



AGENDA MEMORANDUM

To: Honorable Mayor and Members of Town Council

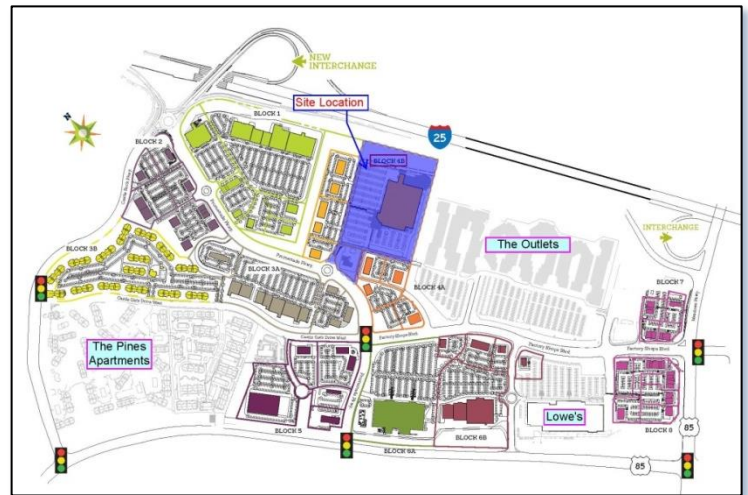
From: Sandy Vossler, Senior Planner, Development Services Department

Title: Resolution: Approving a Site Development Plan for the Proposed Lot 1, Block 4, Promenade at Castle Rock, Filing No. 1

Executive Summary

The Promenade Castle Rock, LLC, as property owner, is seeking approval of the Site Development Plan (SDP) for Lot 1, Block 4 of the Promenade at Castle Rock Filing No. 1 **(Attachment B)**. The site will be developed by Sam's Club as a membership retail warehouse store and fueling station.

Planning Commission held a public hearing on August 6, 2015 (Attachment C). Planning Commission voted 7 to 0 to recommend approval to Town Council.



Vicinity Map

The approximate 16.4 acre site is located north of The Outlets at Castle Rock (The Outlets), west of Interstate 25 and northeast of Factory Shops Boulevard **(Attachment A)**. The SDP proposes:

- Commercial development totaling 136,647 square feet,
- One landscaped outdoor public gathering area,
- Detailed, four-sided architecture, and
- Landscaping that meets the Town's requirements.

At the writing of this staff report, there are staff review comments that are still being resolved. Those items are listed below and discussed later in this report.

- Correct the SFE total for the development to 20 SFE plus the SFE for the irrigation taps.

- Add the recording date and reception number of the Promenade at Castle Rock Development Agreement.
- Submit an updated SDP reflecting appropriate roundabout access modifications.
- Master Developer obtains CDOT Access Permit for connection to Castle Rock Parkway prior to issuing an infrastructure Construction Permit for this site.

Findings and Recommendation

The proposed SDP meets the objectives and criteria of the following guidelines and regulations:

- Promenade at Castle Rock Vision Book
- Promenade at Castle Rock Planned Development (PD) Plan, PD Zoning Regulations and Architectural Design Guidelines and Standards
- Town of Castle Rock Vision 2020 and Comprehensive Master Plan
- Municipal Code Chapter 17.10 (Design Principles), Chapter 17.38 (Site Development Plan)

Planning Commission recommends to Town Council approval of the proposed Lot 1, Block 4, Promenade at Castle Rock Filing No. 1 Site Development Plan with the following conditions:

1. All Real Property staff review comments are addressed,
2. All Utility staff review comments are addressed,
3. All Public Works staff review comments are addressed, including the following:
 - a. If it is determined that additional on-site improvements or revised traffic configurations are necessitated as a result of the final approved traffic impact analysis for Lot 1, Block 4, such improvements or revisions shall be incorporated into the Site Development Plan prior its execution and recordation.
4. Pursuant to 7.03 of the Promenade at Castle Rock Development Agreement, the approval of the Site Development Plan shall be conditioned on the issuance of the Access Permit (as defined therein) for the connection to Castle Rock Parkway by the Colorado Department of Transportation prior to the issuance of a building permit for Lot 1, Block 4, and
5. A revised Site Development Plan reflecting the conditions set forth above is submitted and accepted by Town staff prior to execution and recordation of the Site Development Plan.

Since the Planning Commission hearing all Utility staff review comments have been addressed.

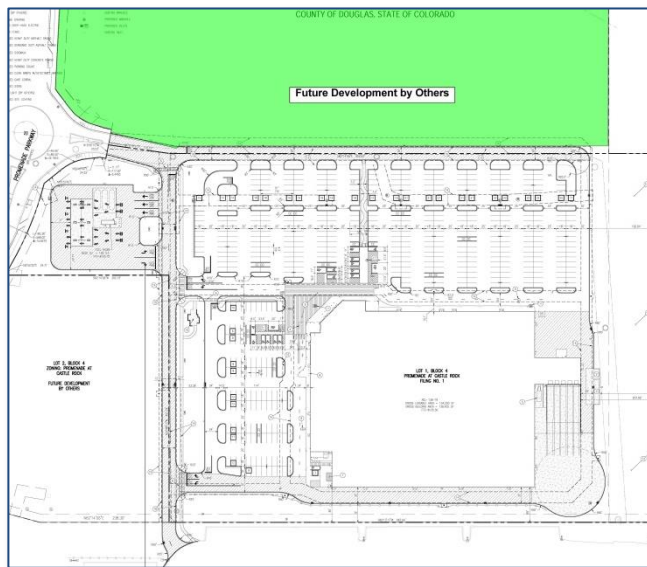
Discussion

Promenade Vision

The Promenade Vision and Zoning standards are intended to ensure the development of a unique regional business and commercial center. A prairie and mountain village vernacular will be created using a palette of natural materials and details, such as tower elements, barn wood accents around entries and standing seam metal roof capping.

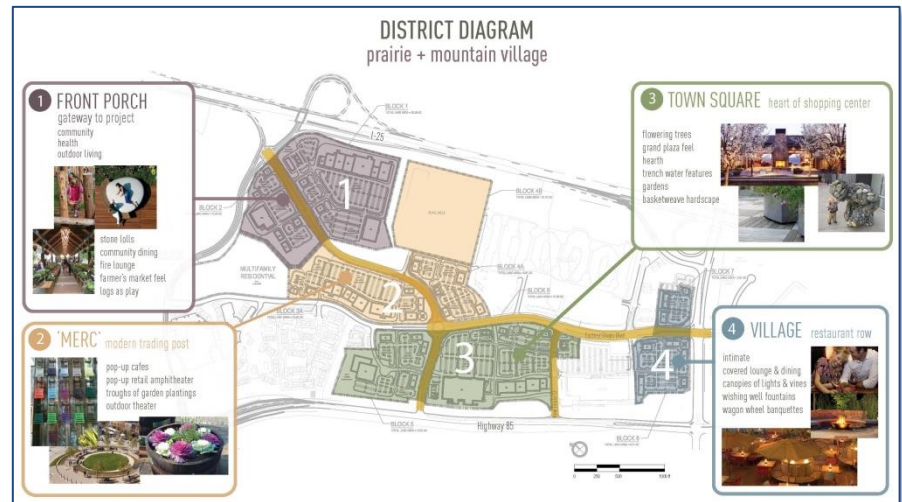
The Promenade Vision Book reflects specific themes for the various commercial areas of the PD. Blocks 2 and 4 comprise the area of the Promenade PD characterized as

“Merc”. Through creative architectural, landscaping and site design elements the character of this commercial area should be reflective of a modern trading post with such elements as benches at storefronts and planting containers and the architectural accents noted above.



Proposed Site Development Plan

area intended for national retail tenants to develop prototypical building footprints, using individual development criteria. The Architectural Standards also identify a public gathering space to be located on Block 4. The complete Promenade PD Plan and PD Zoning Regulations, as well as the Vision Book, are available at www.crgov.com/Promenade.

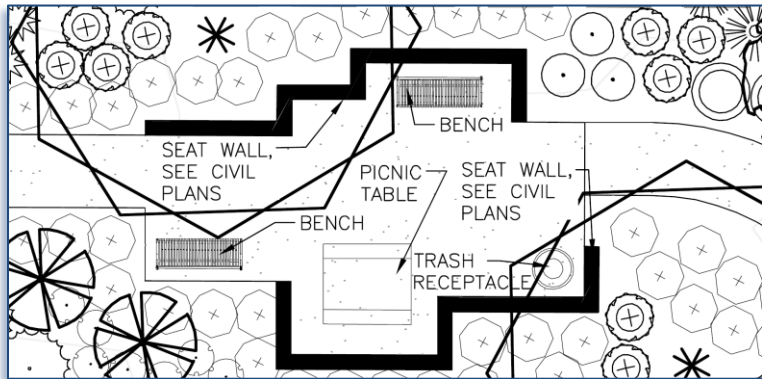


Character Districts

Proposed Site Development Plan

The 16.4 acre site located north of The Outlets at Castle Rock and west of I-25 will be developed in phases. The first phase proposes approximately 136,647 s.f. of commercial space to include a large warehouse retail space and a separate fueling station. Infrastructure for the entire site will be completed with the first phase of development. The SDP proposes parking and landscaping for the first phase only. The area shaded in green on the illustration will be developed by others in the future, at which time the SDP will be amended.

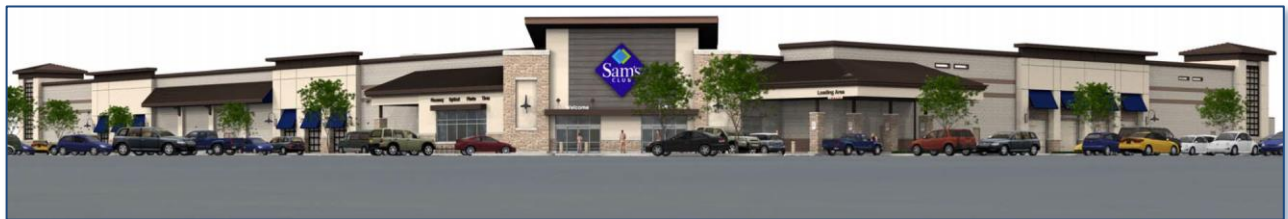
Per the Promenade Vision, one public gathering space is planned for the site (see red star on illustration above). These spaces are intended as places where people can sit and take in the views, colorful landscaping and activity in and around the site. The plaza space will be landscaped and include benches and a picnic table.



Proposed Plaza Amenities

Large canopy trees are used generously throughout the parking lot to provide vision interest and shade and create a desirable pedestrian environment. Pedestrian walkways are appropriately located on the site periphery and through the parking lot to provide direct access to the building entrance.

One primary point of access to the site is planned from Promenade Parkway. A secondary access point at the southwest corner of the property is planned that would provide a connection to The Outlets at Castle Rock and allowed a second point of access for emergency purposes. Construction of this secondary access will require agreement from the owner of The Outlets.



Proposed Building Elevation

Four-sided architecture is provided, as is required by the Promenade PD Architectural Standards. Parapet and tower elements add interest and variation to the roofline. The exterior wall materials include colored split face CMU, wood planking, stone veneer and colored metal awnings. The architectural design and choice of materials combine to break up the plane of the walls and create vertical and horizontal articulation.

Public Outreach, Notice and External Referrals

- *Neighborhood Meeting:* A neighborhood meeting was held on December 8, 2014 that was attended by approximately 17 people. Representatives from Sam's Club provided a brief overview of the development and answered general questions from the audience. The questions raised were generally related to the construction schedule, opening dates and traffic.
- *Public Notice:* The SDP was noticed in accordance with the Town of Castle Rock Municipal Code. The applicant posted public hearing signs on the streets nearest to the site. Written notices were mailed to property owners within 300 feet of the property and surrounding Homeowner Associations (HOA). Town staff published notice on the Town's website and featured the proposal on the *In Your Backyard* map.
- *External Referrals:* Requests for external comments were sent to the various utility service providers, Douglas County Government, Colorado Department of Transportation, Colorado Division of Wildlife and surrounding HOAs. All comments have been acknowledged and addressed.

History of Past Town Council, Boards & Commissions, or Other Discussions

Planning Commission – August 6, 2015

The Commission asked questions about cross-access between Block 1 and Block 4, as well as access to The Outlets at Castle Rock, views of the rooftop units from the Interstate and whether the fueling station would be for members only. Public Works answered questions about traffic generated by the development and impacts to roundabout. No members of the public addressed the Commission. Planning Commission voted 7-0 to recommend to Town Council approval of the proposed Site Development Plan.

Analysis of Review and Approval Criteria

Staff has analyzed the proposed site plan according to the requisite review criteria and has made the following findings. Hyperlinks to the review criteria are provided below. The links can be opened by simultaneously hitting Control and the mouse left click button on your computer.

Community Vision - Vision 2020/Comprehensive Master Plan (Chapter 17.38.040.A)

(https://www.municode.com/library/co/castle_rock/codes/municipal_code?nodeId=TIT17ZO_CH17.38SIDEPL_17.38.040SIDEPLREAPCR) and (<http://crgov.com/index.aspx?nid=326>)

The SDP complies with the Town's guiding documents, which anticipate this site will be developed as mixed use including regional commercial and retail uses. The plan supports the four cornerstones of the Town's vision with distinctive architecture and

landscaping, interconnected pedestrian and vehicular systems, efficient infrastructure facilities and economic development to contribute to a strong sales tax revenue base.

Land Use Entitlements – The Promenade PD Zoning Requirements

(www.crgov.com/Promenade)

The guidelines and standards of the Promenade PD Plan, PD Zoning Regulations and Architectural Standards are met with the proposed site plan. The building design incorporates natural materials, varied rooflines, and four-sided, detailed architecture. The vertical and horizontal articulation of the exterior walls will minimize the mass of the large format buildings. The site landscaping, pedestrian walkways and plaza amenities will provide an inviting pedestrian environment on a site that is intended for large national retailers. The proposed materials and color palette comply with the approved PD Master Palette.

Land Development and General Design Principles (Chapter 17.10)

(https://www.municode.com/library/co/castle_rock/codes/municipal_code?nodeId=TIT17ZO_CH17.10LADEENDEPR)

The site plan complies with the Town's site design principles found in Chapter 17.10 TOCRM. Direct vehicular, pedestrian and bicycle access is planned throughout the site, with minimal conflict between the different modes of travel. Two points of access are proposed meeting the requirement for emergency vehicle access. No buildable portion of the site is located within a 100-year floodplain. Stormwater, water and sanitary sewer facilities are available or will be extended to serve the property. The water resources for this project will be met with available credits in the Promenade Water Bank. The site is not subject to the Skyline/Ridgeline Protection Ordinance, nor does it contain Preble's Meadows Jumping Mouse habitat. Burrowing Owl surveys have been conducted and concluded that Burrowing Owls are not present on the property.

Site Layout and Relationship to Surrounding Area (Chapter 17.38.040.B)

(https://www.municode.com/library/co/castle_rock/codes/municipal_code?nodeId=TIT17ZO_CH17.38SIDEPL_17.38.040SIDEPLREAPCR)

The Block 4 SDP is part of the larger Promenade PD development and is consistent with the planned design and uses surrounding the property. The proposed SDP meets the required development standards, including height, lot coverage and allowable square footage. The setbacks from the adjacent roadways are appropriate and allow space for landscaping and pedestrian walkways. The landscaping throughout the site will provide visual interest, shade, and color and will reduce the heat island associated with the parking lots. The architecture complies with the Promenade Vision and Zoning requirements and promotes the rustic prairie and mountain character theme. A public gathering area creates a comfortable outdoor space.

Circulation and Connectivity – (Chapter 17.38.040.C)

(https://www.municode.com/library/co/castle_rock/codes/municipal_code?nodeId=TIT17ZO_CH17.38SIDEPL_17.38.040SIDEPLREAPCR)

The site will be served by Promenade Parkway, a 4-lane collector road with a roundabout planned at the entrance to Block 4. At the time of the Promenade rezoning

a master traffic study was completed, and subsequently approved by Town staff. An addendum to the study was submitted with this SDP. The purpose of a traffic addendum letter is to refine the analysis of the master study using the actual uses and densities proposed in the SDP. Based on the increases in traffic anticipated in the addendum letter and analysis, the volumes on the west leg of the roundabout are in a range that results in a level of service (LOS) that does not meet the Town's minimum requirements. The applicant's engineer is designing modifications to the roundabout that result in an acceptable LOS. At the writing of this report, the revised roundabout design and associated traffic analysis have not been completed and submitted to the Town for review. A recommendation for approval of this SDP includes a condition that an updated site plan and analysis, which accomplish an acceptable LOS, be submitted and accepted by Town staff.

A secondary point of access to the site is planned from the adjacent Outlets property. As previously noted, the connection requires the cooperation of the adjacent property owner. Sidewalk improvements will provide pedestrian connectivity to and through the site.

The Master Developer is required to obtain an access permit from the Colorado Department of Transportation (CDOT) for the Promenade Parkway intersection at Castle Rock Parkway. CDOT and the Federal Highways Administration (FHWA) are currently reviewing the access permit. The permit is expected to be granted; however, if CDOT or FHWA require modifications, the master developer will need to accommodate the changes.

Services, Phasing and Off-Site Impacts (Chapter 17.38.040.D)

https://www.municode.com/library/co/castle_rock/codes/municipal_code?nodeId=TIT17ZO_CH17.38SIDEPL_17.38.040SIDEPLREAPCR

Adequate water resources are available to support the proposed level of development on the site. The master water quality and detention facilities for the Promenade PD development are sufficient to support the stormwater run-off from this site. Water and sanitary sewer facilities will be extended to service the site. There are minor technical utility comments that are being addressed by the applicant, will be conditions of a recommendation of approval and are outlined later in this report.

The SDP indicates that 85 Single Family Equivalents (SFE) will be deducted from the Promenade Water Bank. The correct deduction will be 20 SFE and staff has requested this revision to the SDP. This correction is a condition of approval.

Open Space, Public Lands and Recreation Amenities (Chapter 17.38.040.E)

https://www.municode.com/library/co/castle_rock/codes/municipal_code?nodeId=TIT17ZO_CH17.38SIDEPL_17.38.040SIDEPLREAPCR

The open space and public land dedications were satisfied with the approval of the Promenade at Castle Rock PD.

Preservation of Natural Features (Chapter 17.38.040.F)

(https://www.municode.com/library/co/castle_rock/codes/municipal_code?nodeId=TIT17ZO_CH17.38SIDEPL_17.38.040SIDEPLREAPCR)

The property is not within the Skyline-Ridgeline Protection area. It has been determined that there are no protected or endangered species present on the site. The State Department of Natural Resources – Division of Wildlife provided survey guidelines for detecting Western Burrowing Owls on the site because of the history of prairie dog burrows on and adjacent to the site. On behalf of Promenade Castle Rock, LLC, ERO Resources Corporation (ERO) conducted a series of burrowing owl surveys on the site and concluded that burrowing owls are not present on the site.

Conditions of Approval

Staff has completed the final review of the proposed Site Development Plan. The applicant is in the process of making revisions to the SDP that address and resolve the staff comments. At the writing of this report the revised SDP submittal has not been received, therefore, the outstanding items are outlined below and grouped by subject. A recommendation of approval should be conditioned upon resolution of the outstanding items and the motion below is written to that effect.

- Correct the SFE total for the development to 20 SFE plus the SFE for the irrigation taps.
- Add the recording date and reception number of the Promenade at Castle Rock Development Agreement.
- Submit an updated SDP reflecting appropriate roundabout access modifications.
- Master Developer obtains CDOT Access Permit for connection to Castle Rock Parkway prior to issuing an infrastructure Construction Permit for this site.

The only comment that has the potential to affect the above ground improvements proposed with this SDP is related to the roundabout access modifications. If, for example, modifications to the roundabout necessitate the addition of a lane on the primary access drive to the site, the sidewalk, landscaping and/or the fueling station may shift. The applicant and staff are continuing to work through the remaining comments and an update will be provided to the Commission at the hearing regarding the items that have been resolved. Staff concludes that any or all of these potential changes would have little effect on the major attributes of the site design.

Budget Impact

The proposed commercial/retail development will generate review and impact fees, along with use taxes. The restaurant and retail uses proposed for the site will generate sales tax revenue.

Recommendation

Planning Commission found that Lot 1, Block 4, Promenade at Castle Rock Filing No. 1 Site Development Plan, with conditions as summarized in this report, complies with the following review and approval criteria:

- Promenade at Castle Rock Vision Book
- Promenade at Castle Rock Planned Development (PD) Plan, PD Zoning Regulations and Architectural Design Guidelines and Standards
- Town of Castle Rock Vision 2020 and Comprehensive Master Plan
- Municipal Code Chapter 17.10 (Design Principles), Chapter 17.38 (Site Development Plan)

Proposed Motion

I move to approve a Resolution approving the Lot 1, Block 4, Promenade at Castle Rock Filing No. 1 Site Development Plan, with the following conditions:

1. All Real Property staff review comments are addressed,
2. All Public Works staff review comments are addressed, including the following:
 - a. If it is determined that additional on-site improvements or revised traffic configurations are necessitated as a result of the final approved traffic impact analysis for Lot 1, Block 4, such improvements or revisions shall be incorporated into the Site Development Plan prior its execution and recordation.
3. Pursuant to 7.03 of the Promenade at Castle Rock Development Agreement, the approval of the Site Development Plan shall be conditioned on the issuance of the Access Permit (as defined therein) for the connection to Castle Rock Parkway by the Colorado Department of Transportation prior to the issuance of a building permit for Lot 1, Block 4, and
4. A revised Site Development Plan reflecting the conditions set forth above is submitted and accepted by Town staff prior to execution and recordation of the Site Development Plan.

Attachments

Attachment A: Map
Attachment B: Resolution
Exhibit 1: SDP
Attachment C: PC Minutes