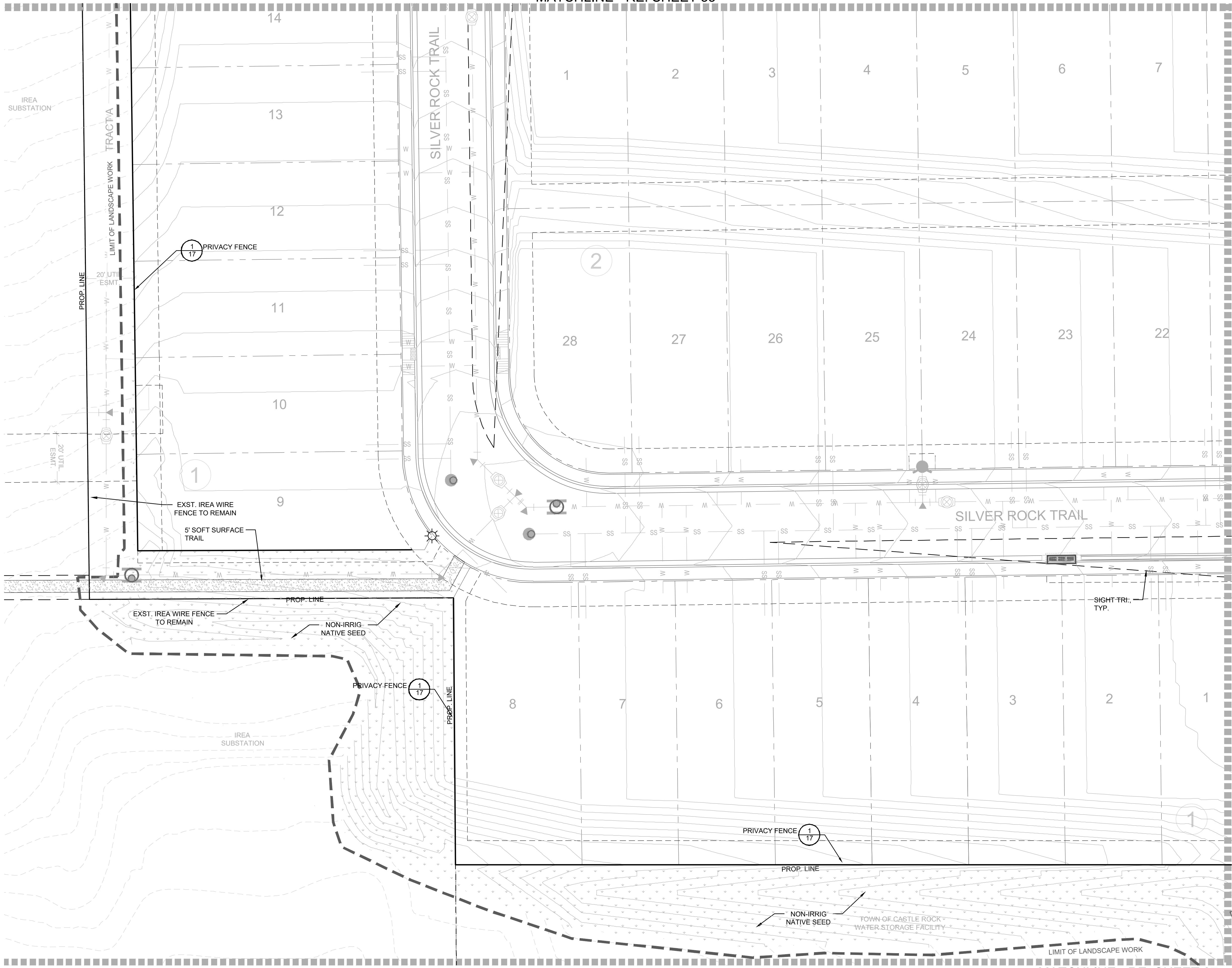


CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
 DIG, GRADE OR EXCAVATE FOR THE MARKING OF
 UNDERGROUND PIPELINE UTILITIES.
 CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
 LOCATIONS. HORIZONTAL AND VERTICAL SETBACKS ARE PROVIDED
 FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER
 THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY
 THE CORRECTNESS OF ANY CONSTRUCTION ACTIVITIES.



TERRAIN FILING NO. 4
 TOWN OF CASTLE ROCK, COLORADO
 SITE DEVELOPMENT PLAN
 LANDSCAPE PLAN

DESIGNED BY: JWI
 DRAWN BY: JWI
 CHECKED BY: PCS
 JOB NO. 14-001
 SHEET 32 OF 35
 TERRAIN FILING NO. 4
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP18-0032
 SCALE: 1" = 20'-0"



USE BY SPECIAL REVIEW SITE DEVELOPMENT PLAN

TERRAIN FILING NO.

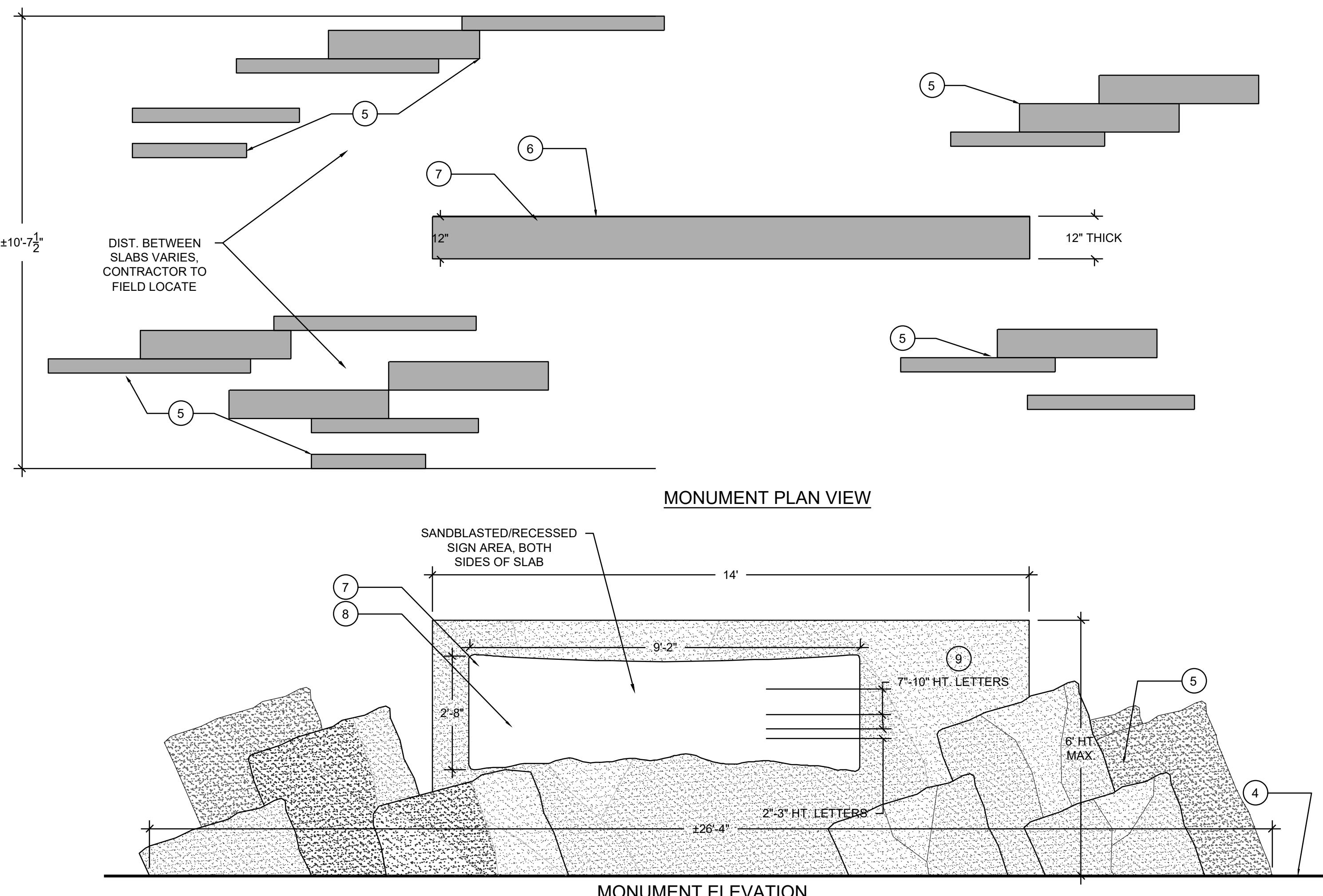
SITUATED IN THE NORTH HALF OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH
PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MONUMENT MATERIAL NOTES:

- ① SANDSTONE SLAB BOULDERS SET VERTICALLY, ANGLED.
- ② SANDSTONE SLAB WITH FABRICATED METAL SIGN PLAQUE
- ③ METAL SIGN PLAQUE, RE: DETAIL, THIS SHEET
- ④ FINISH GRADE
- ⑤ ±4"-8" THICK BOULDER SLAB
- ⑥ SEDIMENTARY SANDSTONE SLAB WITH SAW CUT EDGES, SIENNA BUFF, BY SILOAM STONE (719) 275-4275. STONE MUST SET BE SET VERTICAL TO CURE A MINIMUM OF 90 DAYS PRIOR TO
- ⑦ ETCH/SANDBLAST RECTANGULAR RECESS TO 2" DEPTH, MIN.
- ⑧ PAINT RECESS SURFACE GLOSSY BLACK.
- ⑨ ALUMINUM, LASER CUT LETTERS PIN-MOUNTED TO STONE FACE, SET FLUSH.

MONUMENTS ARE SHOWN TO ILLUSTRATE DESIGN INTENT. LOCATION OF SLABS MAY CHANGE SLIGHTLY DUE TO FIELD CONDITIONS BUT OTHER DESIGN ATTRIBUTES SUCH AS MATERIAL AND COLOR OF SLABS MAY NOT CHANGE WITHOUT APPROVAL OF AN SDP

MONUMENTS ARE SHOWN TO ILLUSTRATE DESIGN INTENT. LOCATION OF SLABS MAY CHANGE SLIGHTLY DUE TO FIELD CONDITIONS BUT OTHER DESIGN ATTRIBUTES SUCH AS MATERIAL AND COLOR OF SLABS MAY NOT CHANGE WITHOUT APPROVAL OF AN SDP AMENDMENT".



1 ENTRY MONUMENT

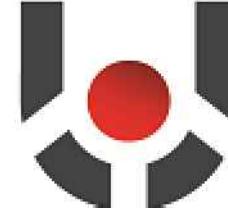
NOT TO SCALE

2 COLUMN SIGNAG

NOT TO SCALE

**CIVIL ENGINEERING
DEVELOPMENT CONSULTING
NATURAL RESOURCES CONSULTING
LAND SURVEYING**

303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



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below.
you dig.



TERAIN FILING NO 4 TOWN OF CASTLE ROCK, COLORADO		# REVISION DESCRIPTION 1 1ST SUBMITAL 2 2ND SUBMITAL	DATE BY 07/12/18 PCS 10/22/18 PCS	Known C-2
SITE DEVELOPMENT PLAN SITE DETAILS				
DESIGNED BY: <u>JWI</u> DRAWN BY: <u>JWI</u> CHECKED BY: <u>PCS</u>				
JOB NO. 14-001				
SHEET 35 OF 35				