

SITE DEVELOPMENT PLAN
LOT 1, BLOCK 4, PROMENADE AT CASTLE ROCK, FILING NO. 1
LOCATED IN THE N. 1/2 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,
COUNTY OF DOUGLAS, STATE OF COLORADO

CONTACTS:

DEVELOPER

SAVY REAL ESTATE BUSINESS TRUST
2001 S.E. 10TH STREET,
DENVER, COLORADO 80202
(773) 275-4000 TELEPHONE

CIVIL ENGINEER

GALLOWAY & COMPANY
4155 WILSON DRIVE, SUITE 300
GREENWOOD VILLAGE, CO 80111
PUEBLO, COLORADO, CO 81002
TEL: (303) 770-8884
FAX: (303) 770-3084

ARCHITECT OF RECORD

THEODORE HILSON
211 N. SECOND STREET, SUITE 222
DALLAS, TX 75202
TEL: (214) 748-0028

SURVEYOR

ENGINEERING SERVICE COMPANY
1300 SOUTH PUEBLO, SUITE 108
ARLINGTON, CO 80010
CHP REGISTRATION, PLS
MAIL: (303) 337-1383
FAX: (303) 337-7481

TITLE COMPANY

STURM TITLE
55 MARION STREET, SUITE 400
DENVER, CO 80202
LARA BIEL
TEL: (303) 780-4041



VICINITY MAP
NOT TO SCALE

SITE DEVELOPMENT PLAN GENERAL NOTES

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNER, HEIR, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, STRUCTURES, HYDRAULIC STRUCTURES AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS NOTICED BY THE SUBORDINATION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER. SUBSEQUENT OWNER, HEIR, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
2. PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK REGULATION, THE PROPERTY OWNER, SUBSEQUENT OWNER, HEIR, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE MAINTENANCE/PROPERTY OWNER OR OTHER PARTY, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, WEEDING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DAMAGED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CORRECT OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF PRECISELY LANDSCAPED MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN WRITTEN NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION DEPARTMENT REGULATES TIMES OF IRRIGATION AND PROMOTES THE EFFICIENT USE OF POSSIBLE WATER THROUGH APPROPRIATE IRRIGATION.
3. THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. A FLOOD DRAINAGE CHANNEL EXISTS ON SITE FOR FLOW FROM FIRM 0000000000. WATER DEVELOPER HAS SUBMITTED A CLOUTY (GAGE NUMBER 15-04-00000) TO THE ADJUTANT CORPS OF ENGINEERS (ACED) TO RELOCATE CHANNEL.
5. WEEDS AND GRASS DO NOT EXIST ON SITE AND WILL BE REMOVED AND OR MITIGATED IN ACCORDANCE WITH TOWN OF CASTLE ROCK, DOUGLAS COUNTY, AND ADJACENT REGULATIONS BY THE WATER DEVELOPER.
6. ANY STREET SIGNALS, STOPPING, STREET LIGHTS AND CURB RAMP ARE SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
7. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
8. APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
9. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FINISHED ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CULVERTS, LOT SIGNS, AND BEING SHALL BE PLACED WITHIN SHORT DISTANCE LINES AND SHORT DISTANCE EASEMENTS.
10. THE PURPOSE AND USE OF ALL TRACTS, TO WHICH THE TRACTS WILL BE DEEDED WITH THE PLAN AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE OF SHOWN IN A TABLE ON THE SITE DEVELOPMENT PLAN.
11. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SHORT DISTANCE AND PUBLIC ACCESS/THRU EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAN.
12. THIS SITE IS ZONED PROMENADE AT CASTLE ROCK PD.
13. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND EASEMENTS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, FIREMANSHIP ASSOCIATION, OR OTHER PROPERTY MAINTENANCE ENTITY.
14. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY. A 10-FOOT UTILITY EASEMENT ALONG EACH SIDE OF THE LOT, INCLUDING THE UTILITY EASEMENT ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC AND GAS LINES, CABLE LINES, CABLE TV LINES, AND TELEPHONE LINES, AS WELL AS PERMISSIBLE RIGHT FOR PROGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
15. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DEPARTMENT PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE) REGULATIONS OF THE MUNICIPAL CODE.

FIRE NOTES

1. IF THE FIREMANSHIP ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANTS ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. APPROVED FIRE APPROXIMATE ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MAINTAINED BY THE TOWN OF CASTLE ROCK. THE FIRE APPROXIMATE ACCESS ROAD SHALL EXTEND TO WITHIN 100 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5. FIRE APPROXIMATE ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDER, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
6. FIRE APPROXIMATE ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT A MINIMUM LOAD OF FIVE APPROXIMATE TONS AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CHARACTERISTICS. THE TERM "ALL-WEATHER DRIVING" MEANS THAT THE ROAD SHALL BE CONSTRUCTED OF ASPHALT OR CONCRETE OR APPROVED OTHER DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE DEPARTMENT: (A) SIGNS ARE POSTED ON BOTH SIDES OF THE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 25 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 25 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANE FOR EMERGENCY VEHICLE MOVEMENT AND EGRESS, INCLUDING SIGNAGE.

SHEET LIST

SHEET NO.	TITLE
1	COVER SHEET
2	SITE PLAN
3	GRADING PLAN
4	UTILITY PLAN
5	LANDSCAPE PLAN - WEST
6	LANDSCAPE PLAN - EAST
7	LANDSCAPE NOTES AND DETAILS
8	PHOTOMETRIC PLAN
9	PHOTOMETRIC DETAILS
10	PHOTOMETRIC DETAILS
11	BUILDING ELEVATIONS
12	DIMENSIONED BUILDING ELEVATIONS
13	FUEL STATION ELEVATIONS
14	BALE/PALLET AND ORGANICS ENCLOSURE
15	BUILDING SITE SECTION
16	SIGHTLINE STUDY

BENCHMARK

NE CORNER POINT 8-23
BENCH MARK FOR SET IN CONCRETE POST
3.86 FEET FROM STATION, 30 MILES SOUTHWEST ALONG THE DENVER AND RIO GRANDE WESTERN
RAILROAD FROM THE STATION AT SECTION 32 AND WEST OF A PRIVATE ROAD CROSSING, 0.15
MILE EAST OF BRIDGE 27-26, 75 FEET SOUTH OF THE CENTER LINE OF U.S. HIGHWAY 80, 48.4
FEET NORTH OF THE NORTH 1/4, 2 FEET EAST OF A WINDING ROAD, 140 FEET WEST OF THE
NORTH 1/4 CORNER OF A 40 ACRE PLOT LOCATED UNDER THE NATIONAL SET IN THE TOP OF A
CONCRETE POST WHICH PROJECTS 0.4 FOOT ABOVE THE GROUND. ELEVATION: 5984.85 FEET
(NAD 1983 DATUM)

BASIS OF BEARING

THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 22 AND NORTH LINE OF THE
NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH
PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO, BEING THE NORTHWEST
CORNER OF SECTION 27 AND THE SOUTHWEST CORNER OF SECTION 22 IN PLAIN 2-1/4
ALUMINUM CAP STAMPED "L.S. 1987", AND THE NORTH 1/4 CORNER OF SECTION 27
AND THE SOUTH 1/4 CORNER OF SECTION 22 IN PLAIN 2-1/2" CAP STAMPED "T.S. 2264
1987", AND BEING BEING NORTH BY REFERENCE

LEGAL DESCRIPTION

LOT 1, BLOCK 4, PROMENADE AT CASTLE ROCK FILING NO. 1, ACCORDING TO THE RECORDED
PLAN THEREOF, DOUGLAS, STATE OF COLORADO.

SITE DATA - SUMMARY TABLE	
ZONE/TYPE	PROMENADE AT CASTLE ROCK PD
REQUIRED	20% REQUIRED
PROVIDED	20% PROVIDED
GRASSY FLOOR AREA	136,495 S.F.
GRASSY LANDSCAPE AREA	136,495 S.F.
BUILDING FOOTPRINTS:	
STANDARD	20 FEET
REAR	20 FEET
FRONT	20 FEET
BUILDING PERIMETER:	
NORTH	N/A
SOUTH	N/A
EAST	N/A
WEST	N/A
PARKING:	
REQUIRED	476 SPACES
PROVIDED	529 SPACES
HANDICAP	12 SPACES
HC MIN	6 SPACES
PROVIDED TOTAL	540 SPACES
BI-CYCLE PARKING	
REQUIRED	8 SPACES
PROVIDED	8 SPACES
MAXIMUM BUILDING HEIGHTS:	
STORY	10' MAX
STORY	10' MAX
STORY	10' MAX
LAND COVER/VEGETATION SUMMARY:	
TOTAL	755,612 100% 14.43
GRASSY FLOOR	136,495 18% 3.12
GRASSY LANDSCAPE	136,495 18% 3.12
TOTAL BUILDING AREA	136,495 18% 3.12
LANDSCAPE AREA WITH TREES	136,495 18% 3.12
HANDICAPED NOT WITHIN	
LANDSCAPE AREA	136,495 18% 3.12
PARKING LOT AREA	286,779 41% 6.81
PARKING LOT LANDSCAPE	42,475 6% 0.96
TOTAL LANDSCAPE	136,495 18% 3.12
TOTAL LANDSCAPE	136,495 18% 3.12

SIGNATURE BLOCKS

OWNERSHIP CERTIFICATION
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK,
COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

PROMENADE AT CASTLE ROCK, LLC, A DELAWARE LIMITED LIABILITY COMPANY
BY: ALBERTA CASTLE ROCK MANAGEMENT, LLC
A COLORADO LIMITED LIABILITY COMPANY,
ITS AUTHORIZED AGENT

BY: _____
DONALD G. PROSE, MANAGER

SIGNED THIS _____ DAY OF _____, 2015.

NOTARY BLOCK
SUBSCRIBED AND SHOWN TO BEFORE ME THIS _____ DAY OF _____, 2015.
BY JANE WACHOWSKI, A MANAGING DIRECTOR OF THE PRINTERMAN AND TRUST COMPANY,
AUTHORIZED AGENT FOR PROMENADE AT CASTLE ROCK, LLC.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

LENDER SUBORDINATION CERTIFICATE
THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LENDERS OF CERTAIN LANDS IN THE
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.
THE UNDERSIGNED MORTGAGEES OF THE LAND COVERED BY THE INSTRUMENT RECORDED
OCTOBER 22, 2014 AT RECEPTION NO. 20140101, DOUGLAS COUNTY, COLORADO,
SUBORDINATES THE SUBJECT LAND TO THE TOWN, CONDITIONS AND RESTRICTIONS OF THIS
DOCUMENT.

THE PRINTERMAN AND TRUST COMPANY, AN ILLINOIS BANKING CORPORATION
BY JANE WACHOWSKI, MANAGING DIRECTOR

SIGNED THIS _____ DAY OF _____, 2015.

NOTARY BLOCK
SUBSCRIBED AND SHOWN TO BEFORE ME THIS _____ DAY OF _____, 2015.
BY JANE WACHOWSKI, A MANAGING DIRECTOR OF THE PRINTERMAN AND TRUST COMPANY,
WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

CIVIL ENGINEER'S STATEMENT
I, _____, BEING A REGISTERED
PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING,
UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN
DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC
WORKS CONSTRUCTION REQUIREMENTS.

REGISTERED PROFESSIONAL ENGINEER _____ DATE _____

PLANNING COMMISSION RECOMMENDATION
THE SITE DEVELOPMENT PLAN HAS BEEN RECOMMENDED FOR APPROVAL BY THE PLANNING
COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE _____ DAY OF
_____, 2015.

CHART _____ DATE _____
ATTEN: _____

DIRECTOR OF DEVELOPMENT SERVICES _____ DATE _____

TOWN COUNCIL APPROVAL
THE SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF
CASTLE ROCK, COLORADO, ON THE _____ DAY OF _____, 2015.

MAJOR _____ DATE _____
ATTEN: _____

TOWN CLERK _____ DATE _____

TITLE CERTIFICATION
I, _____, AN AUTHORIZED REPRESENTATIVE OF
_____, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL
DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY
SUPERVISION AND THE INSTRUMENTS SHOWING THEREON ACCURATELY REFLECT AND THIS SITE
DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

AUTHORIZED REPRESENTATIVE _____
DATE _____

TITLE COMPANY
SIGNED THIS _____ DAY OF _____, 2015.

NOTARY BLOCK
SUBSCRIBED AND SHOWN TO BEFORE ME THIS _____ DAY OF _____, 2015.
BY _____ AS AUTHORIZED REPRESENTATIVE
OF _____

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

SURVEYOR'S CERTIFICATE
I, _____, A REGISTERED PROFESSIONAL LAND
SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL
DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY
SUPERVISION AND THE INSTRUMENTS SHOWING THEREON ACCURATELY REFLECT AND THIS SITE
DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR _____ DATE _____

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE
THE SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY
CLERK AND RECORDER OF DOUGLAS COUNTY AT _____ ON THE _____ DAY
OF _____, 2015 AT RECEPTION NO. _____

DOUGLAS COUNTY CLERK AND RECORDER
BY: _____

WATER RIGHTS DEDICATION AGREEMENT
THE PROVISION OF WATER RIGHTS TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND
CONDITIONS OF THE PROMENADE AT CASTLE ROCK DEVELOPMENT AGREEMENT, RECORDED ON
THE _____ DAY OF _____, 2015 AT RECEPTION NO. _____
AND ACCORDINGLY AS SET FORTH IN THE WATER BANK.

SDP15-0001 - SITE DEVELOPMENT PLAN
LOT 1, BLOCK 4, PROMENADE
AT CASTLE ROCK FILING NO. 1

Galloway
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303.775.3888 F
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RETAIL AND FUEL DEVELOPMENT
LOT 1, BLOCK 4
PROMENADE AT CASTLE ROCK
FILING NO. 1
CASTLE ROCK, COLORADO

#	Date	Issue / Description
1	01/05/2015	SDP 001-0001
2	01/05/2015	SDP 001-0001
3	01/05/2015	SDP 001-0001
4	01/05/2015	SDP 001-0001
5	01/05/2015	SDP 001-0001
6	01/05/2015	SDP 001-0001
7	01/05/2015	SDP 001-0001
8	01/05/2015	SDP 001-0001
9	01/05/2015	SDP 001-0001
10	01/05/2015	SDP 001-0001
11	01/05/2015	SDP 001-0001
12	01/05/2015	SDP 001-0001
13	01/05/2015	SDP 001-0001
14	01/05/2015	SDP 001-0001
15	01/05/2015	SDP 001-0001
16	01/05/2015	SDP 001-0001
17	01/05/2015	SDP 001-0001
18	01/05/2015	SDP 001-0001
19	01/05/2015	SDP 001-0001
20	01/05/2015	SDP 001-0001

Project No: M0104853
Drawn By: RDC
Checked By: PMG
Date: 01/05/2015
Task File: M0104853_P_01-Cover.dwg
SHEET TITLE:
COVER SHEET

SITE LEGEND

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY LINE
- EXISTING EASEMENT LINE
- PROPOSED CURB AND GUTTER
- CURB AND GUTTER BY OTHERS
- FUTURE (BY OTHERS)
- FL FIRE LINE STRIPING
- OHE EXISTING OVER-HEAD ELECTRIC
- EXISTING FENCE
- PROPOSED HEAVY DUTY ASPHALT PAVING
- PROPOSED STANDARD DUTY ASPHALT PAVING
- PROPOSED SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE PAVING
- PROPOSED PARKING COUNT
- PROPOSED CURB RAMP W/ DETECTABLE WARNING
- PROPOSED CURB CORNER
- PROPOSED SLOPE
- STREET LIGHT (BY OTHERS)
- PROPOSED SITE LIGHTING
- PROPOSED MANHOLE (BY OTHERS)
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED ELECTRIC TRANSFORMER
- EXISTING MANHOLE
- PROPOSED MANHOLE
- PROPOSED INLET
- EXISTING INLET

SITE DEVELOPMENT PLAN

LOT 1, BLOCK 4, PROMENADE AT CASTLE ROCK, FILING NO. 1
LOCATED IN THE N. 1/2 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,
COUNTY OF DOUGLAS, STATE OF COLORADO

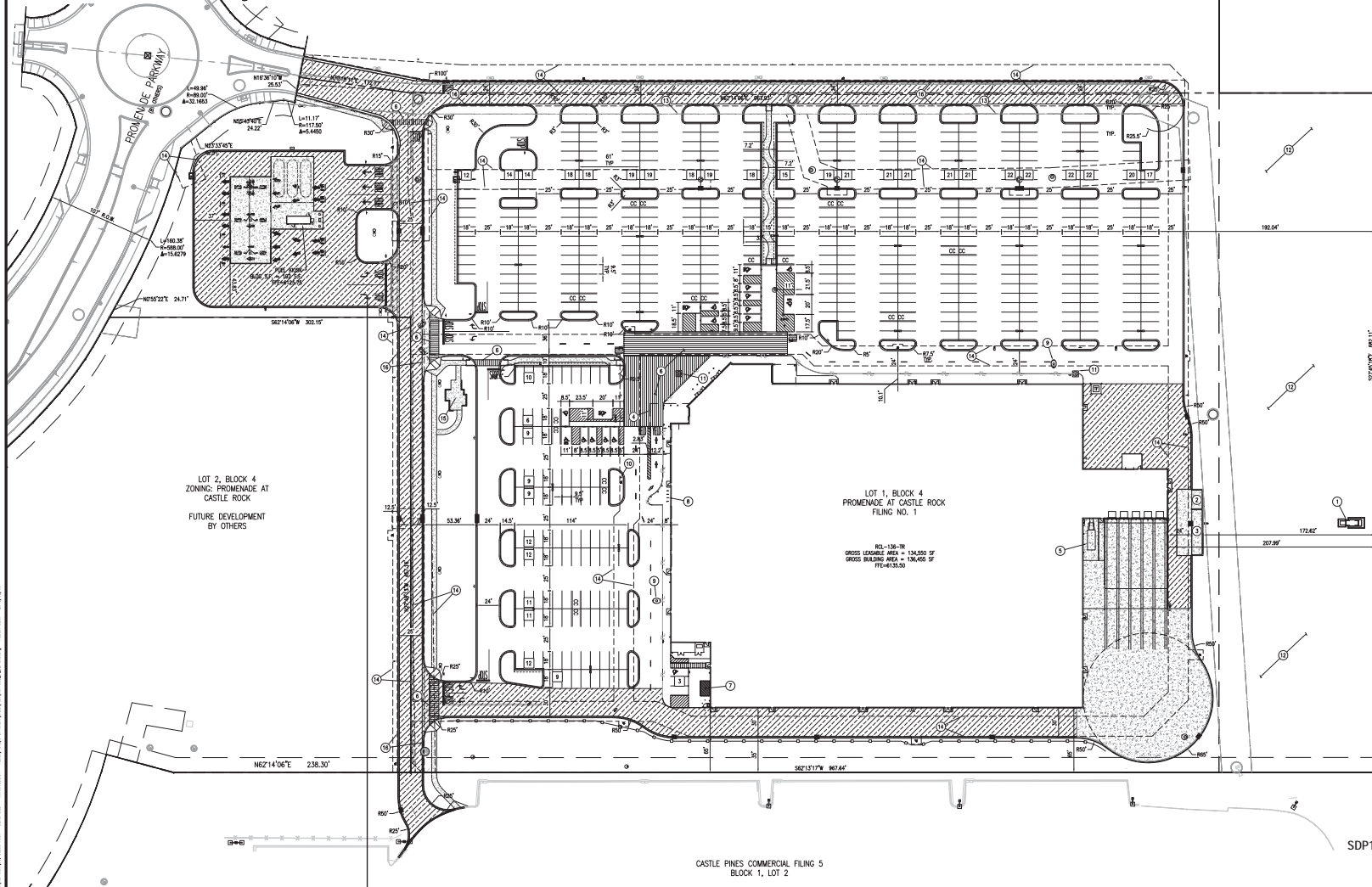
NOTES

- ALL DIMENSIONS ARE TO FLOORLINE OF CURB UNLESS NOTED OTHERWISE
- ALL CURB AND GUTTER SHALL BE 4" VERTICAL WITH 12" GUTTER
- ALL IMPROVEMENTS SHALL BE PERFORMED IN A SINGLE PHASE OF CONSTRUCTION

SCHEDULE

- PROPOSED MONUMENT SIGN (BY MASTER DEVELOPER)
- PROPOSED ORGANICS CONTAINMENT AREA (10'-4"x16'-8" FOR 2 CONTAINERS)
- PROPOSED 10'-4"x45' BALE & PALLET RECYCLE AREA
- DRIVE THROUGH CANOPY
- TRASH COMPACTOR
- CROSSWALK
- 10' x 12' STRIPPED AREA AT JOB CRANE LOCATION
- 4 BIKE RACKS (2 BIKES PER RACK)
- CRANE INTERCEPTOR
- REINFORCE FIRE DEPARTMENT CONNECTION
- SPINNING ROOF DRAIN MANHOLE
- LANDSCAPED AREA MAINTAINED BY LANDLORDS
- PROPOSED STORM SEWER EASEMENT (BY OTHERS)
- PROPOSED UTILITY EASEMENT
- PEDESTRIAN FEATURE, REF LANDSCAPING DRAWINGS FOR DETAILS
- PROPOSED ACCESS EASEMENT

FUTURE DEVELOPMENT
BY OTHERS



INTERSTATE 25



SDP16-0001 - SITE DEVELOPMENT PLAN
LOT 1, BLOCK 4, PROMENADE
AT CASTLE ROCK FILING NO. 1

Galloway

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**RETAIL AND FUEL DEVELOPMENT
LOT 1, BLOCK 4
PROMENADE AT CASTLE ROCK
FILING NO. 1
CASTLE ROCK, COLORADO**

#	Date	Issue / Description
1	01/08/2015	SDP SUBMITTAL
2	02/09/2015	SDP RE-SUBMITTAL
3	03/09/2015	SDP RE-SUBMITTAL
4	03/09/2015	SDP RE-SUBMITTAL

Project No: WMT040853
Drawn By: HSG
Checked By: PNC
Date: 01/08/2015
Disk File: WMT040853_P_02-Site.dwg
SHEET TITLE:
SITE PLAN

SITE DEVELOPMENT PLAN

LOT 1, BLOCK 4, PROMENADE AT CASTLE ROCK, FILING NO. 1
LOCATED IN THE N. 1/2 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,
COUNTY OF DOUGLAS, STATE OF COLORADO

GRADING LEGEND

PROPOSED MAJOR CONTOUR	PROPOSED FLOOR
PROPOSED MAJOR CONTOUR	TOP OF DIRT
EXISTING MAJOR CONTOUR	TOP OF FOOT
EXISTING MAJOR CONTOUR	LOW POINT
PROPOSED CONTOUR (BY OTHERS)	W/ MATCH EXISTING
EXISTING STORM SEWER	GRADE BREAK
PROPOSED STORM SEWER	TOP OF HWM
PROPOSED STORM SEWER (BY OTHERS)	EXISTING MANHOLE COVER
EXISTING SPOT ELEVATION	PROPOSED MANHOLE
PROPOSED SPOT ELEVATION	PROPOSED MANHOLE (BY OTHERS)
OVERLAND FLOW ROUTE	PROPOSED INLETS

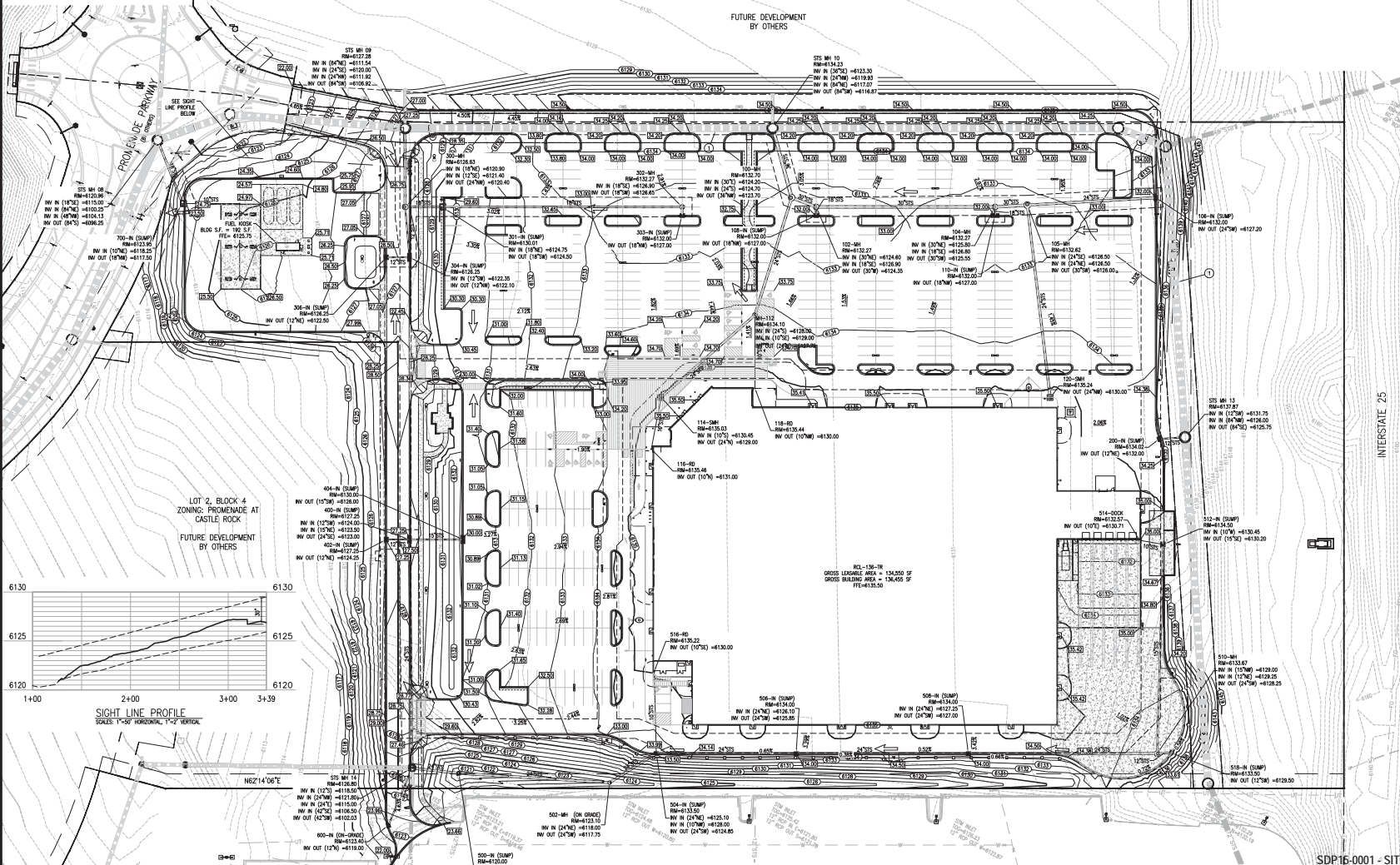
SCHEDULE

- PROPOSED 8" STORM SEWER TO BE INSTALLED BY MASTER DEVELOPER.

GRADING NOTES

- ADD 4100 TO ALL SPOT ELEVATIONS.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 4:1 OR LESS.

FUTURE DEVELOPMENT
BY OTHERS



LOT 2, BLOCK 4
ZONING: PROMENADE AT
CASTLE ROCK
FUTURE DEVELOPMENT
BY OTHERS

SIGHT LINE PROFILE
SCALE: 1"=50' HORIZONTAL, 1"=2' VERTICAL

CASTLE PINES COMMERCIAL FILING 5
BLOCK 1, LOT 2

SDP16-0001 - SITE DEVELOPMENT PLAN
LOT 1, BLOCK 4, PROMENADE
AT CASTLE ROCK FILING NO. 1

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**RETAIL AND FUEL DEVELOPMENT
LOT 1, BLOCK 4
PROMENADE AT CASTLE ROCK
FILING NO. 1
CASTLE ROCK, COLORADO**

#	Date	Issue / Description
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2	02/09/2015	SDP RE-SUBMITTAL
3	03/09/2015	SDP RE-SUBMITTAL
4	03/09/2015	SDP RE-SUBMITTAL

Project No: WNF040853
Drawn By: HSG
Checked By: PMG
Date: 01/08/2015
Disk File: WNF040853_P_03-Grd.dwg
SHEET TITLE:
GRADING PLAN

3 of 16

UTILITY LEGEND

---	EXISTING WATER LINE	○	EXISTING MANHOLE
---	PROPOSED WATER LINE (BY OTHERS)	○	PROPOSED MANHOLE
---	PROPOSED WATER LINE (BY OTHERS)	○	PROPOSED WATER VALVE
---	PROPOSED SANITARY SEWER (BY OTHERS)	○	PROPOSED GATE VALVE
---	PROPOSED SANITARY SEWER	○	PROPOSED FIRE HYDRANT
---	PROPOSED STORM SEWER	○	PROPOSED FIRE HYDRANT
---	PROPOSED STORM SEWER (LESS THAN 12" DIA)	○	STREET LIGHT (BY OTHERS)
---	PROPOSED GAS LINE	○	PROPOSED STREET LIGHT
---	PROPOSED UNDERGROUND ELECTRICAL	○	ELECTRICAL TRANSFORMER ON CONCRETE PAD
---	EXISTING UNDERGROUND TELEPHONE	○	EXISTING INLET
---	PROPOSED UNDERGROUND TELEPHONE	○	PROPOSED INLET
---	EXISTING FIBER OPTICS	○	
---	PROPOSED FIBER OPTICS	○	

SITE DEVELOPMENT PLAN

LOT 1, BLOCK 4, PROMENADE AT CASTLE ROCK, FILING NO. 1
LOCATED IN THE N. 1/2 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,
COUNTY OF DOUGLAS, STATE OF COLORADO

UTILITY NOTES

1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION PERMITS.
2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
4. THE SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK - YELLOW WATER PRESSURE ZONE.
5. WATER METER AND BACKFLOW PREVENTER LOCATED INSIDE BUILDING.
6. ALL EXISTING UTILITIES SHALL BE REMOVED BY MASTER DEVELOPER PRIOR TO TURN OVER OF LOT.

SCHEDULE

1. PROPOSED 12-INCH WATER LINE (BY OTHERS)
2. PROPOSED 8-INCH SANITARY SEWER (BY OTHERS)
3. PROPOSED WATER VALVE (BY OTHERS)
4. PROPOSED SANITARY SEWER MANHOLE (BY OTHERS)
5. PROPOSED GREASE INTERCEPTOR
6. PROPOSED REMOTE VENT. REFERENCE ARCH. PLANS
7. PROPOSED STORM CLEAN OUT
8. PROPOSED 8" STORM SEWER (BY OTHERS)
9. PROPOSED 3" WATER SERVICE
10. PROPOSED 8" FIRE LINE
11. PROPOSED 4-INCH SANITARY SEWER SERVICE TO FUEL STATION.
12. PROPOSED SANITARY SEWER CLEANOUT.
13. PROPOSED SANITARY SEWER MANHOLE.
14. PROPOSED 1-INCH WATER SERVICE TO FUEL STATION.
15. PROPOSED ELECTRICAL SERVICE TO FUEL STATION.
16. PROPOSED FIBER OPTIC SERVICE TO FUEL STATION.
17. PROPOSED ELECTRICAL SERVICE TO FUEL STATION.
18. PROPOSED WATER METER FOR FUEL KIOSK.
19. PROPOSED UNDERGROUND ELECTRIC.
20. PROPOSED TELEPHONE SERVICE.
21. PROPOSED GAS SERVICE.
22. PROPOSED SPURRING MANHOLE.
23. PROPOSED REMOTE FIRE DEPARTMENT CONNECTION.

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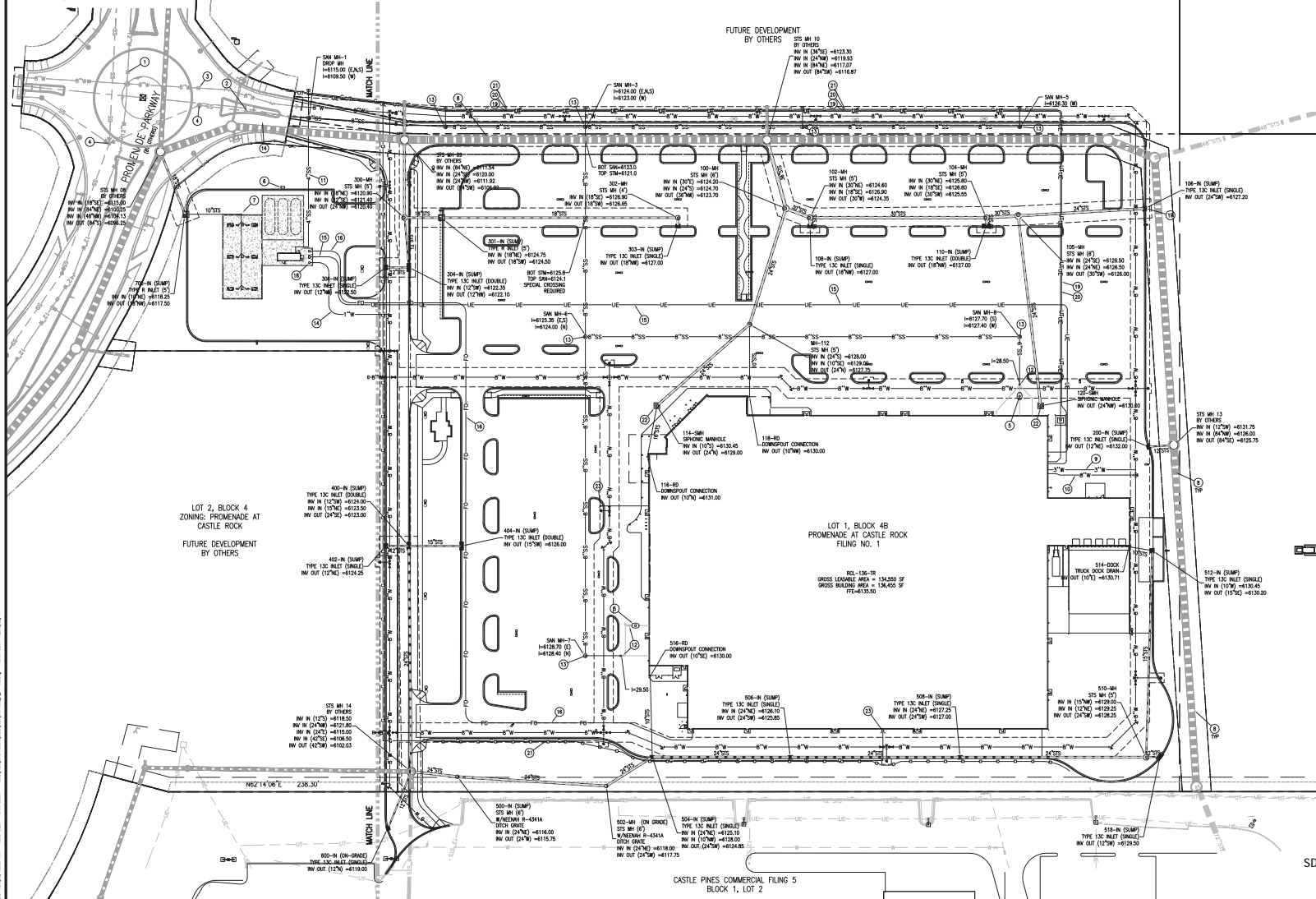


RETAIL AND FUEL DEVELOPMENT
LOT 1, BLOCK 4
PROMENADE AT CASTLE ROCK
FILING NO. 1
CASTLE ROCK, COLORADO

#	Date	Issue / Description
1	01/05/2015	SDP SUBMITTAL
2	01/05/2015	SDP RE-SUBMITTAL
3	01/05/2015	SDP RE-SUBMITTAL
4	01/05/2015	SDP RE-SUBMITTAL

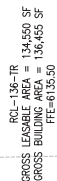
Project No: WMT04853
Drawn By: HGG
Checked By: PNC
Date: 01/05/2015
Disk File: WMT4853_P_04-08.dwg
SHEET TITLE: UTILITY PLAN

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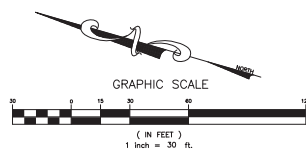
SDP15-0001 - SITE DEVELOPMENT PLAN
LOT 1, BLOCK 4, PROMENADE
AT CASTLE ROCK FILING NO. 1

LOT 1, BLOCK 4, PROMENADE AT CASTLE ROCK, FILING NO. 1
LOCATED IN THE N. 1/2 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,
COUNTY OF DOUGLAS, STATE OF COLORADO



A MONUMENT ENLARGEMENT
SCALE: 1"=20'

MATCHLINE - SEE SHEET L1.1



PLANTING LEGEND (BASED ON TOWN OF CASTLE ROCK LANDSCAPE MANUAL AND PROMENADES AT CASTLE ROCK FRAMEWORK DEVELOPMENT PLAN.)

SYMBOL	LEGEND	BOTANIC NAME	COMMON NAME
OVERSTORY DOMINANT TREES			
CEC		CELASTRUS OCCIDENTALIS	WESTERN HAZELBERRY
CLON		GLECHOMIA TRICOLORA INERMIS	SHOADOEAST LOCUST
Q		QUERCUS FEROX	RED-BELLIED WENTWORTH
QV		QUERCUS V. EXPANSA	GREY-PINE
TDL		TILIA CORDATA "GREENSPICE"	CHIFFENHUE
ORNDENAL DOMINANT TREES			
AC		ACER CANADA	AMUR MAPLE
AMGR		AMMELANERUA S. GRANDIFLORA	SUCKLE, SUGAR RED
AL		ALNUS INCANA	ALDER
QV		QUERCUS V. EXPANSA	RED-BELLIED WENTWORTH
QV		QUERCUS GAMBELI	GAMBEL OAK
SYRE		SYRINGA RETICULATA	JAPANESE TREE LILAC
EVERGREEN TREES			
PIED		PINUS EDULIS	PHYLON PINE
PN		PINUS NIGRA	AUSTRIAN PINE
PPU		PINUS PONDOSA	PONDOSA PINE
PIPO		PICEA PANCOSIA	COLORADO BLUE SPRUCE
DECIDUOUS SHRUBS			
CAL		CAMPOTRIS V. CLANDONENSIS	BLUE MIST MALLOW
CDN		CERCOCARPUS INCARPATUS	LITTLELEAF MOUNTAIN HAZEL
CHM		CHRYSOPELUM NAUSEOSUM	DWARF RANUNCULUS
CR		FORESTIERIA FRAMMOSA	WINE MILE PINE
PEAT		PERNOPSIS AMPULLIFOLIA	RUSSIAN SAGE
PHSP		PHOSCOGONIS OPELLOIDES	LITTLE DUE, NINEBARK
PRBS		PRUNUS BESSEYI "WESTERN BUTTE"	YAMANE BUTTES SAND CHERRY
PRWE		PRUNUS BESSEYI "WESTERN"	WESTERN BERRY CHERRY
RHAR		RHIZ. ARISTATA "GRO-LOW"	GRO-LOW SUMAC
RHAR		RHIZ. ARISTATA "GRO-LOW"	ROCKY MOUNTAIN SUMAC
RHAR		RHIZ. ARISTATA	ALPINE ARB
SPN		SPRINGA NITIDA "SHOWINGLOW"	SHOWINGLOW SPIREA
SYVA		SYRINGA PATRICKA "MISS KM"	MISS KM LILAC
SYVV		SYRINGA VILGOSUS	COMMON PURPLE LILAC
EVERGREEN SHRUBS			
CPJU		CYTISUS PURGIAN "SPANISH GOLF"	SPANISH GOLF BROOM
JYHU		JUNIPERUS HORIZONTALIS "BLUE DOW"	BLUE CHIP JUNIPER
JUS		JUNIPERUS SABINA "BUFFALO JUMP"	BUFFALO JUNIPER
JUM		JUNIPERUS V. MEDIA	SEA GREEN JUNIPER
MMU		PINUS MUO "SLOWGROWING"	SLOWGROWING MUO PINE
ORNDENAL SHRUBS			
AC		ANDROGONUM GERMANI	BLUE BUESTEM
CHC		CHALAMAGRODIS ACUTIFLORA "ZAL FERTILIS"	FEATHER REED GRASS
HE		HELIOTRICHON SEMPERPARENS	BLUE AVENA GRASS
MSI		MESANTHUS SINGENS	MADEN GRASS
NAT		NAEGLA TENUSSIMA	MEXICAN FEATHER GRASS
PAM		PANICUM VIRGATUM "SHANAGHAW"	RED SWITCH GRASS
FERNALS			
CECT		CESTARIUM TOMENTOSUM	SNOW-IN-SUMMER
ECPU		ECHEINACEA PUPURARIA "ALBA"	WHITE CROKOPUS
LSPF		LAVINIA SPICATA	GAYFATHER
NSTF		NESTEA FASSENTI "WALKERS LOW"	WALKERS LOW CATMINT
TWIG, SEED, AND MISC.			
W		LEGACY BUDWOOD "SEEDS 100% 4-6 DIA. MULTI - COLOR WITH DOUBLE SHEDDING SEEDS"	LEGACY BUDWOOD GRASS
M		MILCH	ROCK WOLCH
STEL		STEEL EDGING: SEE PLANTING	PLANT BED EDGING
SEED		SEEDS: 100% HIGHER SEEDS 100% 4-6 DIA. MULTI - COLOR WITH DOUBLE SHEDDING SEEDS	HIGH PLANS/FOOTINGS SEEDS
EXTD		EXTENDING TO REPAIR: SEE PLANTING	EXTENDING TO REPAIR: SEE PLANTING

LANDSCAPE PLAN

WEST

CALL UTILITY NOTIFICATION CENTER OF



Know what's below.
Call before you dig.

TOWN OF CASTLE ROCK REGISTRATION INFORMATION:

CERTIFIED LANDSCAPE ARCHITECT - JOSEPH L. WILSON
TOWN OF CASTLE ROCK REGISTRATION NUMBER
LANDSCAPE ARCHITECTURE STATE OF COLORADO

LICENSED LANDSCAPE ARCHITECT STATE OF COLORADO LA-304

DATE OF PLAN: DATE OF FINAL DISCUSSION TO THE BOARD

SDP15-0001 - SITE DEVELOPMENT PLAN

LOT 1, BLOCK 4, PROMENADE

AT CASTLE ROCK FILING NO. 1

#15-11

LA-S04

PLAN

ENADE

NO. 1

**RETAIL AND FUEL DEVELOPMENT
LOT 1, BLOCK 4
PROMENADE AT CASTLE ROCK
FILING NO. 1
CASTLE ROCK, COLORADO**

#	Date	Issue / Description
•	01/08/16	SOP SUBMITTAL
•	02/18/16	SOP RE-SUBMITTAL
•	03/08/16	SOP RE-SUBMITTAL
•	07/20/16	SOP RE-SUBMITTAL

Project No: WMT00-485.3

Drawn By: RDC

Checked By: PMC

Date: 01/05/2015

Disk File: WMT4853_P_06-07-Land.DWG

SHEET TITLE:
LANDSCAPE PLAN WEST

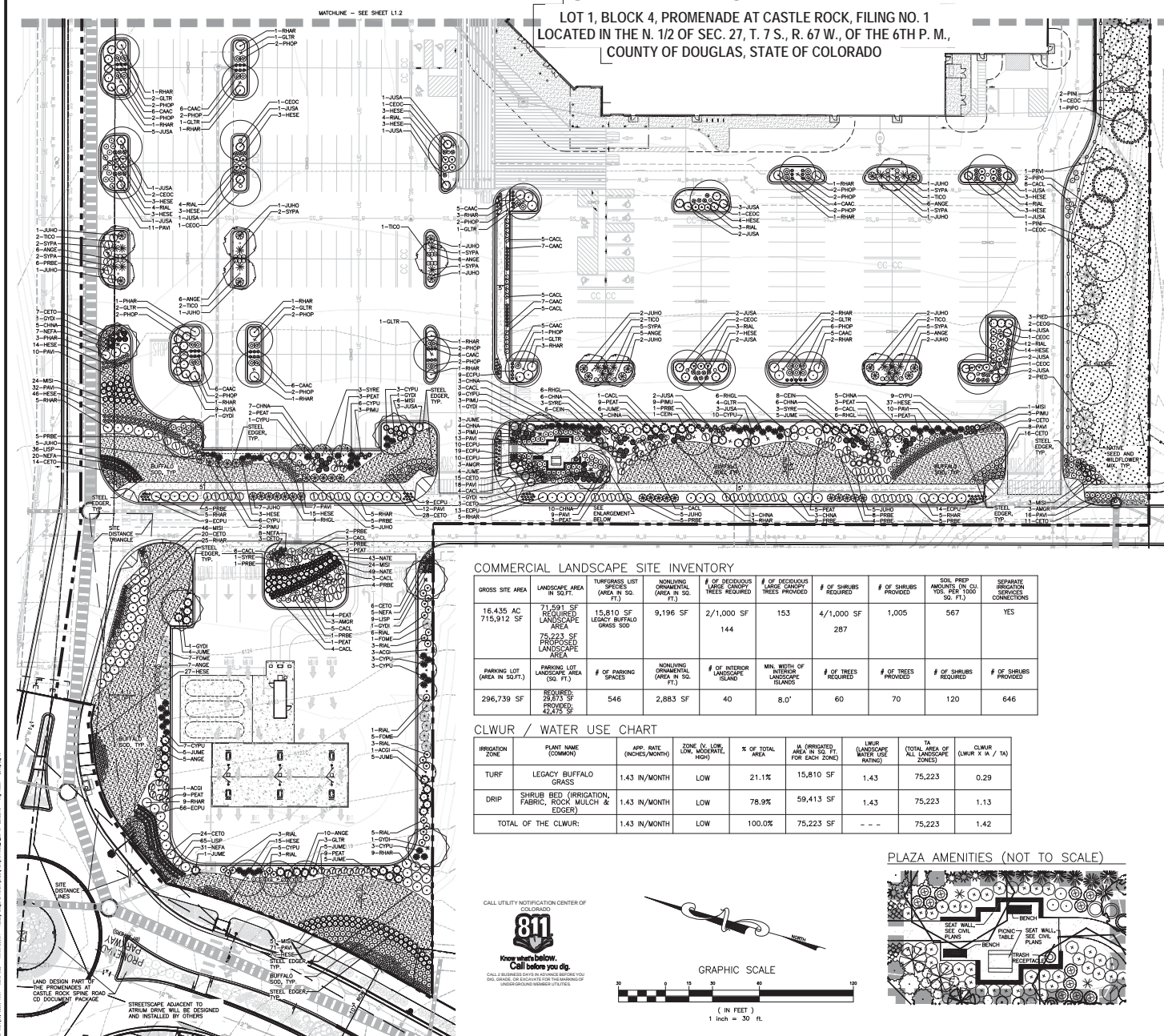
LANDSCAPE PLAN WEST





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30116

LOT 1, BLOCK 4, PROMENADE AT CASTLE ROCK, FILING NO. 1
LOCATED IN THE N. 1/2 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,
COUNTY OF DOUGLAS, STATE OF COLORADO








PLANTING LEGEND		(BASED ON TOWN OF CASTLE ROCK LANDSCAPE MANUAL AND PROMENADES AT CASTLE ROCK FRAMEWORK DEVELOPMENT)	
SYMBOL	LEGEND ABBREV.	BOTANIC NAME	COMMON NAME
OVERSTORY DECIDUOUS TREES			
	CEOC	CELTIS OCCIDENTALIS	WESTERN HACKBERRY
	OLTR	GLEDITSIA TRACANTHOS INERMIS SHADEMASTER	SHADEMASTER LOCUST
	OYOI	QUINQUALOCIA DIOICA EXPRESSO	EXPRESSO KENTUCKY COFFEE TREE
	TICO	LILIA COROLATA 'GREENSPRING'	GREENSPRING LILY





ORNAMENTAL DECIDUOUS TREES		
	ACGI	ACER GINNALA
	AMOR	AMERLANCHIER X GRANDIFLORA AUTUMN BRILLIANCE
	PRVI	PRUNUS VIRGINIANA "SUCKER PUNCH"
	QUCA	QUERCUS GAMBELI
	SYRE	SYRINGA RETICULATA
		
		
		
		
		
		
		
		
		
		
		
		
		

EVERGREEN TREES		
	PIED PINUS EDULIS	PINYON PINE
	PINI PINUS NIGRA	AUSTRIAN PINE
	PIPO PINUS PONDEROSA	PONDEROSA PINE
	PIPU PICEA PUNGENS	COLORADO BLUE SPRUCE




[illegible]

EVERGREEN SHRUBS		
	CYPUS CYTISUS PURGAN 'SPANISH GOLD'	SPANISH GOLD BROOM
	JUNO JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER
	JUNISA JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER
	JUM JUNIPERUS X MEDIA	SEA GREEN JUNIPER
	PMU PINUS MUGO 'SLOWMOUND'	SLOWMOUND MUGO PINE

ORNAMENTAL GRASSES			
⊙	ANGE	ANDROPOGON GERARDI	BIG BLUESTEM
⊙	CAC	CLADAGOROSTIS ACUTIFLORA KARL FOSTER	FEATHER REED GRASS
⊕	HESE	HELIOTRICHON PERPENSIVENS	BLUE AVENA GRASS
⊙	MI	MISCANTHUS SINENSIS	MADEN GRASS
⊙	NAT	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS
⊙	PAW	PANICUM VIRGATUM 'SHANDOGAH'	RED SWITCH GRASS

PERENNIALS			
	CETO	CERASTIUM TOMETOSUM	SNOW-IN-SUMMER
	ECPU	EDINACEA PURPUREA 'ALBA'	WHITE CONEFLOWER
	LISP	LIATRIS SPICATA	GAYFEATHER
	NEFA	NEPETA FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT

TURF, SEED, AND MULCH		
	SOD	LEGACY BUFFALO GRASS, SEE LANDSCAPE NOTES
	MULCH	1" - 4" DIA. MULTI - COLOR COBBLE ROCK MULCH WITH DOUBLE SHREDDED BARK MULCH, SEE LANDSCAPE NOTES
	SEED	SEED, EDGING, SEE PLANTING

	SEED EDGING	SEEZ EDGING: SEE PLANTING NOTES	PLANT BED EDGING
	SEED	HIGH PLAINS/FOOTHILLS SEED MIX, SEE SEED NOTES	HIGH PLAINS/FOOTHILLS SEED
	ETR	EXISTING TO REMAIN UNDISTURBED LANDSCAPE	EXISTING TO REMAIN UNDISTURBED LANDSCAPE

LANDSCAPE DATA:		
DESCRIPTION:		
TOTAL SITE		
TOTAL AREA	100.0%	715,912 S.F.
REQUIRED LANDSCAPE MINIMUM	10.0%	71,591 S.F.
PROVIDED LANDSCAPE	10.5%	75,224 S.F.
MAXIMUM IRRIGATED TURF ALLOWED	60.0%	45,134 S.F.
PROVIDED LANDSCAPE TURF	7%	15,810 S.F.

MINIMUM LANDSCAPE REQUIREMENTS:
A MINIMUM OF (2) TWO LARGE CANOPY TREES AND (4) FOUR SHRUBS FOR EACH 1000 S.F. OF REQUIRED LANDSCAPE AREA. (1) ONE ADDITIONAL TREE MAY BE SUBSTITUTED IN LIEU OF EACH (4) FOUR SHRUBS REQUIRED.

REQUIRED:		
71.591 SF/1000 S.F. LANDSCAPE AREA =		71.5
SHRUBS 71.5 x 4 =		286
LARGE CANOPY TREES 71.5 x 2 =		143
PROVIDED:		
PERENNIALS/GRASSES		1,668
SHRUBS (67.0% DECIDUOUS, 33.0% EVERGREEN)		1,005
DECIDUOUS TREES		100
EVERGREEN TREES		53

IRRIGATED SOD AREA	15,810 S.F. (11.1%)
SHRUB & MULCH AREA	59,413 S.F. (41.8%)
SEED AREA	66,994 S.F. (47.1%)
LIVING GROUND COVER	202,177 S.F. (93.2%)
NON-LIVING GROUND COVER	13,189 S.F. (6.2%)
TOTAL STEEL EDGING	2,600 LF

*NOTE: TURF AREAS SHALL BE LEGACY BUFFALO GRASS PER LEGEND

LANDSCAPE PLAN

EAST

TOWN OF CASTLE ROCK REGISTRATION INFORMATION:
CERTIFIED LANDSCAPE ARCHITECT - JOSEPH L. WILSON
TOWN OF CASTLE ROCK REGISTRATION NUMBER

TOWN OF CASTLE ROCK REGISTRATION INFORMATION:
 CERTIFIED LANDSCAPE ARCHITECT - JOSEPH L. WILSON #15-1177
 TOWN OF CASTLE ROCK REGISTRATION NUMBER LA-304
 LICENSED LANDSCAPE ARCHITECT STATE OF COLORADO

SDP15-0001 - SITE DEVELOPMENT PLAN

LOT 1, BLOCK 4, PROMENADE
AT CASTLE ROCK FILING NO. 1

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**RETAIL AND FUEL DEVELOPMENT
LOT 1, BLOCK 4
PROMENADE AT CASTLE ROCK
FILING NO. 1
CASTLE ROCK, COLORADO**

[illegible]

Project No: WMT00-4853

Drawn By:	RDC
Checked By:	PNG

Date: 01/05/2015

SHEET TITLE:

LANDSCAPE PLAN EAST

C C 1C

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SITE DEVELOPMENT PLAN

LOT 1, BLOCK 4, PROMENADE AT CASTLE ROCK, FILING NO. 1
LOCATED IN THE N. 1/2 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,
COUNTY OF DOUGLAS, STATE OF COLORADO

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RETAIL AND FUEL DEVELOPMENT
LOT 1, BLOCK 4
PROMENADE AT CASTLE ROCK
FILING NO. 1
CASTLE ROCK, COLORADO

Date Issue / Description
- 01/05/15 SPP SUBMITTAL
- 01/05/15 SPP RE-SUBMITTAL
- 01/05/15 SPP RE-SUBMITTAL

LUMINAIRE SCHEDULE									
SYMBOL	QTY	LABEL	ARRANGE	MOUNTING	HEIGHT	LUF	MODEL NUMBER	DESCRIPTION	(LUMENS) WATTS
○	8	S1	SINGLE	POLE	38'-0"	1.0000	AMC-2-L-V3-22LC-S-SK-UNV-BX410-BK	VISUARIAN LIGHTING, AMERICAN SERIES LED AREA LIGHT, 72 DOGG, 35"-0" SQUARE POLE ON 3" CONCRETE BASE	10508 120
○	23	8	POLE	POLE	14'-0"	1.0000	AMC-2-L-V3-22LC-S-SK-UNV-BX410-BK	VISUARIAN LIGHTING, AMERICAN SERIES LED AREA LIGHT, 72 DOGG, 35"-0" SQUARE POLE ON 3" CONCRETE BASE	10508 120
○	8	P12	POLE	POLE	25'-0"	1.0000	ODN-3-L-V3-B4LC-S-SK-UNV-BX410-BK	VISUARIAN LIGHTING, ODN SERIES, LED ARCHITECTURAL AREA LIGHT, 84 DOGG, MOUNT ON 25'-0" ROUND POLE	19208 244
○	7	FUTURE	POLE	POLE	25'-0"	1.0000	ODN-3-L-V3-B4LC-S-SK-UNV-BX410-BK	VISUARIAN LIGHTING, ODN SERIES, LED ARCHITECTURAL AREA LIGHT, 84 DOGG, MOUNT ON 25'-0" ROUND POLE	19208 244
○	12	11	SINGLE	WALL	16'-0"	1.0000	WST LED 1-T0X070-40K-SMD-MULTI-DIMMABLE	FUTURE LIGHTING, COLOUR SERIES, LED LUMINAIRE, 30 DOGG, WALL MOUNTED	20111 244
○	12	11	SINGLE	WALL	16'-0"	1.0000	WST LED 1-T0X070-40K-SMD-MULTI-DIMMABLE	FUTURE LIGHTING, COLOUR SERIES, LED LUMINAIRE, 30 DOGG, WALL MOUNTED	20111 244
○	12	11	SINGLE	WALL	16'-0"	1.0000	WST LED 1-T0X070-40K-SMD-MULTI-DIMMABLE	FUTURE LIGHTING, COLOUR SERIES, LED LUMINAIRE, 30 DOGG, WALL MOUNTED	20111 244
○	12	11	SINGLE	WALL	16'-0"	1.0000	WST LED 1-T0X070-40K-SMD-MULTI-DIMMABLE	FUTURE LIGHTING, COLOUR SERIES, LED LUMINAIRE, 30 DOGG, WALL MOUNTED	20111 244
○	12	11	SINGLE	WALL	16'-0"	1.0000	WST LED 1-T0X070-40K-SMD-MULTI-DIMMABLE	FUTURE LIGHTING, COLOUR SERIES, LED LUMINAIRE, 30 DOGG, WALL MOUNTED	20111 244
○	24	700	SINGLE	CANOPY	10'-0"	1.0000	AD150-10-CW-LED-UE-DBK	LSI LIGHTING, ANGLE REFLECTOR LED ACENT FUTURE, 10 DOGG, FULL CUT-OFF, WITH GB-D-3-DBK BRACKET	905 12

CALCULATION SUMMARY									
LABEL	UNITS	AWS	MAX	MIN	MAX/MIN	UNITS	AWS	MAX	MIN
MAIN PARKING ZONE-NORTH	FC	4.23	7.4	1.5	4.93	MAIN PARKING ZONE-SOUTH	FC	4.23	7.4
MAIN PARKING ZONE-WEST	FC	4.23	7.4	1.5	4.93	MAIN PARKING ZONE-EAST	FC	4.23	7.4
FRONT DRIVE ASILE	FC	3.86	7.1	1.6	4.44	FRONT DRIVE ASILE	FC	3.86	7.1
BUILDING CANOPY	FC	14.30	19.7	10.4	1.89	BUILDING CANOPY	FC	14.30	19.7
BUILDING SURROUNDINGS	FC	2.43	7.4	0.5	16.80	BUILDING SURROUNDINGS	FC	2.43	7.4
ENTRY	FC	2.55	6.9	0.8	6.63	ENTRY	FC	2.55	6.9
PAVEMENT, PALLETS, ORGANICS	FC	15.74	19.8	6.6	3.00	PAVEMENT, PALLETS, ORGANICS	FC	15.74	19.8
FUEL CENTER	FC	2.00	6.5	0.5	13.00	FUEL CENTER	FC	2.00	6.5



SDP15-0001 - SITE DEVELOPMENT PLAN
LOT 1, BLOCK 4, PROMENADE
AT CASTLE ROCK FILING NO. 1

LOT 1, BLOCK 4, PROMENADE AT CASTLE ROCK, FILING NO. 1
LOCATED IN THE N. 1/2 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.
COUNTY OF DOUGLAS, STATE OF COLORADO

Oden LED

Project View

3000K 700lm

Page 2

Dimensional Drawings

Fixtures	A	B	Max LEDs	Watt
ODN-4-1	27	27	16	32
ODN-4-2	32	27	16	32
ODN-4-3	32	27	16	32
ODN-4-4	32	27	16	32
ODN-4-5	32	27	16	32
ODN-4-6	32	27	16	32
ODN-4-7	32	27	16	32
ODN-4-8	32	27	16	32
ODN-4-9	32	27	16	32
ODN-4-10	32	27	16	32
ODN-4-11	32	27	16	32
ODN-4-12	32	27	16	32
ODN-4-13	32	27	16	32
ODN-4-14	32	27	16	32
ODN-4-15	32	27	16	32
ODN-4-16	32	27	16	32
ODN-4-17	32	27	16	32
ODN-4-18	32	27	16	32
ODN-4-19	32	27	16	32
ODN-4-20	32	27	16	32
ODN-4-21	32	27	16	32
ODN-4-22	32	27	16	32
ODN-4-23	32	27	16	32
ODN-4-24	32	27	16	32
ODN-4-25	32	27	16	32
ODN-4-26	32	27	16	32
ODN-4-27	32	27	16	32
ODN-4-28	32	27	16	32
ODN-4-29	32	27	16	32
ODN-4-30	32	27	16	32
ODN-4-31	32	27	16	32
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ODN-4-33	32	27	16	32
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ODN-4-35	32	27	16	32
ODN-4-36	32	27	16	32
ODN-4-37	32	27	16	32
ODN-4-38	32	27	16	32
ODN-4-39	32	27	16	32
ODN-4-40	32	27	16	32
ODN-4-41	32	27	16	32
ODN-4-42	32	27	16	32
ODN-4-43	32	27	16	32
ODN-4-44	32	27	16	32
ODN-4-45	32	27	16	32
ODN-4-46	32	27	16	32
ODN-4-47	32	27	16	32
ODN-4-48	32	27	16	32
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ODN-4-53	32	27	16	32
ODN-4-54	32	27	16	32
ODN-4-55	32	27	16	32
ODN-4-56	32	27	16	32
ODN-4-57	32	27	16	32
ODN-4-58	32	27	16	32
ODN-4-59	32	27	16	32
ODN-4-60	32	27	16	32
ODN-4-61	32	27	16	32
ODN-4-62	32	27	16	32
ODN-4-63	32	27	16	32
ODN-4-64	32	27	16	32
ODN-4-65	32	27	16	32
ODN-4-66	32	27	16	32
ODN-4-67	32	27	16	32
ODN-4-68	32	27	16	32
ODN-4-69	32	27	16	32
ODN-4-70	32	27	16	32
ODN-4-71	32	27	16	32
ODN-4-72	32	27	16	32
ODN-4-73	32	27	16	32
ODN-4-74	32	27	16	32
ODN-4-75	32	27	16	32
ODN-4-76	32	27	16	32
ODN-4-77	32	27	16	32
ODN-4-78	32	27	16	32
ODN-4-79	32	27	16</	

[illegible][illegible][illegible]

MANUFACTURER SPECIFICATION SHEET FOR DECORATIVE AREA FIXTURES 'PED2', POLE, POLE BASE, AND MOUNTING ARM

American LED

Product Series

Catalog No. 100

Page 1

Dimensional Drawings

Fixture

A	B	C	Single	Max. Lts.	Lts.
---	---	---	--------	-----------	------

AW-E-1	27"	10"	10"	17.0 in	10"
--------	-----	-----	-----	---------	-----

This new American LED Luminaire from Visaluminex combines the latest in American LED technology with an outstanding rugged frame. The LED's performance and life are improved by the unique integral aluminum heat sink and fan system. Maintenance of the fixture is simplified by means from easily accessible and protected with lock ring.

84 & 240 LEDs are available in 300 or 500 mA rating (up to 50,000 hours). See optical distribution patterns.

are available and feature a unique Type T-4 automotive pattern for the best use of light. Operates between 40° to 5000 K (ambient temperature of the LED).

A durable, shockproof powder coated finish. Durable for the most use, and is available in standard colors.

Available in 100, 200, 300, 400, 500, 600, 700, 800, 900, 1000, 1100, 1200, 1300, 1400, 1500, 1600, 1700, 1800, 1900, 2000, 2100, 2200, 2300, 2400, 2500, 2600, 2700, 2800, 2900, 3000, 3100, 3200, 3300, 3400, 3500, 3600, 3700, 3800, 3900, 4000, 4100, 4200, 4300, 4400, 4500, 4600, 4700, 4800, 4900, 5000, 5100, 5200, 5300, 5400, 5500, 5600, 5700, 5800, 5900, 6000, 6100, 6200, 6300, 6400, 6500, 6600, 6700, 6800, 6900, 7000, 7100, 7200, 7300, 7400, 7500, 7600, 7700, 7800, 7900, 8000, 8100, 8200, 8300, 8400, 8500, 8600, 8700, 8800, 8900, 9000, 9100, 9200, 9300, 9400, 9500, 9600, 9700, 9800, 9900, 10000, 10100, 10200, 10300, 10400, 10500, 10600, 10700, 10800, 10900, 11000, 11100, 11200, 11300, 11400, 11500, 11600, 11700, 11800, 11900, 12000, 12100, 12200, 12300, 12400, 12500, 12600, 12700, 12800, 12900, 13000, 13100, 13200, 13300, 13400, 13500, 13600, 13700, 13800, 13900, 14000, 14100, 14200, 14300, 14400, 14500, 14600, 14700, 14800, 14900, 15000, 15100, 15200, 15300, 15400, 15500, 15600, 15700, 15800, 15900, 16000, 16100, 16200, 16300, 16400, 16500, 16600, 16700, 16800, 16900, 17000, 17100, 17200, 17300, 17400, 17500, 17600, 17700, 17800, 17900, 18000, 18100, 18200, 18300, 18400, 18500, 18600, 18700, 18800, 18900, 19000, 19100, 19200, 19300, 19400, 19500, 19600, 19700, 19800, 19900, 20000, 20100, 20200, 20300, 20400, 20500, 20600, 20700, 20800, 20900, 21000, 21100, 21200, 21300, 21400, 21500, 21600, 21700, 21800, 21900, 22000, 22100, 22200, 22300, 22400, 22500, 22600, 22700, 22800, 22900, 23000, 23100, 23200, 23300, 23400, 23500, 23600, 23700, 23800, 23900, 24000, 24100, 24200, 24300, 24400, 24500, 24600, 24700, 24800, 24900, 25000, 25100, 25200, 25300, 25400, 25500, 25600, 25700, 25800, 25900, 26000, 26100, 26200, 26300, 26400, 26500, 26600, 26700, 26800, 26900, 27000, 27100, 27200, 27300, 27400, 27500, 27600, 27700, 27800, 27900, 28000, 28100, 28200, 28300, 28400, 28500, 28600, 28700, 28800, 28900, 29000, 29100, 29200, 29300, 29400, 29500, 29600, 29700, 29800, 29900, 30000, 30100, 30200, 30300, 30400, 30500, 30600, 30700, 30800, 30900, 31000, 31100, 31200, 31300, 31400, 31500, 31600, 31700, 31800, 31900, 32000, 32100, 32200, 32300, 32400, 32500, 32600, 32700, 32800, 32900, 33000, 33100, 33200, 33300, 33400, 33500, 33600, 33700, 33800, 33900, 34000, 34100, 34200, 34300, 34400, 34500, 34600, 34700, 34800, 34900, 35000, 35100, 35200, 35300, 35400, 35500, 35600, 35700, 35800, 35900, 36000, 36100, 36200, 36300, 36400, 36500, 36600, 36700, 36800, 36900, 37000, 37100, 37200, 37300, 37400, 37500, 37600, 37700, 37800, 37900, 38000, 38100, 38200, 38300, 38400, 38500, 38600, 38700, 38800, 38900, 39000, 39100, 39200, 39300, 39400, 39500, 39600, 39700, 39800, 39900, 40000, 40100, 40200, 40300, 40400, 40500, 40600, 40700, 40800, 40900, 41000, 41100, 41200, 41300, 41400, 41500, 41600, 41700, 41800, 41900, 42000, 42100, 42200, 42300, 42400, 42500, 42600, 42700, 42800, 42900, 43000, 43100, 43200, 43300, 43400, 43500, 43600, 43700, 43800, 43900, 44000, 44100, 44200, 44300, 44400, 44500, 44600, 44700, 44800, 44900, 45000, 45100, 45200, 45300, 45400, 45500, 45600, 45700, 45800, 45900, 46000, 46100, 46200, 46300, 46400, 46500, 46600, 46700, 46800, 46900, 47000, 47100, 47200, 47300, 47400, 47500, 47

Oden LED

Breathing
 - High-quality pure copper aluminum track and durable die-cast aluminum body, available in 1500mm and 2400mm lengths.
 - All-weather features a stainless steel.
 - Typical, dual-aluminum chip assembly with built-in constant voltage.

Thermal Management
 - The Oden LED is equipped with excellent thermal management, maintaining the efficiency of the entire track for the future.

Optical System
 - The high-quality optical lens can effectively expand. Estimated life of the LED is 100,000 hours. Available with 1:1.5 beam spread, 1:2 beam spread, 1:3 beam spread, 1:4 beam spread, 1:5 beam spread, 1:6 beam spread, 1:8 beam spread, 1:10 beam spread, 1:12 beam spread, 1:15 beam spread, 1:20 beam spread, 1:25 beam spread, 1:30 beam spread, 1:35 beam spread, 1:40 beam spread, 1:45 beam spread, 1:50 beam spread, 1:60 beam spread, 1:70 beam spread, 1:80 beam spread, 1:90 beam spread, 1:100 beam spread, 1:120 beam spread, 1:150 beam spread, 1:200 beam spread, 1:250 beam spread, 1:300 beam spread, 1:350 beam spread, 1:400 beam spread, 1:450 beam spread, 1:500 beam spread, 1:600 beam spread, 1:700 beam spread, 1:800 beam spread, 1:900 beam spread, 1:1000 beam spread, 1:1200 beam spread, 1:1500 beam spread, 1:2000 beam spread, 1:2500 beam spread, 1:3000 beam spread, 1:3500 beam spread, 1:4000 beam spread, 1:4500 beam spread, 1:5000 beam spread, 1:6000 beam spread, 1:7000 beam spread, 1:8000 beam spread, 1:9000 beam spread, 1:10000 beam spread, 1:12000 beam spread, 1:15000 beam spread, 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SNTS

2015 NEW

LED LIGHTING

2015 NEW

SNTS

Profile

Base

Cap

Finish

Anchor Bolt

Cap Cap

Finish

Anchor Bolt

Cap Cap

Finish

Anchor Bolt

Cap Cap

Finish

Anchor Bolt

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Base

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Finish

Anchor Bolt

Cap Cap

CONNECT ALL EQUIPMENT GROUND CONDUCTORS TO GROUNDING LUG IN POLE

TEMPORARY CABLE AIR CONDUIT

5/8" x 1/2" CORRUGATED GROUND ROD CONNECTED TO EQUIPMENT GROUND WIRE AT GROUND LUG IN POLE

1" MIN. LIGHTING CONDUIT

VERTICAL AND HORIZONTAL BRASS SHALL BE POLISHED TOES

2" MIN. LUG LONG BRASS EQUALLY SPACED

#3 TES @ 14" O.C. MAX

2" MINIMUM COVER TOP

24"

2' BELOW FIRST LUG

SHANKER

1000 PSI

3000 PSI MIN 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE OR REINFORCING STEEL

IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE

FOUNDATION EXCAVATION SHALL BE BY 2" AHEAD IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATION

FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF

FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM COHESIVE VALUE OF 1000 PSF

FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1000 LBS/INCH HORIZONTAL FORCE, 1.5 TIMES OF POSTER WITH OVERSIGHTING LOADS

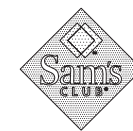
DETAIL FOR 25' POLE WITH MAX. FUTURE PEA 6.1 SIZES. SUITABLE FOR WIND ZONES UP TO 100 MPH

ALL LIGHT POLE BASE FOUNDATIONS SHALL BE CAST-IN-PLACE, PRE-CAST LIGHT POLE BASE FOUNDATIONS ARE NOT ACCEPTABLE

SQUARE STEEL POLE TO BE BY WISKAMNE AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS

TYPICAL LIGHT POLE BASE

Galloway
Planning. Architecture. Engineering.
6182 Willow Drive, Suite 320
Greenwood Village, CO 80111
303.770.8884 O
303.770.3636 F
www.gallowayUS.com



**RETAIL AND FUEL DEVELOPMENT
LOT 1, BLOCK 4
PROMENADE AT CASTLE ROCK
FILING NO. 1
CASTLE ROCK, COLORADO**

[illegible]

Project No:	WMF004853
Drawn By:	RDG
Checked By:	PNB
Date:	01/05/2015
Disk File:	WMF4853_P_09-Lite Defs.dwg

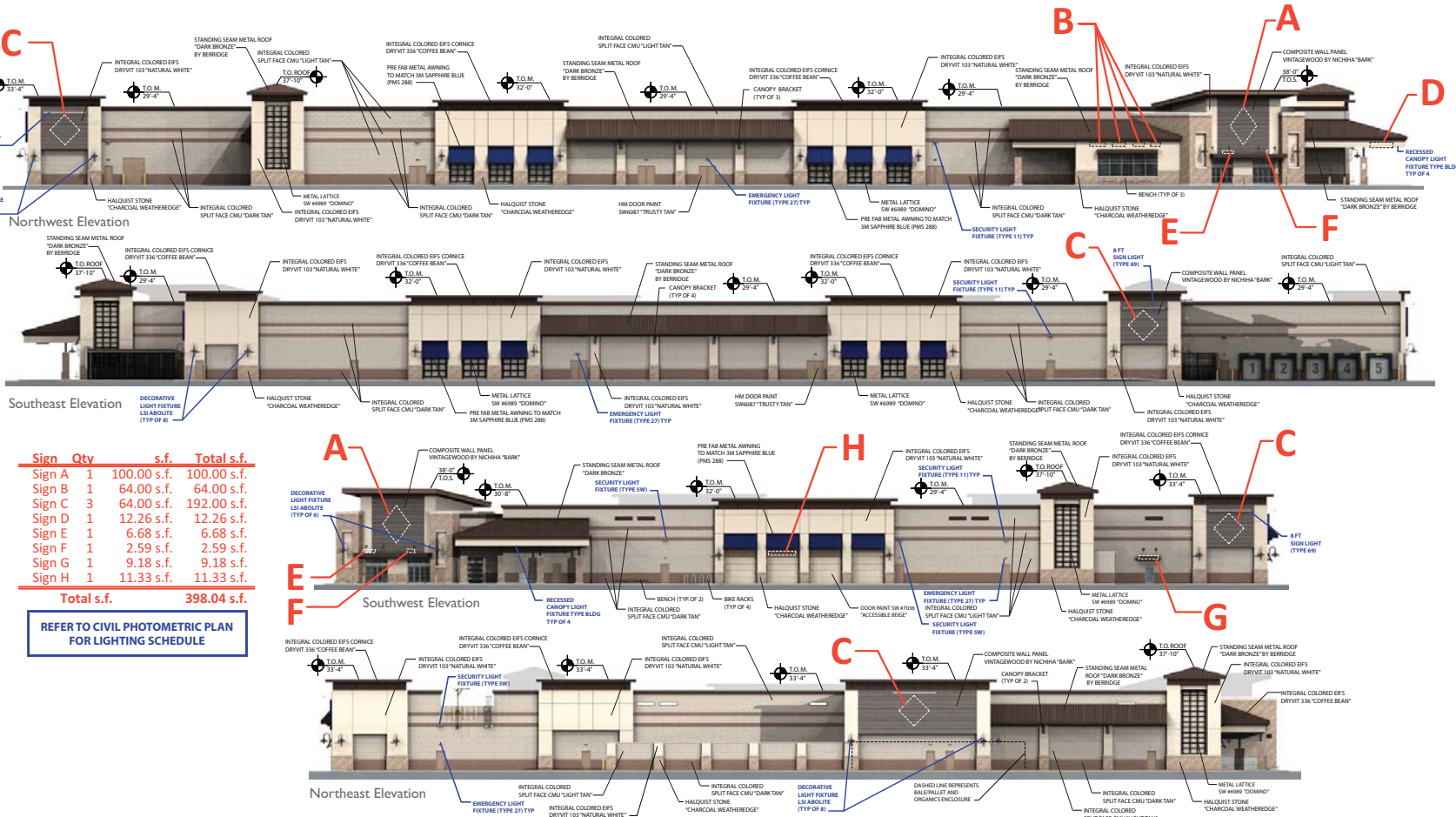
SHEET TITLE:
PHOTOMETRIC DETAILS

MANUFACTURER SPECIFICATION SHEET FOR AREA FIXTURES 'S1' & 'D2', POLE, AND POLE BASE

SDP15-0001 - SITE DEVELOPMENT PLAN
LOT 1, BLOCK 4, PROMENADE
AT CASTLE ROCK FILING NO. 1

9 of 16

LOT 1, BLOCK 4, PROMENADE AT CASTLE ROCK, FILING NO. 1
LOCATED IN THE N. 1/2 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,
COUNTY OF DOUGLAS, STATE OF COLORADO



Sign	Qty	s.f.	Total s.f.
Sign A	1	100.00 s.f.	100.00 s.f.
Sign B	1	64.00 s.f.	64.00 s.f.
Sign C	3	64.00 s.f.	192.00 s.f.
Sign D	1	12.26 s.f.	12.26 s.f.
Sign E	1	6.68 s.f.	6.68 s.f.
Sign F	1	2.59 s.f.	2.59 s.f.
Sign G	1	9.18 s.f.	9.18 s.f.
Sign H	1	11.33 s.f.	11.33 s.f.
Total s.f.			398.04 s.f.

REFER TO CIVIL PHOTOMETRIC PLAN
FOR LIGHTING SCHEDULE

**Trevor
Tyson
Holcomb**

Architect



RETAIL AND FUEL DEVELOPMENT
LOT 1, BLOCK 4
PROMENADE AT CASTLE ROCK
CASTLE ROCK, COLORADO
FILING NO. 1

[illegible]

Project No:	1204019
Date:	7/20/2015

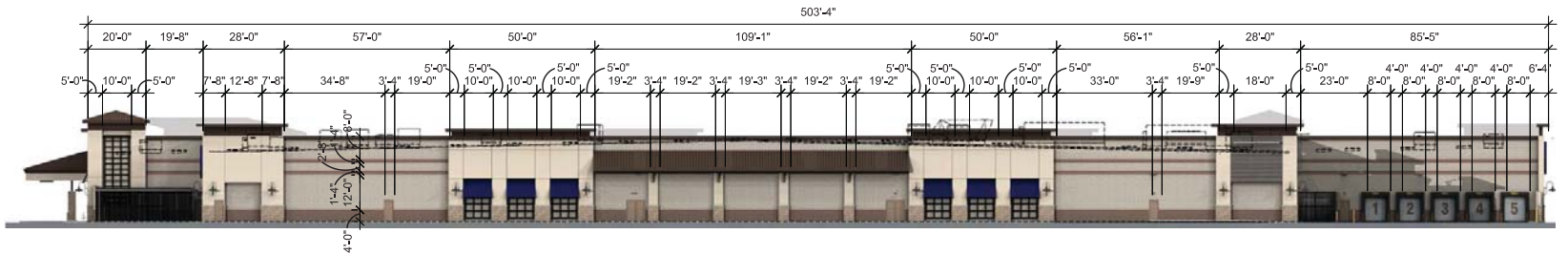
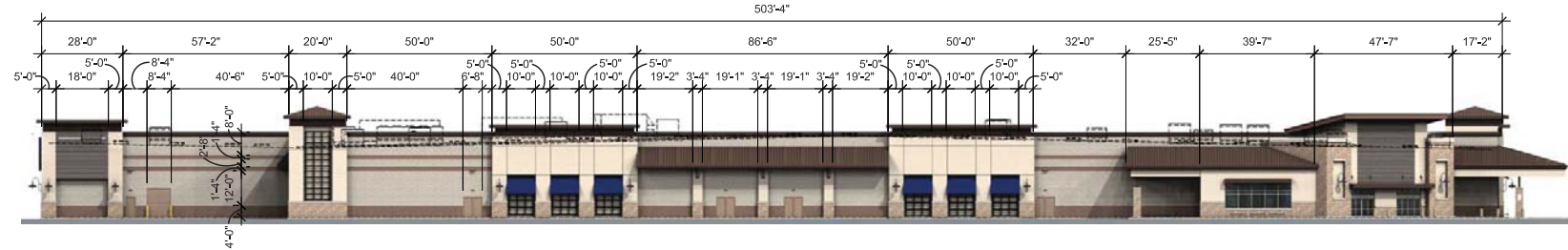
SHEET TITLE:
Building Elevations

SDP15-0001 - SITE DEVELOPMENT PLAN
LOT 1, BLOCK 4, PROMENADE
AT CASTLE ROCK FILING NO. 1

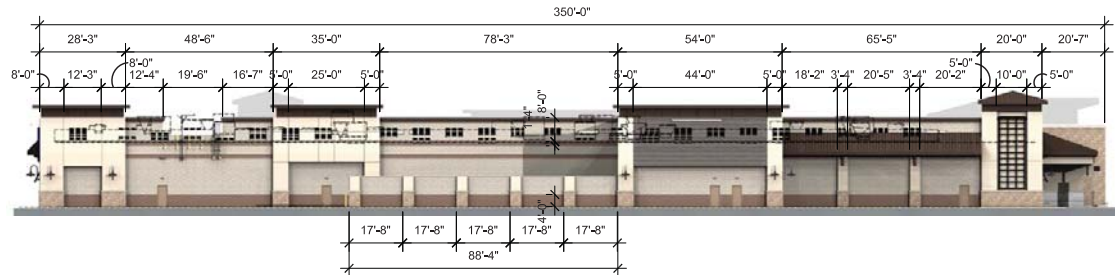
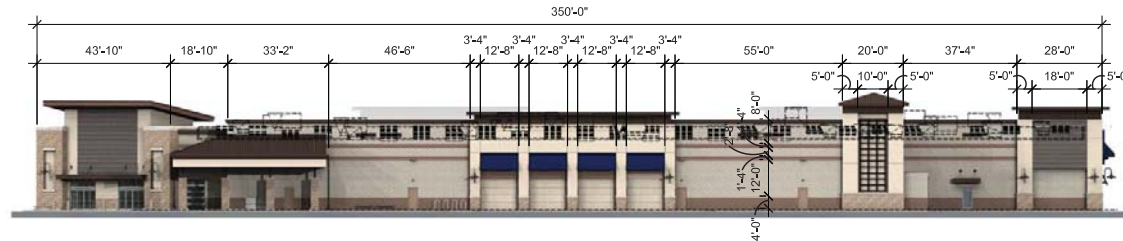
11 of 16

SITE DEVELOPMENT PLAN

LOT 1, BLOCK 4, PROMENADE AT CASTLE ROCK, FILING NO. 1
LOCATED IN THE N. 1/2 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,
COUNTY OF DOUGLAS, STATE OF COLORADO



Rooftop mechanical units
are screened from view
(refer to sheet 16 of 16 for
sightline study)



SDP15-0001 - SITE DEVELOPMENT PLAN
LOT 1, BLOCK 4, PROMENADE
AT CASTLE ROCK FILING NO. 1

Trevor
Tyson
Holcomb

Architect



RETAIL AND FUEL DEVELOPMENT
LOT 1, BLOCK 4
PROMENADE AT CASTLE ROCK
FILING NO. 1
CASTLE ROCK, COLORADO

#	Date	Issue / Description
1	3/10/15	SDP SUBMITTAL
2	3/18/15	SDP DISCUSSIONAL
3	3/20/15	SDP DISCUSSIONAL
4	3/23/15	SDP DISCUSSIONAL
5	3/23/15	SDP DISCUSSIONAL
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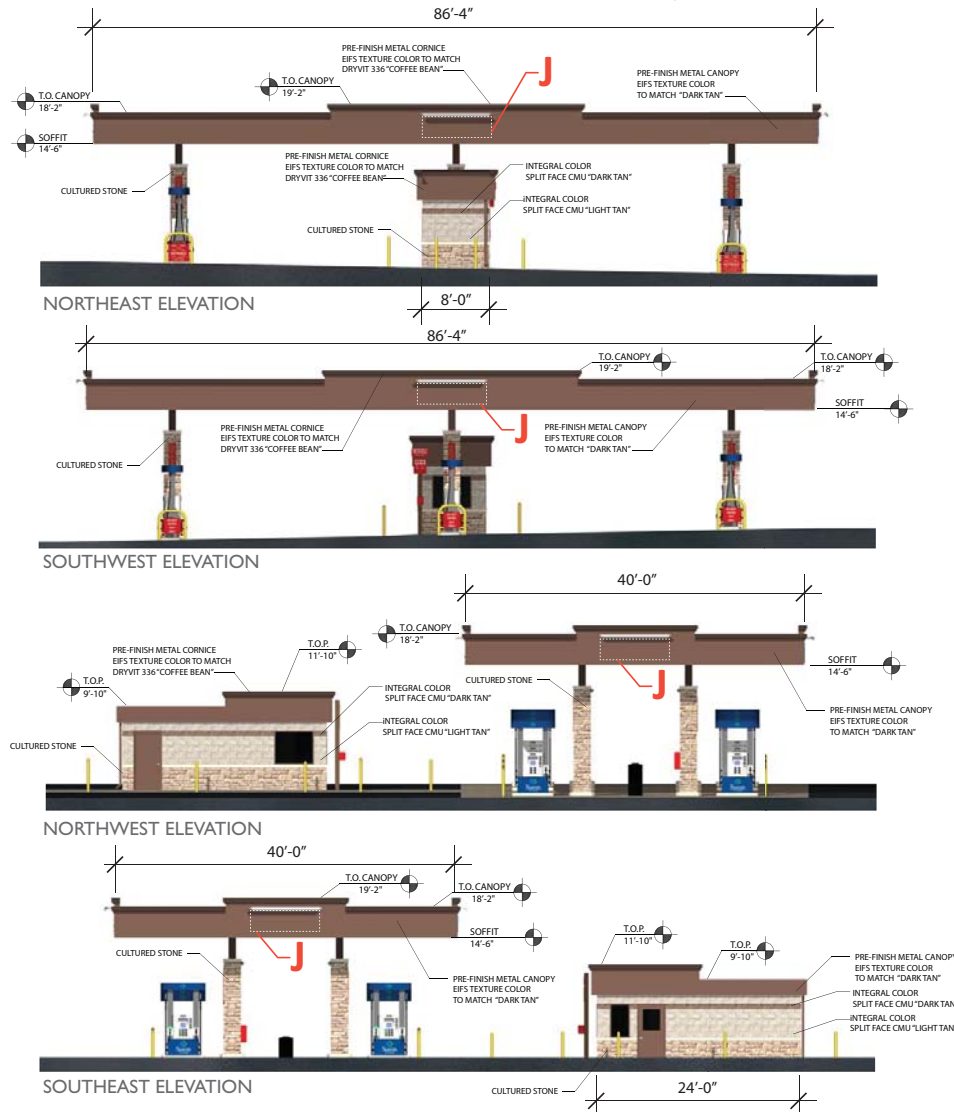
Project No: 1204019
Date: 7/26/2015

SHEET TITLE:
Dimensioned Building
Elevations

12 of 16

SITE DEVELOPMENT PLAN

LOT 1, BLOCK 4, PROMENADE AT CASTLE ROCK, FILING NO. 1
LOCATED IN THE N. 1/2 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,
COUNTY OF DOUGLAS, STATE OF COLORADO



Sign	Qty	s.f.	Total s.f.
Sign J	4	19.01 s.f.	76.04 s.f.
		Total s.f.	76.04 s.f.



RETAIL AND FUEL DEVELOPMENT
LOT 1, BLOCK 4
PROMENADE AT CASTLE ROCK
FILING NO. 1
CASTLE ROCK, COLORADO

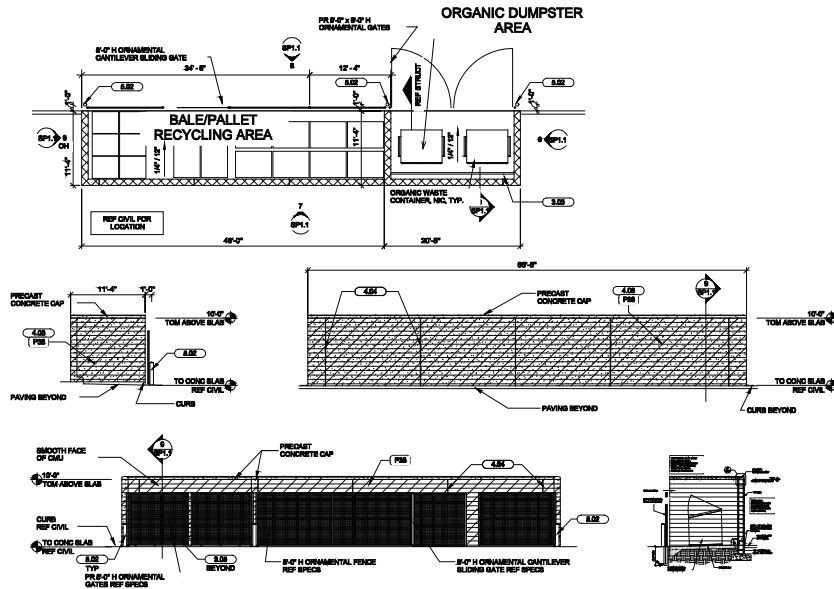
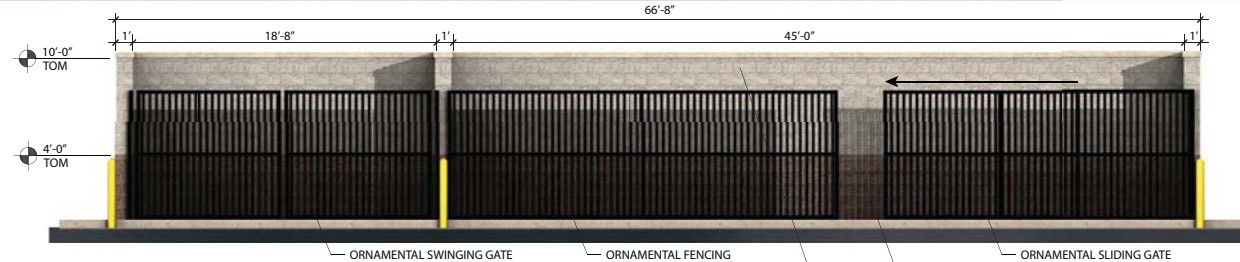
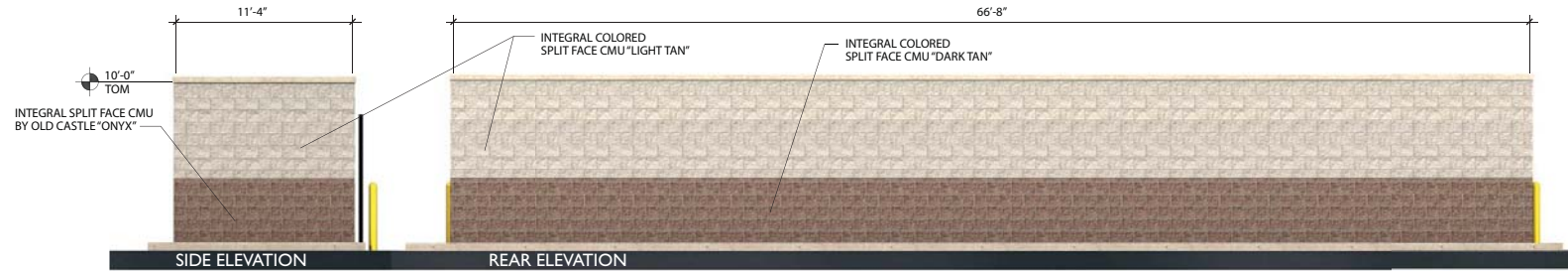
#	Date	Issue / Description
1	01/01/15	SDP SUBMITTAL
2	03/18/15	SDP DISCUSSIONAL
3	05/07/15	SDP DISCUSSIONAL
4	05/07/15	SDP DISCUSSIONAL
5	05/07/15	SDP DISCUSSIONAL
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SHEET TITLE:
Fuel Station
Elevations
13 of 16

SDP15-0001 - SITE DEVELOPMENT PLAN
LOT 1, BLOCK 4, PROMENADE
AT CASTLE ROCK FILING NO. 1

SITE DEVELOPMENT PLAN

LOT 1, BLOCK 4, PROMENADE AT CASTLE ROCK, FILING NO. 1
LOCATED IN THE N. 1/2 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,
COUNTY OF DOUGLAS, STATE OF COLORADO



Trevor
Tyson
Holcomb
Architect



RETAIL AND FUEL DEVELOPMENT
LOT 1, BLOCK 4
PROMENADE AT CASTLE ROCK
FILING NO. 1
CASTLE ROCK, COLORADO

#	Date	Issue / Description
1	01/01/15	SDP SUBMITTAL
2	01/01/15	SDP DISCUSSIONAL
3	01/01/15	SDP DISCUSSIONAL
4	01/01/15	SDP DISCUSSIONAL
5	01/01/15	SDP DISCUSSIONAL
6		
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17		
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19		
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SHEET TITLE:
Bale/Pallet &
Organics Enclosure

SDP15-0001 - SITE DEVELOPMENT PLAN
LOT 1, BLOCK 4, PROMENADE
AT CASTLE ROCK FILING NO. 1

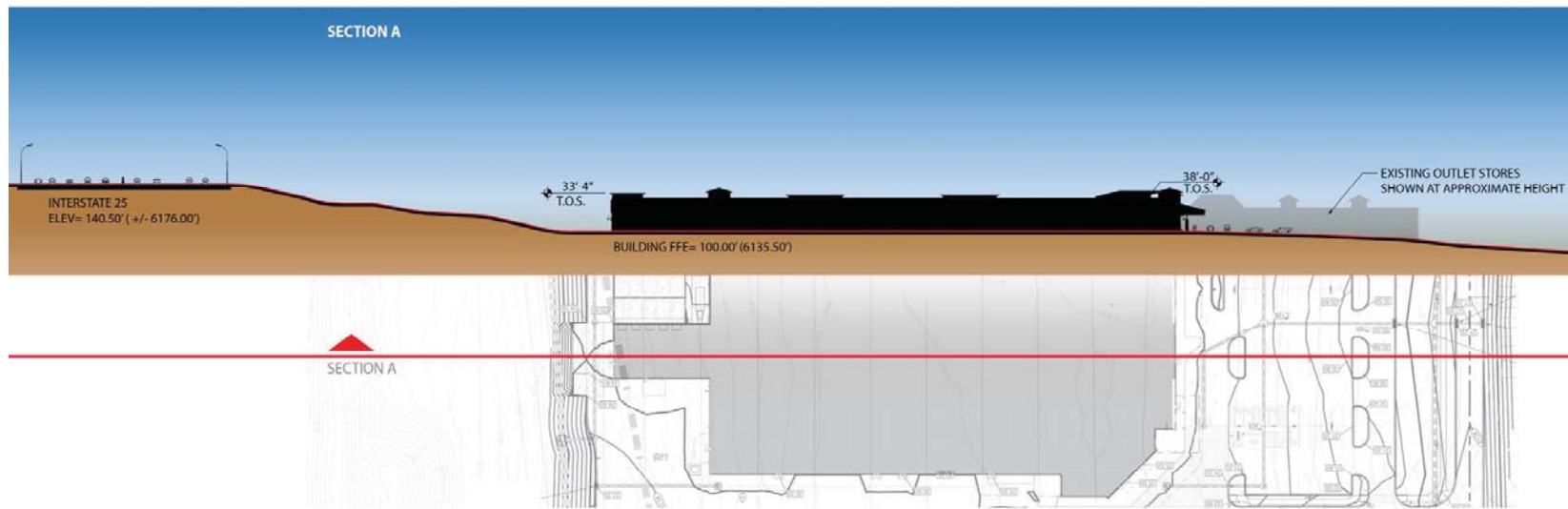
14 of 16

SITE DEVELOPMENT PLAN

LOT 1, BLOCK 4, PROMENADE AT CASTLE ROCK, FILING NO. 1
LOCATED IN THE N. 1/2 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,
COUNTY OF DOUGLAS, STATE OF COLORADO



RETAIL AND FUEL DEVELOPMENT
LOT 1, BLOCK 4
PROMENADE AT CASTLE ROCK
FILING NO. 1
CASTLE ROCK, COLORADO



#	Date	Issue / Description
1	01/09/15	SDP SUBMITTAL
2	03/18/15	SDP DISCUSSIONAL
3	06/09/15	SDP DISCUSSIONAL
4	08/05/15	SDP DISCUSSIONAL
5		
6		
7		
8		
9		
10		

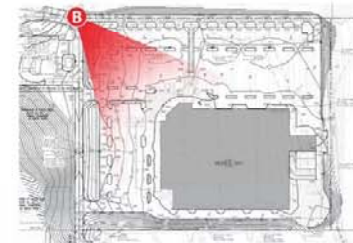
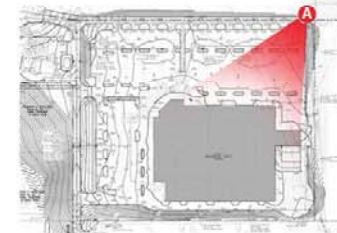
Project No: 1204019
Date: 7/26/2015

SHEET TITLE:
Building Site Section

SDP15-0001 - SITE DEVELOPMENT PLAN
LOT 1, BLOCK 4, PROMENADE
AT CASTLE ROCK FILING NO. 1

15 of 16

LOT 1, BLOCK 4, PROMENADE AT CASTLE ROCK, FILING NO. 1
LOCATED IN THE N. 1/2 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,
COUNTY OF DOUGLAS, STATE OF COLORADO



**Trevor
Tyson
Holcomb**

Architect



RETAIL AND FUEL DEVELOPMENT
LOT 1, BLOCK 4
PROMENADE AT CASTLE ROCK
FILING NO. 1
CASTLE ROCK, COLORADO

[illegible]