



Planning Commission Agenda - Final

Chair Todd Warnke
Vice Chair Kevin McHugh
Carlos Salinas
Jeff Samuelson
Tom Martinez
Kari Stanley
Mitchell Sawin

Thursday, October 9, 2025

6:00 PM

Town Hall
100 N. Wilcox Street
Castle Rock, CO 80104

**** ALL TIMES ARE APPROXIMATE ****

5:30 pm DINNER FOR BOARD MEMBERS

6:00 pm CALL TO ORDER / ROLL CALL

6:02 pm CERTIFICATION OF MEETING

6:05 pm APPROVAL OF MINUTES

1. [PC 2025-024](#) September 25, 2025 Planning Commission Meeting
Minutes

Attachments: [September 25, 2025 Planning Commission Minutes](#)

6:10 pm PUBLIC HEARING ITEMS

2. [PC 2025-025](#) Foundation Auto Dealership Site Development Plan - Lot 1
Foundation Automotive Filing No. 1 [6.43-acre site located at the
corner of S Wilcox and Brookside Circle.]

Attachments: [Staff Report](#)
[Attachment A: Vicinity Map](#)
[Attachment B: Site Development Plan](#)
[Attachment C: Foundation Auto Dealership Meeting Summaries](#)

6:30 pm TOWN COUNCIL LIAISON UPDATE

6:35 PM DESIGN REVIEW BOARD UPDATE

6:40 pm COMMISSION ITEMS

Check for quorum for upcoming meetings

October 23, 2025

November 13, 2025

6:45 pm STAFF UPDATE/PLANNING COMMISSION DISCUSSION ITEMS

6:50 pm ADJOURN



Town of Castle Rock

Agenda Memorandum

Agenda Date: 10/9/2025

Item #: 1. **File #:** PC 2025-024

To: Members of the Planning Commission

From: Planning Commission Administrator

September 25, 2025 Planning Commission Meeting Minutes

Executive Summary

Attached are the meeting minutes from the September 25, 2025 Planning Commission meeting for your review and approval.



Planning Commission Meeting Minutes - Draft

Chair Todd Warnke
Vice Chair Kevin McHugh
Carlos Salinas
Jeff Samuelson
Tom Martinez
Kari Stanley
Mitchell Sawin

Thursday, September 25, 2025

6:00 PM

Town Hall
100 N. Wilcox Street
Castle Rock, CO 80104

**** ALL TIMES ARE APPROXIMATE ****

DINNER FOR BOARD MEMBERS

CALL TO ORDER / ROLL CALL

Staff in Attendance 7 - Staff in Attendance: Tara Vargish, BrieAnna Simon, Sandy Vossler, Matt Roth, Matt Hayes, John LaSala, Carissa Ahlstrom

Present 7 - Jeff Samuelson, Carlos Salinas, Tom Martinez, Chair Todd Warnke, Vice-Chair Kevin McHugh, Kari Olson-Stanley, and Mitchell Sawin

CERTIFICATION OF MEETING

APPROVAL OF MINUTES

[PC 2025-023](#)

August 14, 2025 Planning Commission Meeting Minutes

Moved by Sawin, seconded by Samuelson, to Approve Planning Commission Topic PC 2025-023 as presented. The motion passed by a vote of:

Yes: 6 - Samuelson, Salinas, Martinez, Chair Warnke, Vice-Chair McHugh, and Sawin

Abstain: 1 - Olson-Stanley

PUBLIC HEARING ITEMS

[PC 2025-021](#)

Bella Mesa North Site Development Plan (293.21 Acres located northeast of the intersection of Mitchell Street and Mikelson Boulevard)

BrieAnna Simon presented the Bella Mesa North Site Development Plan, offering background on the zoning history of the site. The proposal includes 525 single-family homes across 293.21 acres, with two access points and setbacks from the mesa edge. The plan also features 174.18 acres of open space and a 3.99-acre central park. Town staff confirmed the plan meets all zoning and regulatory requirements. Three neighborhood meetings were held, drawing a total of 75 attendees.

The applicant, Sarah Darringer of Cardel Homes, and landscape architect Josie O'Connor, provided further details. Sarah introduced Cardel Homes' approach to designing communities that integrate with the natural landscape, emphasizing preservation of vegetation and open space. Josie discussed the annexation into Founders Village and described the site layout. Feedback from neighborhood meetings led to several revisions, including removal

of seven lots to reduce density in this location, and adjustments to trail and home setbacks in the southern portion of the site to minimize ecological impact. A temporary road connection to Mitchell Street was requested by residents but ultimately was not supported by Town Staff.

Josie noted that ecological studies found no significant impact to local species and that fire safety concerns were addressed. The plan exceeds buffer space requirements and includes detailed park and trail designs.

Commissioner Samuelson inquired about the temporary road and density changes. Josie confirmed the road would not be retained and explained the reduction of seven lots near the southern boundary. Commissioner Sawin raised questions about traffic mitigation. The traffic consultant explained that future traffic projections were based on peak morning and afternoon hours and included school traffic. Emergency access and multimodal transportation needs were also addressed, with no concerns identified. The intersection at Mikelson and Mitchell was evaluated, and traffic estimates assumed 10 trips per day per household and Founders Parkway was included in the analysis.

Public Spoken Comments:

Nancy Mitchel lives adjacent to the site in Douglas County and expressed frustration over lack of notification. She highlighted concerns about blasting through granite, dust and debris from previous construction, and potential impacts to livestock and wildlife, including rattlesnake migration. She also noted the absence of a completed rock fall study.

Nancy Grisham appreciated the Town's communication efforts but felt the scale of the development was not clearly conveyed. She raised concerns about greenbelt setbacks, fire evacuation routes, and the proximity of new homes to existing properties.

Chort Parmley a Douglas County Resident in Franktown, emphasized the need for a transition zone between Franktown and the development, citing ecological and wildlife concerns and the importance of preserving the ridge identified in the Douglas County Master Plan.

Tony Shaltz questioned the construction timeline and raised traffic concerns, particularly during peak hours.

Nick Howe, a recent property owner near the rim, echoed concerns about proximity to the edge, ecological impact, and traffic. He criticized reliance on studies over resident input and noted issues with trespassing.

Michael Griffith reported difficulty turning left from Mikelson and anticipated increased traffic volumes. He also raised concerns about construction impacts on foundations and the stability of caprock.

Commissioner Discussion:

Commissioner Stanley asked about rock fall risks. Civil engineer, Mike Peachman responded on behalf of the applicant that studies had been conducted, and blasting would be restricted within 100 feet of the cliff edge. Further analysis will be completed during the Site Development Plan phase.

Commissioner Samuelson asked the history of the zoning, and BrieAnna confirmed the site was rezoned in 2014 and the zoning was reduced to allow 525 units. Commissioner Sawin reiterated the need for stronger traffic mitigation and expressed concern about leaving school traffic management solely to the district.

Chair Warnke asked whether Mesa Middle School and the Douglas County School District had any concerns and Tara stated that they were provided information on the project and no comments were received. Tara Vargish stated CDOT participated in the traffic study review.

Moved by Martinez, seconded by Vice-Chair McHugh, to Recommend Approval to Town Council Planning Commission Topic PC 2025-021 as presented. The motion passed by a vote of:

Yes: 5 - Samuelson, Martinez, Chair Warnke, Vice-Chair McHugh, and Olson-Stanley

No: 2 - Salinas, and Sawin

[PC 2025-022](#)

The Brickyard Site Development Plan (21 acres, 401 Prairie Hawk Drive)

Sandy Vossler presented the Brickyard Site Development Plan, which outlines a three-phase development strategy. She shared a zoning and land use table detailing surrounding property uses, along with a comprehensive parking table showing how parking needs will be met throughout all phases of the project. Town staff confirmed that the proposal complies with all applicable zoning and development requirements.

Applicant Tony DeSimone provided an update on the plan's alignment with zoning standards and shared a brief history of the site. Acquired in 2020, the property was in poor condition and has since been cleaned up in preparation for construction. He highlighted the project's location and its role in enhancing connectivity from Wolfensberger Road through the Brickyard and Miller's Landing PD, to Plum Creek Parkway. The road section through Miller's Landing PD has been dedicated to the Town, has 10 acres of public land in the Brickyard to be used as the site of the future sports center. Trail improvements along the Industrial Tributary and under Prairie Hawk Drive will facilitate future trail connections to Downtown.

Dan addressed parking concerns, explaining that Phases 1a and 1b will include substantial parking structures that exceed the number of spaces necessary to meet the peak parking demands. The development team aims to ensure ample parking throughout the project's lifecycle. Additional visuals and renderings were shared to illustrate the phased build-out, and a video walkthrough was presented to provide a more immersive view of the project. Materials showcasing design quality and finishes were made available for Commissioners and the public to examine in person.

No one from the public had comments.

Commissioners Stanley and Salinas raised questions regarding noise impacts, specifically whether a noise study had been conducted. Staff clarified that noise analysis is not a requirement for Site Development Plan approval. Sandy Vossler

noted that the site's layout is expected to naturally buffer sound, particularly from the nearby highway. Dan, representing the applicant team, indicated that interior noise mitigation strategies are being considered.

Commissioner Stanley also inquired about the on-site dog park and how runoff would be managed. The applicant responded that maintenance staff would be responsible for ensuring proper cleanup and mitigation. When asked about grading, the applicant confirmed that grading would occur as part of site preparation.

Commissioner Salinas asked about speed bumps and snow removal. The applicant explained that they are coordinating with the Town of Castle Rock to manage these elements similarly to the Riverwalk development. Dan added that traffic calming measures are part of the roadway plans, including a 300-foot stretch designed to encourage a 5-mph driving speed.

Chair Warnke raised concerns about potential parking overflow from the adjacent sports center. Sandy Vossler explained that a Parks Department study addressed shared-use parking and concluded that timing and programming would allow for effective traffic control. The development agreement includes provisions allowing the Town to restrict sports center parking during major events, such as regional tournaments. The study evaluated parking demand in six-hour increments and found sufficient capacity, with a high degree of internal capture.

Commissioner Sawin asked about applicable building codes. Sandy Vossler clarified that compliance will depend on the timing of permit submission, with projects potentially subject to both the 2018 code and newer standards. Tara added that whichever code is in effect at the time of permitting will be enforced.

Commissioner Salinas also asked about electric vehicle (EV) infrastructure. The applicant confirmed that EV installations are typically included in all of their projects.

Moved by Salinas, seconded by Samuelson, to Recommend Approval to Town Council Planning Commission Topic PC 2025-022 as presented. The motion passed by a vote of:

Yes: 7 - Samuelson, Salinas, Martinez, Chair Warnke, Vice-Chair McHugh, Olson-Stanley, and Sawin

TOWN COUNCIL LIAISON UPDATE

Mayor Gray shared updates on several initiatives recently approved by Town Council. The 2026 budget was introduced, with a vote scheduled for early October. A \$2 million allocation was confirmed for Lost Canyon Ranch, with plans to open the site and complete trail development next year. Council also discussed an intergovernmental agreement with Douglas County to secure financing for the Golden Crown project near Costco. Proposed changes to building height standards were reviewed, though no formal vote was taken. Commissioner Samuelson asked for clarification on how such decisions proceed without a vote, and Tara Vargish explained that without a motion, the item would need a new directive from Council to be reconsidered. Mayor Gray stated that Council finalized an agreement with ACC Collaboration Campus. Although the second building is delayed, no concerns were raised at this time.

DESIGN REVIEW BOARD UPDATE

Vice-Chair McHugh gave an update on 2 Phelps Eternal Rock Church Site Development Plan and the 3 variances for their parking and landscape that was approved. Gave an overview of the plan and variances.

COMMISSION ITEMS**Check for quorum for upcoming meetings**

Stanley and Warnke will not be here October 23.

STAFF UPDATE/PLANNING COMMISSION DISCUSSION ITEMS

Tara Vargish provided an update regarding staffing for the Planning Manager position. She reminded the Commission of its role in recommending items for Town Council consideration and to explain a vote against staff recommendation. Tara updated the commission on the upcoming budget proposal which would fund a new Comprehensive Master Plan update. The current plan, known as the 2030 Master Plan, follows the Town's practice of updating its master plan approximately every ten years.

Chair Warnke also shared a brief update on the Youth Commission, highlighting recent activities and engagement efforts.

ADJOURN

**Moved by Chair Warnke, seconded by Sawin, to Approve to Adjourn as presented.
The motion passed by a vote of:**

Yes: 7 - Samuelson, Salinas, Martinez, Chair Warnke, Vice-Chair McHugh, Olson-Stanley, and Sawin



Town of Castle Rock

Agenda Memorandum

Agenda Date: 10/9/2025

Item #: 2. **File #:** PC 2025-025

To: Members of the Planning Commission

From: BrieAnna Grandy, Senior Planner, Development Services Department

Foundation Auto Dealership Site Development Plan - Lot 1 Foundation Automotive Filing No. 1 [6.43-acre site located at the corner of S Wilcox and Brookside Circle.]

Executive Summary

The purpose of this staff report is to seek Planning Commission's recommendation on a Site Development Plan (SDP) for the Foundation Auto Dealership and service center approximately 32,826 square feet (sq. ft.) in size. The 6.43-acre site is within The Plum Creek West Planned Development (PD) where automotive sales, repair and service facilities are a use by special review. The site is located at the corner of S Wilcox and Brookside Circle (Figure 1).

All staff and external comments have been addressed, and staff recommends that Planning Commission recommend approval to Town Council of the proposed Site Development Plan. The Town Council public hearing has been scheduled for November 7, 2025.

Attachments

Attachment A: Vicinity Map

Attachment B: Site Development Plan

Attachment C: Neighborhood Meeting Summaries

AGENDA MEMORANDUM

To: Planning Commission

From: BrieAnna Grandy, Senior Planner, Development Services Department

Title: **Foundation Auto Dealership Site Development Plan - Lot 1 Foundation Automotive Filing No. 1** [6.43-acre site located at the corner of S Wilcox and Brookside Circle.]

Executive Summary

The purpose of this staff report is to seek Planning Commission's recommendation on a Site Development Plan (SDP) for the Foundation Auto Dealership and service center approximately 32,826 square feet (sq. ft.) in size. The 6.43-acre site is within The Plum Creek West Planned Development (PD) where automotive sales, repair and service facilities are a use by special review. The site is located at the corner of S Wilcox and Brookside Circle (Figure 1).

All staff and external comments have been addressed, and staff recommends that Planning Commission recommend approval to Town Council of the proposed Site Development Plan. The Town Council public hearing has been scheduled for November 7, 2025.



Figure 1: Vicinity Map

Background

Zoning Regulations

The site is located at the corner of S Wilcox and Brookside Circle and is undeveloped. The property is located in the Plum Creek West Planned Development Plan within the Office/Retail Use Area. The automotive sales, repair and service facilities in this area are permitted by a use by special review.

Surrounding Uses

The property is bordered by Brookside Business Center Planned Development Plan to the north and east which includes an automotive service station and dealership. The property is bordered to the south by Your Storage Center at Castle Rock Planned Development Plan which includes an existing storage facility. The property to the west is right-of-way for the S. Wilcox Street frontage road and I-25.

Discussion

Uses

The SDP proposes an automotive dealership and service center building approximately 32,826 square feet (sq. ft.) in size. Automotive sales, repair and service facilities uses are permitted as a use by special review under The Plum Creek West Planned Development Zoning Regulations.

Site Design

The Foundation Auto Dealership service facility building is situated on the center of the lot (Figure 2 - shaded blue). A three-quarter movement access is proposed onto S. Wilcox Street (Figure 2 – red arrows). There is also a proposed cross-access to the north to allow use of the existing Castle Rock Ford full movement access (Figure 2 – red arrows). The landscape plan meets the Town's requirements. The parking lot provides 385 parking spaces, exceeding the Town standard of 139 spaces. The lighting plan meets the Code requirements and restrictions that are based on Dark Skies standards.

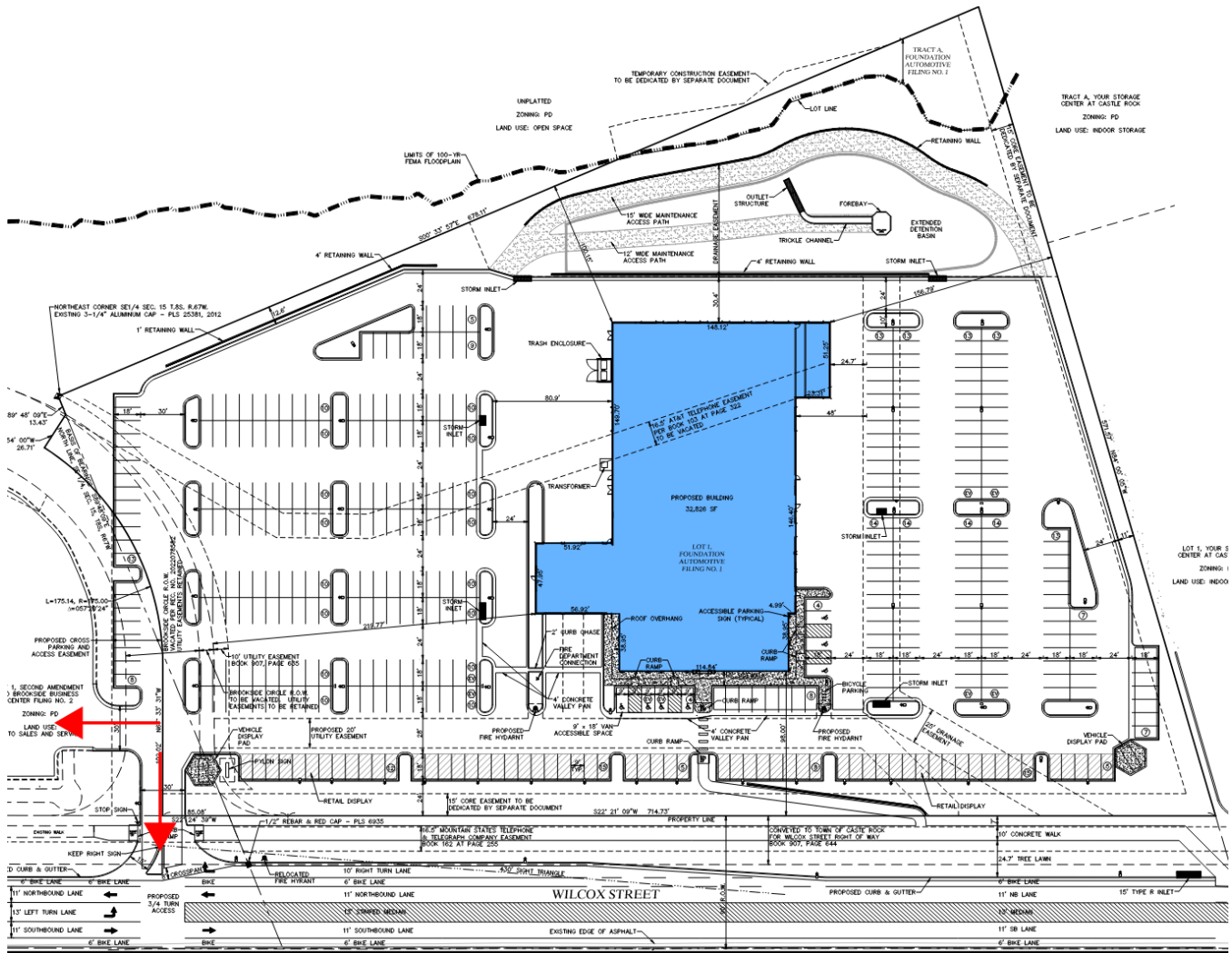


Figure 2: Site Development Plan

Development Standards

The Foundation Auto Dealership SDP meets or exceeds the development standards established by the Plum Creek West Planned Development Zoning Regulations and Municipal Code (Code). The PD provides minimum setback and a maximum building height allowed of 35'. The proposed height of the Foundation Auto Dealership service facility building is 26 feet to the top of parapet. Parking requirements are based on the Municipal Code; specifically, Section 17.54.040, Table 64-1: Office General – 4 spaces per 1,000 sq. ft. of gross floor area, Auto Repair - 1 space per employee plus 3 spaces per service bay. The Code requires 139 parking spaces and 385 spaces are being provided. The required and proposed development standards applicable to this site plan are broken out in Table 1.

ZONING COMPARISON CHART

ZONING	PD (PLUM CREEK WEST PD)	
ITEM	PD REQUIREMENT	PROPOSED
USE	*	AUTOMOTIVE RETAIL
MAXIMUM GROUND COVERAGE	35%	11.7%
BUILDING SETBACKS		
MIN. FRONT SETBACK (WEST)	25'	98.00'
MIN. REAR SETBACK (EAST)	20'	100.15'
MIN. SIDE SETBACK (NORTH)	15'	219.77'
MIN. SIDE SETBACK (SOUTH)	15'	156.79'
MAXIMUM BUILDING HEIGHT	35'	30'
VEHICLE PARKING (SEE TABLE BELOW)	139	385

Table 1: Foundation Auto Dealership Development Standards

Interface Regulations

The Foundation Auto Dealership site and site development plan are not impacted by the Residential/Nonresidential Interface Regulations.

Skyline / Ridgeline Protections

The Foundation Auto Dealership site and site development plan are not impacted by the Skyline / Ridgeline Protection regulations.

Open Space and Public Land Dedication (as applicable)

The public land and open space designations and dedication were determined with the Planned Development Plan. No additional dedications are required with development of this property.

Fire

The proposed project area is located within the Town of Castle Rock Fire Protection Service Area. The project area will be served by Town of Castle Rock Fire, which has capacity to serve the proposed development.

Traffic Impact Analysis and Mitigation

LSC Transportation Consultants has submitted a Traffic Impact Analysis for the proposed Foundation Auto Dealership located on S. Wilcox St., south of the existing car dealerships. The site is proposed to include a car dealership with about 32,826 square feet. Three-quarter movement access is proposed to S. Wilcox Street. There is also a proposed cross-access to the north to allow use of the existing Castle Rock Ford full movement access.

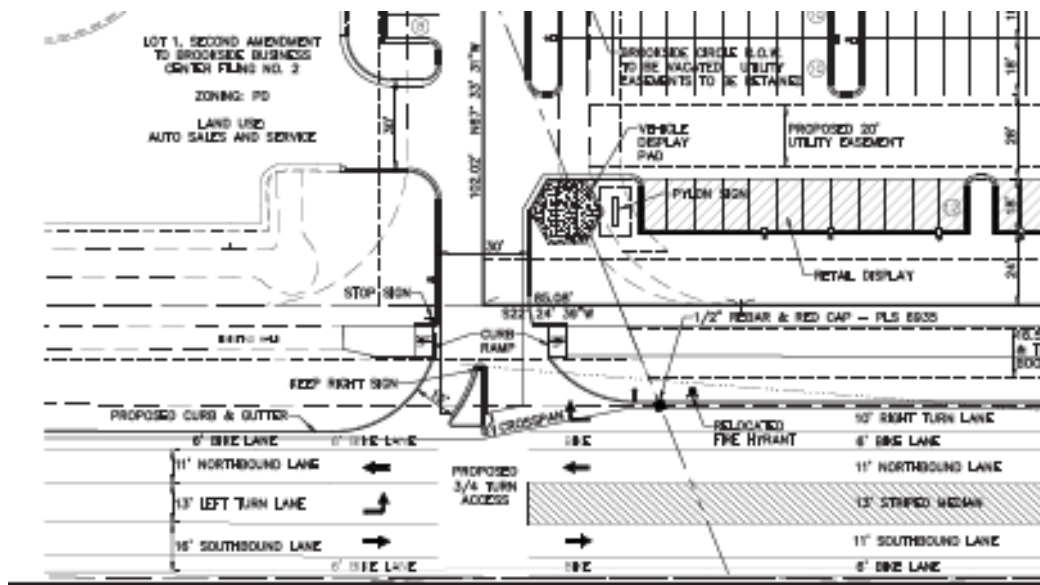


Figure 3: Foundation Auto Dealership Roadway Configuration

The site is projected to generate about 914 vehicle-trips on the average weekday, with about half entering and half exiting during a 24-hour period. During the morning peak-hour, about 45 vehicles would enter and about 16 vehicles would exit the site. During the afternoon peak-hour, about 32 vehicles would enter and about 48 vehicles would exit.

Recommended Improvements

S. Wilcox St. will be re-stripped to provide a south bound left turn lane into the facility and also re-configure existing striping north to the existing Ford dealership entrance.

The impact of the site can be accommodated by the existing and planned roadway network with implementation of the recommended improvements.

Utilities

The Town's applicable water and sewer requirements set forth in the Town of Castle Rock Water Criteria Manual and Wastewater Criteria Manual will apply to the Property. No further comments as it relates to water and sewer infrastructure at this time.

Drainage

The Town's applicable drainage requirements set forth in the Town of Castle Rock Landscape and Irrigation Performance Standards and Criteria Manual will apply to the Property. No further comments as it relates to drainage infrastructure at this time.

Water Conservation

All associated Landscape and Irrigation within this development will comply with the Town of Castle Rock Landscape and Irrigation Criteria Manual as amended.

Water Resources

This property is located within the Implied Consent area per ordinance 97-17 and pursuant to the implied consent provision of Municipal code, Section 13.16.010. Applicant is required to Quit Claim all water rights to the Town at time of development.

Notification and Outreach

Public Notice

Public hearing notice signs were posted on the property on September 17, 2025. Written notice letters were sent to property owners within 500 feet of the property, at least 15 days prior to the public hearings.

Town staff published notice of the Planning Commission and Town Council public hearings on the Town's website and provided information about the proposal on the Town's *Development Activity* interactive map.

Neighborhood Meetings

The applicant held three neighborhood meetings to present the proposed site plan and take feedback from surrounding neighbors. Attachment C contains the summaries of all three neighborhood meetings, including the questions asked and the applicants' answers. The first neighborhood meeting was held May 6, 2024, in a virtual format, and was attended by approximately 1 resident. Questions were raised about where the water and sewer connection will be on the property, along with construction timing.

The second neighborhood meeting was held November 18, 2024, in a virtual format, and was attended by no public attendees.

The third neighborhood meeting is scheduled for October 6, 2025, in an in-person only format.

External Referrals

External referral requests were sent to local service providers and Douglas County agencies. Responding agencies included CDOT, CORE Electric, Douglas County GIS, Engineering, Addressing and Planning. There are no outstanding external referral comments.

Analysis

This staff analysis takes into account the representations made in the application and attachments submitted to date.

SDP Review and Approval Criteria and Analysis 17.38.040

A. Community Vision/Land Use Entitlements.

1. Generally, conforms to the Town's guiding documents that include, but are not limited to, Town Vision, Comprehensive Master Plans, Sub Area Plans, Design Guidelines, Corridor Plans and any other guiding document so long as the application of such document does not restrict the project's entitle use(s) and density.
2. Complies with existing Intergovernmental Agreements applicable to the development proposed.

3. Complies with any applicable Zoning Overlay Regulations and, if applicable, Skyline/Ridgeline Regulations.
4. Complies with the approved Planned Development Plan and Zoning Regulations.
5. Conforms to the Town's architectural goals by proposing architectural details that incorporate the use of high-quality materials in a unique and varied design, while eliminating monolithic expanses of walls and rooflines through the use of varying planes and architectural projections to ensure a complete 360-degree architectural design.
6. Complies with all other relevant requirements of the CRMC.

Analysis: The proposed SDP generally meets this criterion. The Foundation Auto Dealership advances the objectives of the Town's guiding documents and complies with Plum Creek West Planned Development Plan and Zoning Regulations. There is no intergovernmental agreement applicable to this SDP, nor is the site design subject to Skyline/Ridgeline Interface and Dissimilar Residential Interface regulations.

B. Site Layout.

1. Conforms to Chapter 17.50 Residential/Non-Residential Interface of the CRMC.
2. Site design shall be designed to maintain pedestrian and vehicle safety, provide for adequate fire safety, and mitigate impacts upon adjacent properties by ensuring all vehicular, fire and mitigation regulations contained within the CRMC, including technical criteria, have been met.
3. Provides adequate parking, on-site circulation and loading in accordance with Town regulations.
4. Provides appropriate screening and/or enclosure of outdoor storage of merchandise/materials, loading areas, trash receptacles, mechanical units, site utility equipment and building mounted utility hardware.
5. Provides adequate site design to protect major environmental characteristics that would include unique topographic features and significant vegetation where possible.

Analysis: The proposed SDP generally meets this criterion. The SDP meets all relevant site layout requirements outlined in the governing zoning and the Town's Municipal Code. There are no major environmental characteristics, topographical features or significant stands of vegetation on this lot. Parking exceeds the minimum required by Code.

C. Circulation and Connectivity.

1. Complies with all CRMC and technical criteria associated with circulation and connectivity.
2. Complies with all Fire regulations associated with land development.
3. Provides for pedestrian and bicycle traffic in a safe and convenient manner.
4. Provides for a high level of pedestrian connectivity between neighborhoods, schools, trails/open space and commercial areas.

Analysis: The proposed SDP generally meets this criterion. The SDP provides one access points to the property and establishes unobstructed circulation throughout the site. The plan also provides clear, safe pedestrian walkways through the parking lot to buildings entrance, along with to adjacent commercial properties.

D. Services Phasing and Off-site Impact.

1. Complies with any phasing requirements associated with the approved zoning for the property. Provides phased improvements in a logical and efficient manner.
2. Adequate water resources have been conveyed or purchased. Existing or proposed water and wastewater systems can support the proposed development pattern, uses and density.
3. Existing or proposed stormwater systems can support the development and comply with applicable regulations.
4. Provides adequate consideration for the future extension of streets and utilities to adjacent properties.
5. Identifies and appropriately provides on-site and off-site public improvements to mitigate traffic impacts as required by the CRMC and technical criteria.

Analysis: The proposed SDP generally meets this criterion. Construction of the automotive dealership and service center building will not be phased.

E. Open Space, Public Lands and Recreation Amenities.

1. Provides adequate trail systems in terms of internal circulation and appropriate external connections deemed necessary by the Town to achieve connectivity goals.
2. Ensures functional and accessible open space, consistent with the overall open space plan for development and preserves significant natural features.
3. Ensures appropriate buffering, utilizing open space and/or setbacks to lessen any identified negative impacts.

Analysis: The proposed SDP meets this criterion. Open Space and public land dedications were determined with the Planned Development and Zoning Regulations. Development of this property does not require additional dedications.

Budget Impact

Development of the property will generate review and impact fees.

Findings

All staff review comments and external referral comments have been addressed. Staff finds that the proposed Foundation Auto Dealership Site Development Plan

- Generally conforms with the objectives of the Town Vision and the Comprehensive Master Plan,
- Meets the requirements of The Plum Creek West Planned Development Plan and Zoning Regulations, and
- Meets the review and approval criteria of the Municipal Code, Chapter 17.38 for a Site Development Plan

Recommendation

Based on the findings listed above, staff recommends that Planning Commission recommend approval of the Foundation Auto Dealership Site Development Plan to Town Council, as proposed.

Proposed Motion

Option 1: Approval

"I move to recommend approval of the Foundation Auto Dealership Site Development Plan, Lot 1 Foundation Automotive Filing No. 1, to Town Council, as proposed."

Option 2: Approval with Conditions

"I move to recommend approval of the Foundation Auto Dealership Site Development Plan, Lot 1 Foundation Automotive Filing No. 1, to Town Council, with the following conditions:" (list conditions)

Option 3: Continue item to next hearing (need more information to make decision)

"I move to continue this item to the Planning Commission meeting on [date], at [time]."

Attachments

Attachment A: Vicinity Map

Attachment B: Site Development Plan

Attachment C: Neighborhood Meeting Summaries

Unincorporated
Douglas County

Subject Property

PREAPP22-0086 Vicinity Map

18
62.5 125 250
Feet



GENERAL NOTES

1. APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL. THERE MAY BE SUBSEQUENT AMENDMENTS.
2. THIS SITE IS ZONED PD PER THE PLUM CREEK WEST PD, RECORDED ON AUGUST 13, 1985 AT RECEPTION NUMBER 359809.
3. THIS PROPERTY IS LOCATED WITHIN ZONES X AND AE AS PER FEMA FIRM PANEL NO. 08035C0301G DATED MARCH 16, 2016. PORTIONS OF THE PROPERTY ARE LOCATED WITHIN A DESIGNATED 100-YEAR FLOODPLAIN ZONE A/AE.
4. RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4- FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND REQUIRE A BUILDING PERMIT.
5. IF THE PROJECT WILL BE LOCATED WITHIN 300 FEET OF THE 100 YR. FLOODPLAIN, APPROVAL FROM THE U.S. FISH AND WILDLIFE SERVICE WILL BE REQUIRED FOR POTENTIAL DISTURBANCE OF THE PREBLE'S MEADOW JUMPING MOUSE HABITAT. PLEASE SEE LINK BELOW FOR INFORMATION RELATED TO THE PREBLE'S MEADOW JUMPING.
6. RETAINING WALLS IN COMMON AREAS OR THAT SPAN MULTIPLE LOTS REGARDLESS OF SIZE/HEIGHT MUST BE LOCATED IN A TRACT. THE RETAINING WALLS MUST BE MAINTAINED BY THE HOA OR METRO DISTRICT.
7. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE PROPERTY OWNER. SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER. SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
8. PURSUANT TO THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
9. FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS SITE DEVELOPMENT PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLANS SHALL REQUIRE AN SDP AMENDMENT.
10. THE NUMBER OF PARKING SPACES ARE BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE OR APPLICABLE PLANNED DEVELOPMENT ZONING WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.
11. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK ZONING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE OR APPLICABLE PLANNED DEVELOPMENT ZONING REGULATIONS.
12. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
13. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
14. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY INCHES IN HEIGHT ABOVE THE FLOW LINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
15. ALL PROPOSED UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL AND SHALL BE ESTABLISHED WITH A PLAT OR SEPARATE DOCUMENT.
16. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, WATER METERS, FIRE HYDRANTS AND CURB BOXES AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES. ANY VARIATION FROM THIS REQUIRES AN APPROVED TECHNICAL CRITERIA VARIANCE.
17. ALL SUBDIVISIONS SHALL INCLUDE ADEQUATE EASEMENTS TO ACCOMMODATE THE CONSTRUCTION, MAINTENANCE AND REPAIR OF ALL PUBLIC ACCESS, SIDEWALKS, TRAILS, WATER SUPPLY SYSTEM, WASTE WATER SYSTEMS, STORM WATER MANAGEMENT SYSTEM AND EROSION CONTROL FACILITIES, TELECOMMUNICATIONS AND OTHER UTILITIES REQUIRED TO PROVIDE EACH UTILITY TO EACH OCCUPIED STRUCTURE IN THE SUBDIVISION.
18. NO STRUCTURE SHALL BE CONSTRUCTED OVER ANY PORTIONS OF A RECORDED TOWN EASEMENT UNLESS A REVOCABLE LICENSE IS APPROVED BY THE TOWN AND THE STRUCTURE WILL NOT INTERFERE WITH THE INTENDED USE OF THE EASEMENT.
19. ANY STRUCTURES PLACED IN THE EASEMENT INCLUDING BUT NOT LIMITED TO PAVING, FENCING, RETAINING WALLS AND LANDSCAPING SHALL BE REMOVED AND REPLACED BY THE OWNER UPON THE REQUEST OF THE UTILITIES DEPARTMENT OR PRIVATE UTILITY COMPANY SO THAT MAINTENANCE MAY BE PERFORMED. THE OWNER OF THE LAND SHALL AGREE TO HOLD THE TOWN AND/OR PRIVATE UTILITY COMPANY HARMLESS FOR ANY LOSS OF PROPERTY OR LANDSCAPING AND IRRIGATION REMOVED FROM THE EASEMENT OR DAMAGED DUE TO MAINTENANCE ACTIVITIES AND ALL ASSOCIATED COSTS.

FIRE NOTES

1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
4. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
5. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
6. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
7. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
8. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 88,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
9. NO PARKING FIRE LANE SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE CASTLE ROCK FIRE DEPARTMENT. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
10. FIRE LANE NO PARKING CURB MARKING. ALL DESIGNATED LANES SHALL BE ACCOMPANIED WITH CURB MARKINGS IN A WEATHER RESISTANT RED PAINT. REFLECTIVE PAINT MAY BE USED FOR HIGHER VISIBILITY. CURBING SHALL BE LABELED, NO PARKING -FIRE LANE IN ALL UPPER CASE LETTERS. LETTERING SHALL BE NO LESS THAN THREE (3) INCHES HIGH WITH WHITE LETTERING ON A RED BACKGROUND AND PLACED ON THE FACE AND TOP OF THE CURB. LETTERING SHALL BE LOCATED NO MORE THAN FIFTY (50) APART AND WITHIN FIVE FEET OF THE BEGINNING AND END OF ANY FIRE LANE.
11. THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) OR COMMUNITY WILDFIRE PROTECTION PLAN (CWPP) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

SITE DEVELOPMENT PLAN
FOUNDATION AUTOMOTIVE FILING NO. 1
LOCATED IN THE SE 1/4, SECTION 15, T. 8 S., R. 67 W., 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PURPOSE STATEMENT

THE PROPOSED IMPROVEMENTS INCLUDE THE CONSTRUCTION OF AN AUTO DEALERSHIP WITH ASSOCIATED PARKING LOT AND LANDSCAPED AREAS.

LEGAL DESCRIPTION

LOT 1 AND TRACT A, FOUNDATION AUTOMOTIVE FILING NO. 1 AS PLATTED IN THE RECORDS OF DOUGLAS COUNTY, COLORADO AT RECEPTION NUMBER

LOT 1, SECOND AMENDMENT TO BROOKSIDE BUSINESS CENTER FILING NO. 2 AS PLATTED IN THE RECORDS OF SAID COUNTY AT RECEPTION NUMBER 2005085525.

BROOKSIDE CIRCLE RIGHT-OF-WAY VACATED BY THE DOCUMENT RECORDED AT SAID COUNTY AT RECEPTION NUMBER 2022078582.

BENCHMARK

NGS BENCHMARK DESIGNATION "Y 396", PID "KK1332" BEING A STEEL ROD UNDER LOGO CAP 101 FEET EAST OF I-25 MILEPOST 180, 80.4 FEET SOUTHEAST OF THE CENTER OF A CONCRETE DRAINAGE PIPE, 42.3 FEET EAST OF THE CENTERLINE OF A FRONTAGE ROAD, 3.3 FEET SOUTH OF A UTILITY POLE. ELEVATION: 6276.49 FEET (NAVD88)

BASIS OF BEARINGS

THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M., BEING MONUMENTED AS SHOWN HEREON, BEARS S89°48'09"E PER THE PLAT OF THE SECOND AMENDMENT TO BROOKSIDE BUSINESS CENTER FILING NO. 2.

SHEET INDEX

- 1 OF 11 COVER SHEET
2 OF 11 SITE PLAN
3 OF 11 GENERAL GRADING PLAN
4 OF 11 GENERAL UTILITY PLAN
5 OF 11 LANDSCAPE PLAN
6 OF 11 PLANT SCHEDULES, NOTES AND CASTLE ROCK DATA
7 OF 11 BUILDING ELEVATIONS
8 OF 11 SITE DETAILS
9 OF 11 PHOTOMETRIC SITE PLAN
10 OF 11 PHOTOMETRIC DETAILS
11 OF 11 STREET LIGHTING PLAN

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

BY: CARS-DB4, L.P., A DELAWARE LIMITED PARTNERSHIP

BY: _____

NAME: _____

TITLE: _____

SIGNED THIS _____ DAY OF _____, 20____

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____

20____ BY _____ AS _____

OF CARS-DB4, L.P., A DELAWARE LIMITED PARTNERSHIP

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THE SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF ORDINANCE 97-17 DATED JUNE 12, 1997 AND IS PART OF THE IMPLIED CONSENT AREA.

TITLE CERTIFICATION

I, _____, AN AUTHORIZED REPRESENTATIVE OF FIRST AMERICAN TITLE INSURANCE COMPANY, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE

AUTHORIZED REPRESENTATIVE _____

TITLE COMPANY _____

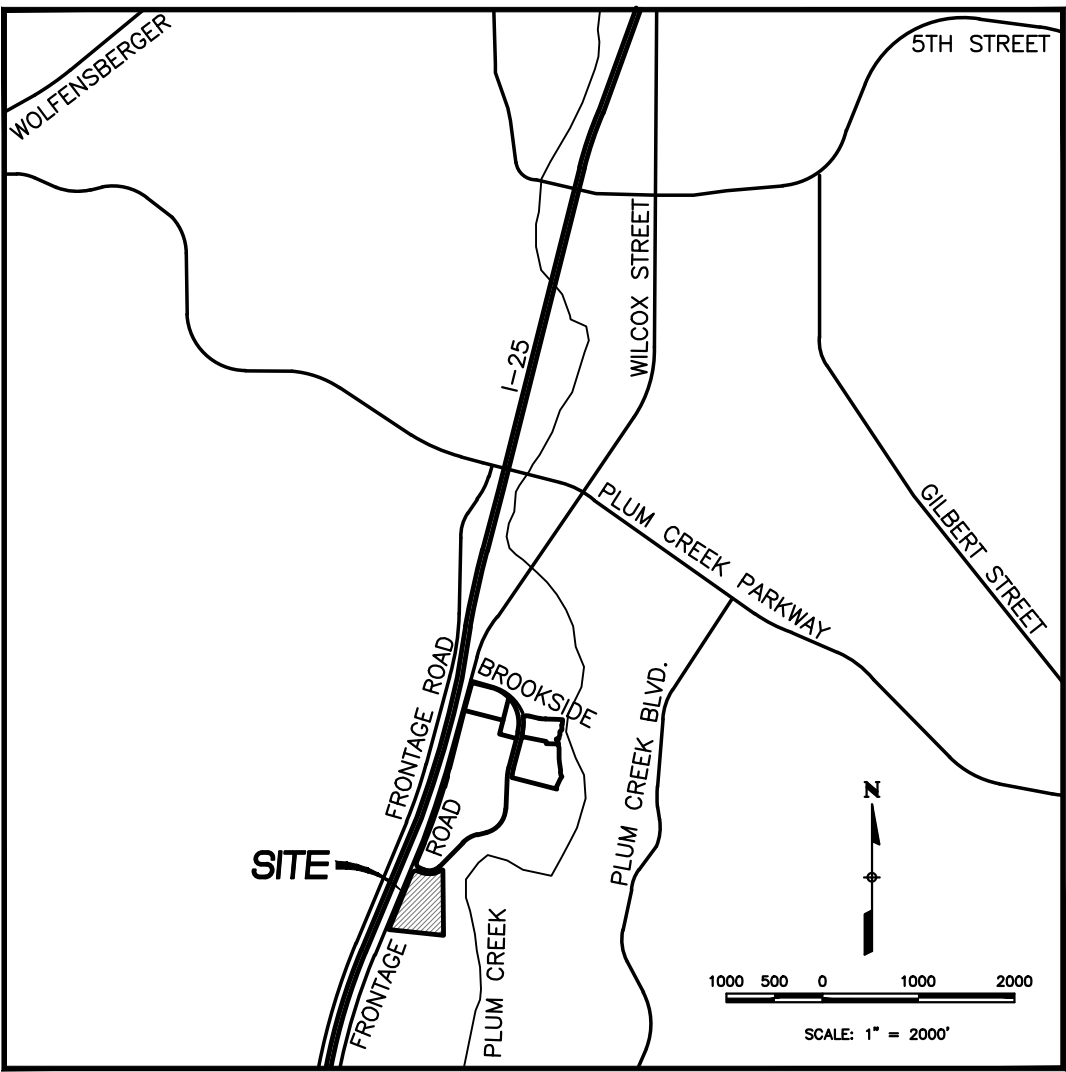
SIGNED THIS _____ DAY OF _____, 20 _____

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20____ BY _____

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____
MY COMMISSION EXPIRES _____



VICINITY MAP
SCALE: 1"=200'

SITE UTILIZATION CHART

USE AREA	AREA	% OF TOTAL
BUILDING FOOTPRINT	0.75 AC / 32,826 SF	11.7%
OPEN SPACE PRIVATE (OSP)	1.78 AC / 77,467 SF	27.7%
OPEN SPACE PUBLIC (OSD)	0 AC / 0 SF	0%
PUBLIC LAND DEDICATION (PLD)	0 AC / 0 SF	0%
ROW DEDICATION	0 AC / 0 SF	0%
PARKING AND DRIVE	3.82 AC / 166,198 SF	59.4%
SIDEWALKS	0.08 ACRES / 3,473 SF	1.2%
TOTAL	6.43 AC / 279,964 SF	100%

ZONING COMPARISON CHART

ZONING	PD (PLUM CREEK WEST PD)	
ITEM	PD REQUIREMENT	PROPOSED
USE	*	AUTOMOTIVE RETAIL
MAXIMUM GROUND COVERAGE	35%	11.7%
BUILDING SETBACKS MIN. FRONT SETBACK (WEST) MIN. REAR SETBACK (EAST) MIN. SIDE SETBACK (NORTH) MIN. SIDE SETBACK (SOUTH)	25' 20' 15' 15'	98.00' 100.15' 219.77' 156.79'
MAXIMUM BUILDING HEIGHT	35'	30'
VEHICLE PARKING (SEE TABLE BELOW)	139	385

- * ALLOWABLE USES PER PLUM CREEK WEST PD:
- (A) CONVENIENCE STORES.
 - (B) DRY CLEANING ESTABLISHMENTS.
 - (C) FINANCIAL INSTITUTIONS.
 - (D) LIQUOR STORES
 - (E) OFFICES, PROFESSIONAL, MEDICAL AND COMMERCIAL.
 - (F) PARKING LOTS, STRUCTURES AND GARAGES.
 - (G) PERSONAL SERVICE ESTABLISHMENTS.
 - (H) PLACES OF PUBLIC ASSEMBLY, ENTERTAINMENT AND RECREATION.
 - (I) PLANT NURSERIES AND GARDEN SHOPS.
 - (J) PUBLIC AND PRIVATE COMMUNITY SERVICES.
 - (K) PUBLIC LODGING FACILITIES.
 - (L) PUBLIC OR PRIVATE MEMBERSHIP CLUBS AND HEALTH CLUBS.
 - (M) RESTAURANTS, LOUNGES AND FAST FOOD ESTABLISHMENTS.
 - (N) RETAIL STORES.
- * USES BY SPECIAL REVIEW PER PLUM CREEK WEST PD:
- (A) AUTOMOTIVE SALES, REPAIR AND SERVICE FACILITIES
 - (B) DAY CARE CENTERS.
 - (C) TRANSIT TERMINALS.

REQUIRED PARKING PER MUNICIPAL CODE TABLE 64-1 USE CATEGORY VEHICLE SALES AND LEASING						TOTAL PROVIDED SPACES	
USE CATEGORY	REQUIRED SPACED PER CATEGORY	PROJECT INFO	SQ. FT.	REQUIRED SPACES		TYPE	PROVIDED
OFFICE GENERAL	4/SPACES PER	4,000 SQ. FT.	12,522	75.0		STANDARD	188
AUTO REPAIR- SERVICE BAYS	3/SPACES PER	SERVICE BAY		50		HANDICAP	7
AUTO REPAIR- EMPLOYEES	1/SPACES PER	EMPLOYEE		50		EV CHARGING SPACES	12
				TOTAL	138.5		
BICYCLE PARKING	EQUALS 5% OF TOTAL REQUIRED OFF-STREET VEHICLE SPACES				6.9	TOTAL	207
						TOTAL BIKE	8
						INVENTORY SPACES	118
						RETAIL DISPLAY SPACES	60
						TOTAL SPACES ON SITE	385

CIVIL ENGINEER/LAND SURVEYOR

VERMILION PEAK ENGINEERING LLC
1745 SHEA CENTER DRIVE, 4TH FLOOR
HIGHLANDS RANCH, CO 80129
720-402-6070
CONTACT: BRIAN KROMBEIN, PE, PLS

LANDSCAPE ARCHITECT

PLANSCAPES DESIGN GROUP
970-988-5301
CONTACT: ROB MOLLOY

ARCHITECT

ADRAGNA ARCHITECTURE + DEVELOPMENT
7383 S. ALTON WAY
CENTENNIAL, CO 80112
719-244-4023
CONTACT: CASEY ADRAGNA

OWNER/DEVELOPER

CARS-DB12 LLC
1100 S. WILCOX STREET
CASTLE ROCK, CO 80104
701-390-0211
CONTACT: DOUG KEITH

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN UNPLATTED LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED ON JUNE 17, 2024 AT RECEPTION NO. 2024024565, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT:

EXECUTED THIS _____ DAY OF _____, 20____.

CITIBANK, N.A.

BY: _____

NAME: _____

TITLE: _____

SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ DAY OF _____

20____ BY _____

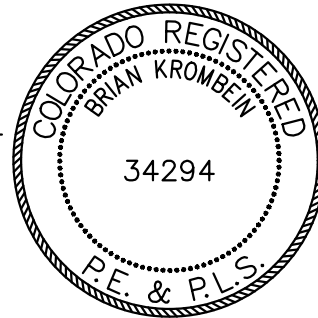
WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

CIVIL ENGINEER'S STATEMENT

I, BRIAN KROMBEIN, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.



REGISTERED ENGINEER
BRIAN KROMBEIN, PE, PLS.
COLORADO PE NO. 34294

DATE _____

SURVEYOR'S CERTIFICATE

I, BRIAN KROMBEIN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THE SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.



REGISTERED LAND SURVEYOR
BRIAN KROMBEIN, PE, PLS.
COLORADO PLS NO. 38344

DATE _____

PLANNING COMMISSION RECOMMENDATION

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE _____ DAY OF _____, 20____.

CHAIR _____ DATE _____

ATTEST: _____

DIRECTOR OF DEVELOPMENT SERVICES _____ DATE _____

TOWN COUNCIL APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE _____ DAY OF _____, 20____.

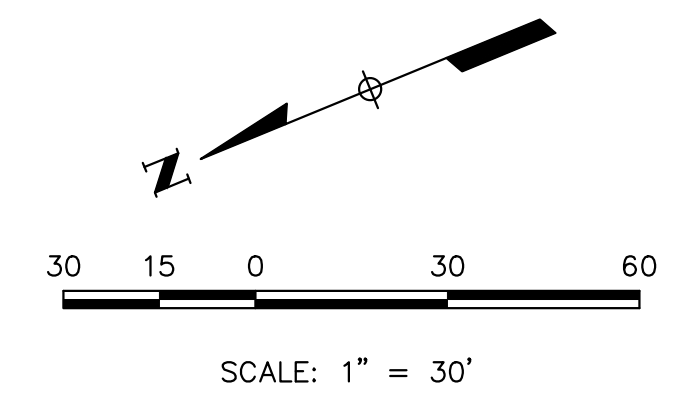
MAYOR _____ DATE _____

ATTEST: _____

TOWN CLERK _____ DATE _____



SITE DEVELOPMENT PLAN
FOUNDATION AUTOMOTIVE FILING NO. 1
LOCATED IN THE SE 1/4, SECTION 15, T. 8 S., R. 67 W., 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



NOTES

1. ALL PARKING STALLS SHALL BE 9' x 18' UNLESS OTHERWISE NOTED.

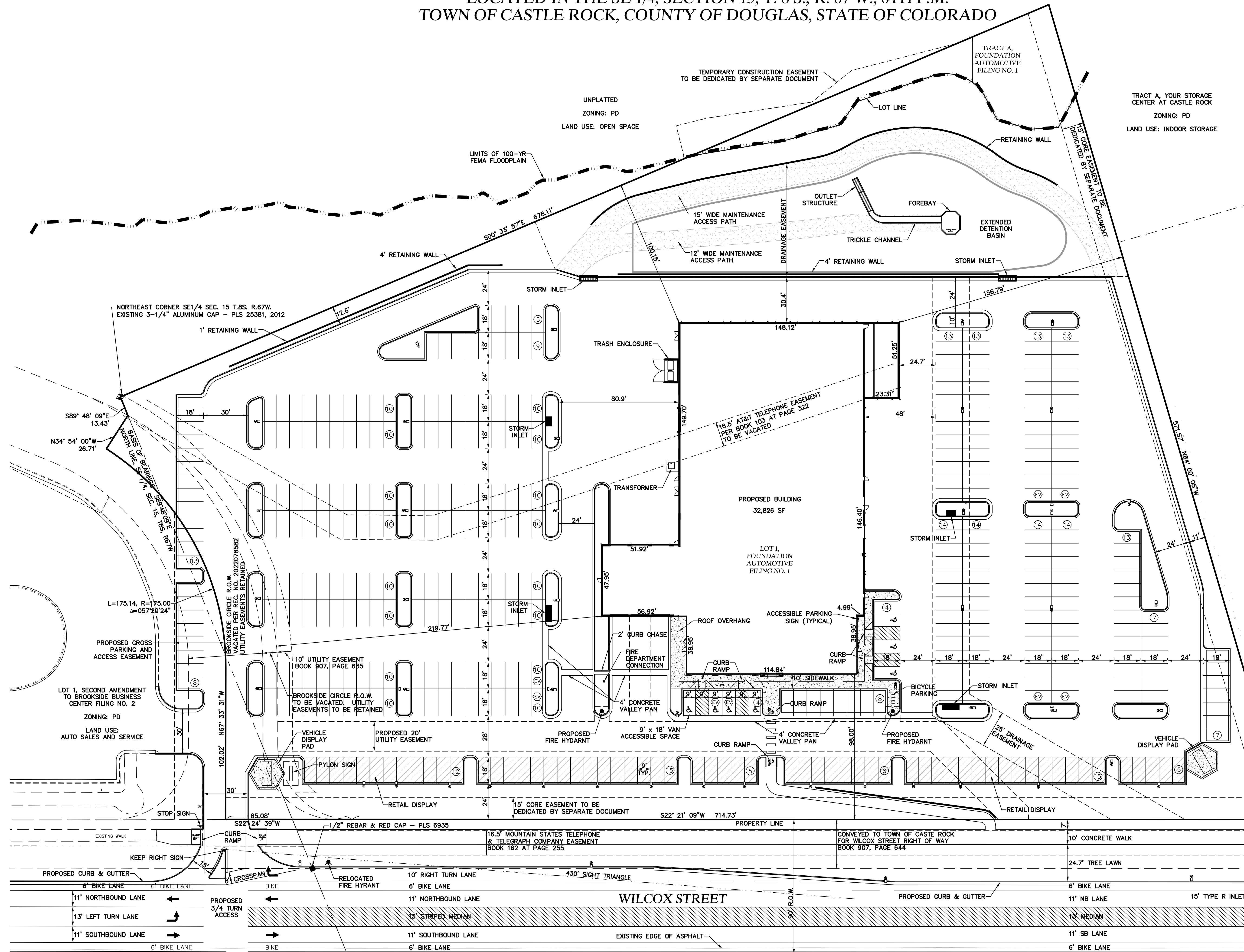
LEGEND

	PROPERTY LINE
	EXISTING CURB & GUTTER
	PROPOSED 2' CATCH CURB & GUTTER
	PROPOSED 1' SPILL CURB & GUTTER
	EXISTING LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	SIGHT DISTANCE LINE
	PROPOSED RETAINING WALL
	100-YEAR FEMA FLOODPLAIN
	CONCRETE PAVEMENT
	PARKING COUNT
	ELECTRIC VEHICLE CHARGING SPACE
	PROPOSED LIGHT POLE
	ELECTRIC VEHICLE CHARGING STATION
	MAINTENANCE ACCESS PATH
	RETAIL DISPLAY

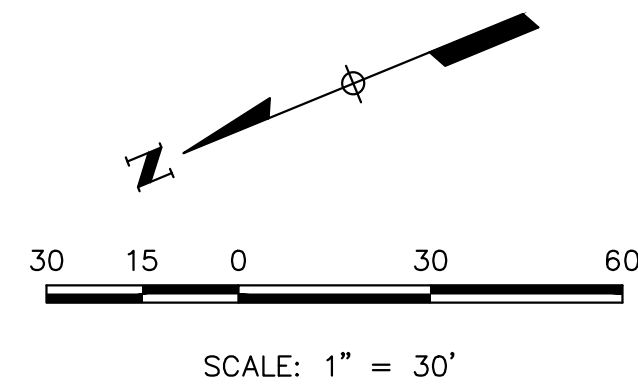
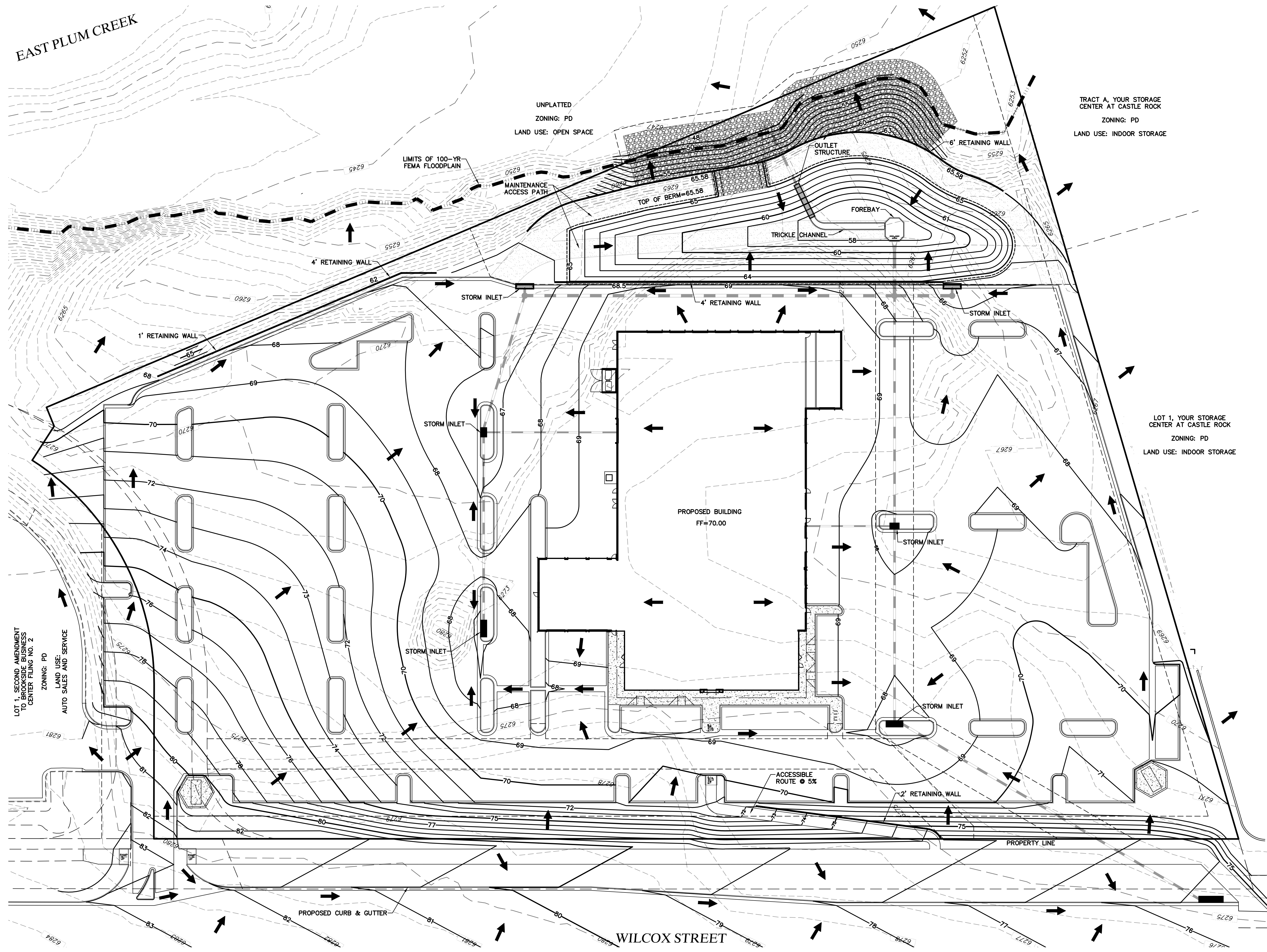
LOT 1, YOUR STORAGE
CENTER AT CASTLE ROCK
ZONING: PD
LAND USE: INDOOR STORAGE

SITE PLAN
FOUNDATION AUTOMOTIVE FIL. NO. 1
SITE DEVELOPMENT PLAN
PROJECT NO. USR24-0002
DATE: JULY 31, 2025
SHEET 2 OF 11

Vermilion Peak Engineering
Civil Engineering & Land Surveying
1745 Shea Center Drive, 4th Floor
Highlands Ranch, CO 80129
720-402-6070 / www.vermilionpeak.com



SITE DEVELOPMENT PLAN
FOUNDATION AUTOMOTIVE FILING NO. 1
LOCATED IN THE SE 1/4, SECTION 15, T. 8 S., R. 67 W., 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	DRAINAGE FLOW DIRECTION
	EXISTING CURB & GUTTER
	1' SPILL CURB
	2' CATCH CURB
	PROPOSED STORM SEWER
	CONCRETE PAVEMENT
	FEMA FLOODPLAIN LIMITS
	PROPOSED EASEMENT
	MAINTENANCE ACCESS PATH
	PROPOSED BURIED RIP-RAP

BENCHMARK

NGS BENCHMARK DESIGNATION "Y 396", PID "KK1332" BEING A STEEL ROD UNDER LOGO CAP 101 FEET EAST OF I-25 MILEPOST 180, 80.4 FEET SOUTHEAST OF THE CENTER OF A CONCRETE DRAINAGE PIPE, 42.3 FEET EAST OF THE CENTERLINE OF A FRONTAGE ROAD, 3.3 FEET SOUTH OF A UTILITY POLE. ELEVATION: 6276.49 FEET (NAVD88)

NOTES

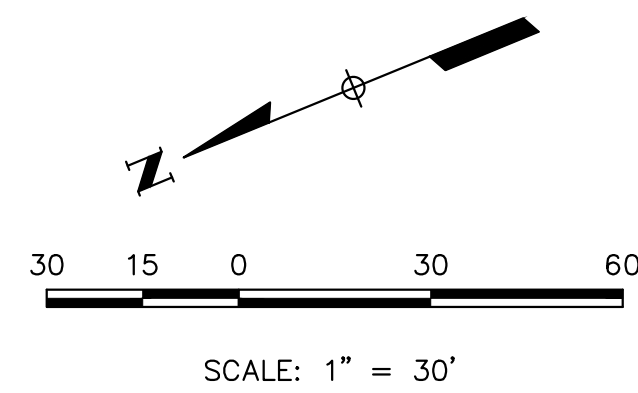
1. RETAINING WALLS GREATER THAN 4 FEET REQUIRE A SEPARATE BUILDING PERMIT.

GENERAL GRADING PLAN
FOUNDATION AUTOMOTIVE FIL. NO. 1
SITE DEVELOPMENT PLAN
PROJECT NO. USR24-0002
DATE: JULY 31, 2025
SHEET 3 OF 11

Vermilion Peak Engineering
Civil Engineering & Land Surveying
1745 Shea Center Drive, 4th Floor
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SITE DEVELOPMENT PLAN

FOUNDATION AUTOMOTIVE FILING NO. 1
LOCATED IN THE SE 1/4, SECTION 15, T. 8 S., R. 67 W., 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



UNPLATTED
ZONING: PD
LAND USE: OPEN SPACE

LIMITS OF 100-YR
FEMA FLOODPLAIN

BURIED RIP-RAP
TEMPORARY CONSTRUCTION EASEMENT
TO BE DEDICATED BY SEPARATE DOCUMENT

TRACT A,
FOUNDATION
AUTOMOTIVE
FILING NO. 1

TRACT A, YOUR STORAGE
CENTER AT CASTLE ROCK
ZONING: PD
LAND USE: INDOOR STORAGE

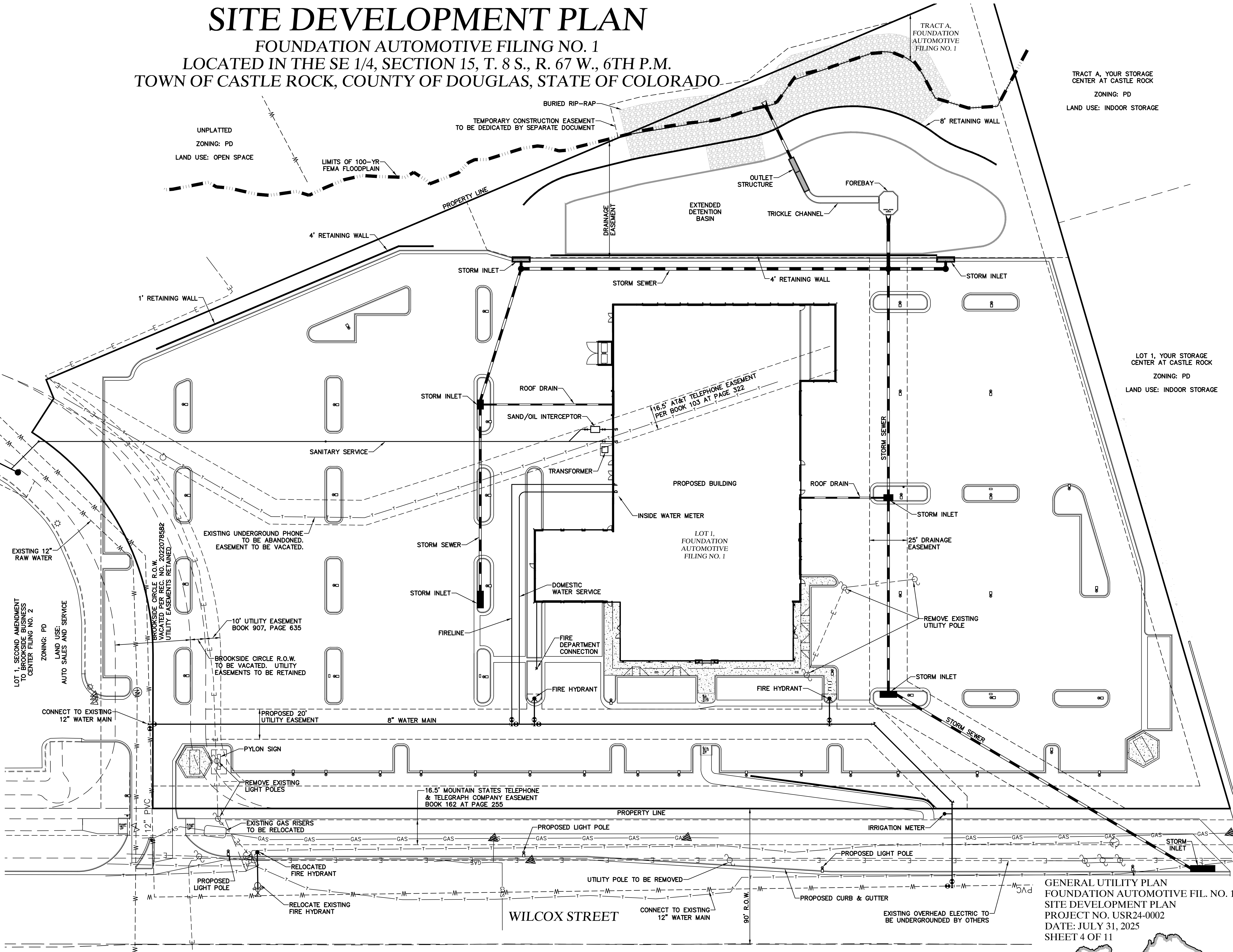
LOT 1, YOUR STORAGE
CENTER AT CASTLE ROCK
ZONING: PD
LAND USE: INDOOR STORAGE

LEGEND

	PROPERTY LINE
	R.O.W. LIMITS
	FEMA FLOODPLAIN LIMITS
	EXISTING CURB & GUTTER
	EXISTING SANITARY SEWER
	EXISTING WATERLINE
	EXISTING GAS PIPE
	EXISTING STORM SEWER
	EXISTING UNDERGROUND TELEPHONE
	EXISTING ELECTRIC
	PROPOSED ELECTRIC
	PROPOSED STORM SEWER
	PROPOSED CURB & GUTTER
	PROPOSED WATER MAIN
	PROPOSED WATER SERVICE
	PROPOSED SANITARY SERVICE
	CONCRETE PAVEMENT
	EXISTING EASEMENT
	PROPOSED EASEMENT
	LIMITS OF CONSTRUCTION
	PROPOSED LIGHT POLE
	EV CHARGING STATION

UTILITY NOTES

1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK BLUE WATER PRESSURE ZONE.
5. ALL UTILITY EASEMENTS FOR WATER AND WASTEWATER LINES SHALL BE FOR THE EXCLUSIVE USE OF THE TOWN SO THAT ACCESS AND MAINTENANCE MAY BE PERFORMED.
6. ANY TIE-IN, CROSSING OR LOWERING OF TOWN CRITICAL INFRASTRUCTURE WILL REQUIRE A TIME AND MATERIALS PERMIT (TMU) WITH FEES REQUIRED PRIOR TO CONSTRUCTION.

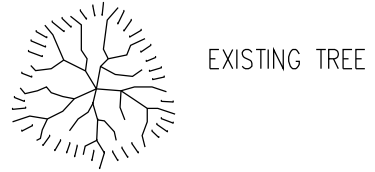


GENERAL UTILITY PLAN
FOUNDATION AUTOMOTIVE FIL. NO. 1
SITE DEVELOPMENT PLAN
PROJECT NO. USR24-0002
DATE: JULY 31, 2025
SHEET 4 OF 11

Vermilion Peak Engineering
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SITE LEGEND

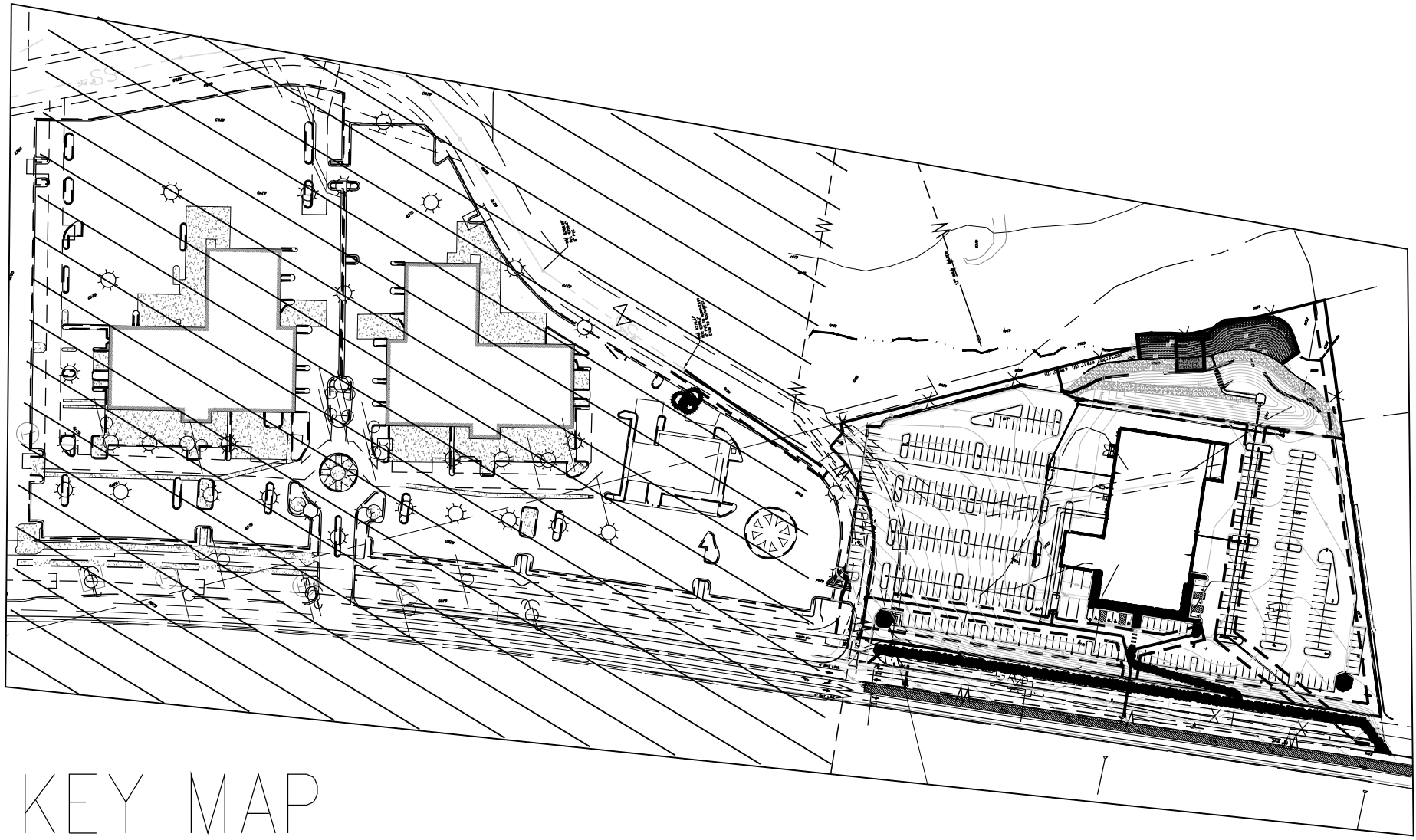
- PROPERTY LINE
- EXISTING CURB & GUTTER
- PROPOSED 1" SPILL CURB & GUTTER
- EXISTING FENCE
- EXISTING EASEMENT
- EXISTING ELECTRIC
- CONCRETE PAVEMENT
- EXISTING UTILITY POLE
- PARKING COUNT
- EV ELECTRIC VEHICLE PARKING SPACE



- GRAVEL SURFACE
- IRRIGATED SEED MIX
- NON-IRRIGATED SEED MIX
- ROCK MULCH 2" (PROPOSED WITHIN SHRUB BEDS)

SITE DEVELOPMENT PLAN

FOUNDATION AUTOMOTIVE FILING NO. 1
LOCATED IN THE SE 1/4, SECTION 15, T. 8 S., R. 67 W., 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



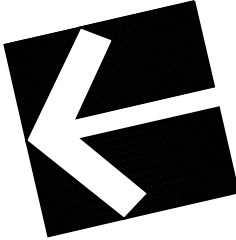
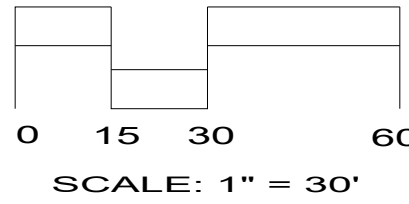
KEY MAP

PLANT TYPE TOTAL PLANT QUANTITIES
ON-SITE RIGHT OF WAY

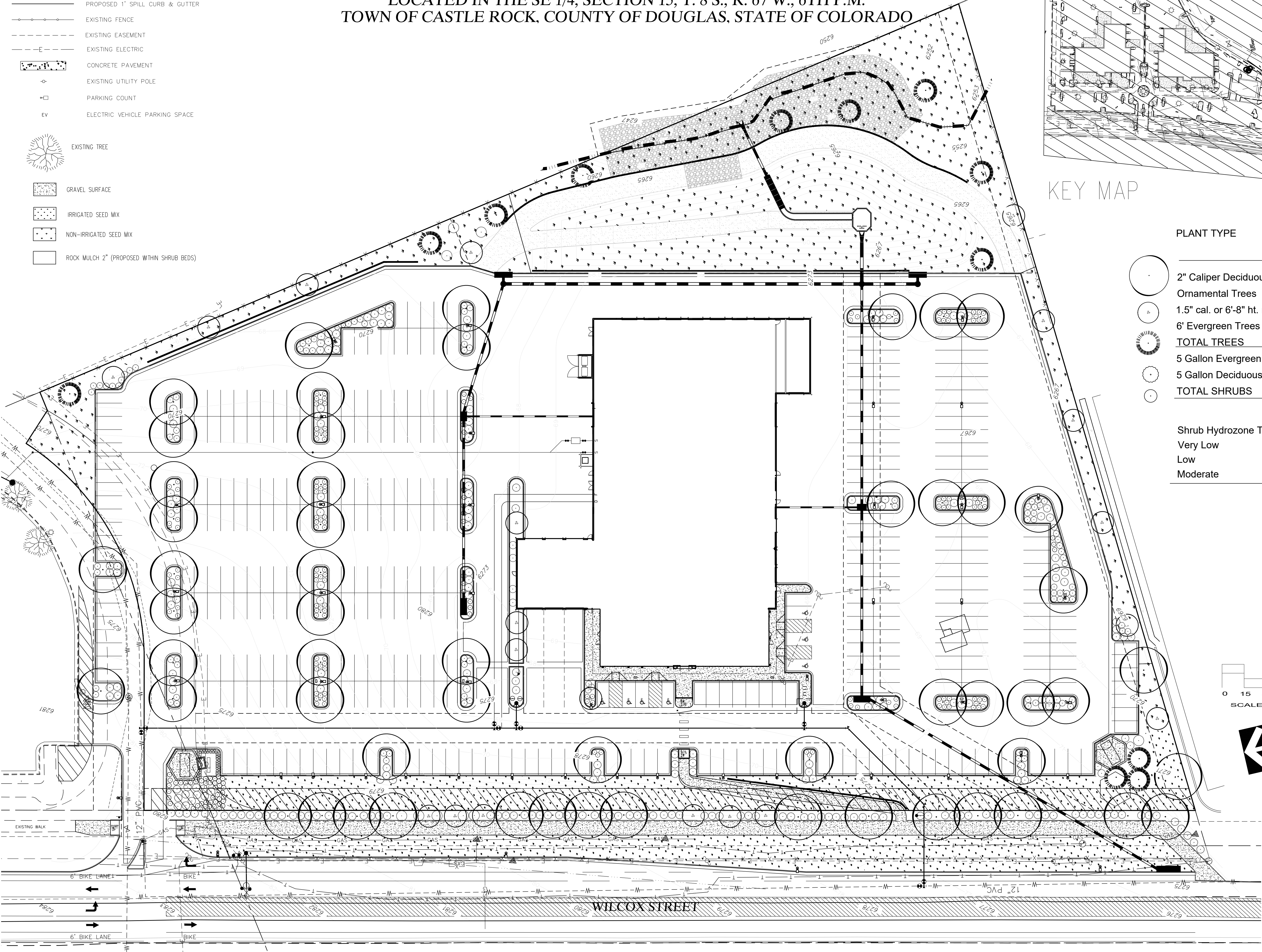
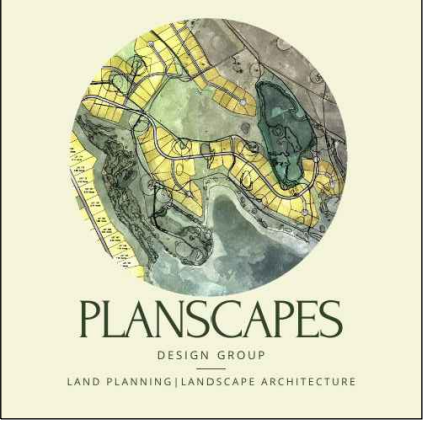
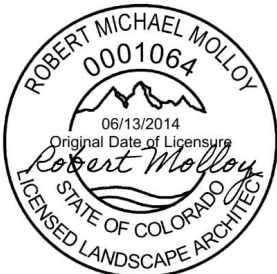
2" Caliper Deciduous Trees	39	16
Ornamental Trees		
1.5" cal. or 6'-8" ht. multi-stem	14	6
6' Evergreen Trees	12	
TOTAL TREES	65	22
5 Gallon Evergreen Shrubs	148	67
5 Gallon Deciduous Shrubs	241	27
TOTAL SHRUBS	386	94

Shrub Hydrozone Type

Very Low	312
Low	163
Moderate	0



LANDSCAPE PLAN
HYUNDAI DEALERSHIP
SITE DEVELOPMENT PLAN
PROJECT NO. USR24-0002
DATE: JUNE 28, 2024
SHEET 5 OF 11



LANDSCAPE NOTES (These notes to be places on Landscape Plan sheet.)

1. Final landscape area, coverage and plant quantities, shall meet or exceed quantities represented in this drawing and shall conform to subsequent submittal requirements.
2. Location of plant materials are approximated and may change slightly due to unforeseen field constraints.
3. All plants are to be properly hydrozoned per Town of Castle Rock Plant list.
4. Distance of trees to wet utility lines should be a minimum of 10 feet.
5. Permanent irrigation is required for all landscaped areas greater than 500 square feet, per Section 4.2.3 of the Landscape and Irrigation Manual.
6. Design must accommodate the watering restrictions as outlined in the Town of Castle Rock Water Use Management Plan (WUMP).
7. Irrigation systems are to be designed to operate within the Town of Castle Rock Water Use Management Plan.
8. Irrigation systems are to be designed per the Town of Castle Rock Landscape and Irrigation regulations Section 4.2.3 and to correlate with the use type on the property.
9. If any transformers, ground-mounted HVAC units, utility pedestals, or similar features existing on site, but not shown on the Site Development Plan, additional landscaping and screening may be required based upon field conditions determined during the site inspection. Installation will be required prior to the final inspection and the issuance of the certificate of occupancy, as applicable.
10. No solid object exceeding 30" in height above the flowline elevation of the adjacent street, including, but not limited to building, utility cabinets, walls, fences, trees, landscape plantings, cut slopes and berms shall be placed in sight distance triangles or easements as shown on the plan.
11. No trees, large shrubs, or permanent structures are allowed in wet utility and drainage easements.
12. An irrigation plan is required with the first submittal of the Construction Documents. Please see Sections 3.1.2B and 4.2.3 of the Town of Castle Rock Landscape and Irrigation Performance Standards and Criteria Manual for irrigation submittal and design requirements. Changes to the landscape plan may be necessary due to Construction Documents Irrigation Plan review comments.
13. Landscape and irrigation shall be installed by a Town of Castle Rock registered landscape contract professional.
14. Dead plant materials shall be removed and replaced with healthy planting materials of comparable size and species that meet the original intent of the approved landscape design within forty-five(45) days or sooner in the event of a contagious disease or invasive insect species. Town of Castle Rock is not responsible for plant replacements.
15. Slopes steeper than 3:1 are not permitted on landscape plans in the Town of Castle Rock.

STREETSCAPE REQUIREMENT TABLE

Street Name	Frontage Linear Feet (LF)	Trees				Shrubs	
		Required trees	Canopy shade trees min. 75% of total provided	Non-canopy shade trees provided	Provided trees total	Required shrubs	Provided shrubs
S. Wilcox Street	675	17	16	6	22	68	94
*							

* Notes:

2) Due to CORE regulations, no trees can be planted within 20' of the existing overhead power line. A variance is has been granted to plant trees east of the walk and a minimum of 20' from the power line. See TCV21-0090.

SITE DEVELOPMENT PLAN

FOUNDATION AUTOMOTIVE FILING NO. 1

LOCATED IN THE SE 1/4, SECTION 15, T. 8 S., R. 67 W., 6TH P.M.

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



SITE DEVELOPMENT PLAN NON-RESIDENTIAL SITE INVENTORY

Company Name:PlanscapesAddress:980 Norway Maple Drive

Phone:970-988-5301Email:rmmolloy@msn.comDate:7/25/2023

Project Name:HYUNDAI DEALERSHIP SITE DEVELOPMENT PLAN

Gross Site Area	Required Landscape (10% of the gross site area)	Provided Landscape Area	Required Trees (2 trees / 1,000 sqft)	Provided Trees	Required Shrubs (4 shrubs / 1,000 sqft)	Provided Shrubs	Soil Prep Amounts (cu.yds. Per 1000 SF)
279,964 SqFt	27,996 sq ft	83,498 sq ft = 30% Landscape area	27,996/1000*2 = 56 Trees	65 Proposed Trees	27,996/1000*4 = 112 shrubs	386 Proposed Shrubs	30 cu.yds.
Turf Grass Square Footage (SF)*	Landscape Coverage at Maturity (SF)	Landscape Coverage Percentage (75% minimum)	Nonliving Ornamental Area in Landscape (SF)	Nonliving Ornamental Percentage (25% maximum)	Number of Large Canopy Deciduous Shade Tree	Percentage (50% Large Canopy Deciduous Shade Tree)	Separate Irrigation Service Connections
59,286 sq ft Non-Irrigated Native Grass	60,009 sq ft	89% coverage	7,305 sq ft of non-living islands	7,305/67,314 = 11% non-living	39 Proposed	39 Shade Trees/65 tree = 60% Shade Trees	Yes ___x_ No ____

Parking Lot Peninsula/Islands (40 Spaces or More)****						
Number of Parking Spaces	Number of Landscaped Islands Required (1 island per 15 spaces)	Number of Landscaped Islands Provided	Required Trees*** (Minimum of 1 large canopy deciduous shade tree per island/peninsula)	Provided Trees	Required Shrubs (Minimum of 4 shrubs per island/peninsula)	Provided Shrubs
416 spaces	497/15 = 28 islands	30 Islands	30 Required Trees	41 Provided	120 Shrubs Required	315 Shrubs Provided

*Parking Lot landscaping can count towards overall site landscape requirements.

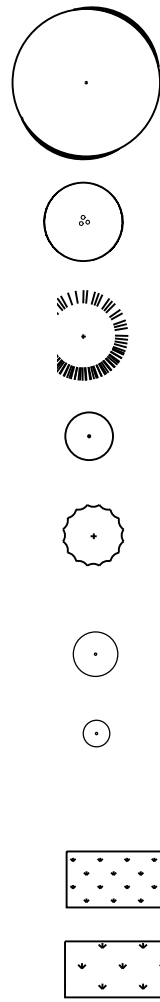
**Parking Lot landscaping outside of landscaped islands/peninsulas should be located within 3 feet of the parking lot perimeter.

***Evergreens are not permitted in landscaped islands/peninsulas.

****Parking Lot Peninsula/Islands criteria for lots less than 40 spaces can be found in Section 17.54.100(F) of the Castle Rock Municipal Code.

****Parking Lot Peninsula/Islands criteria for lots over 40 spaces can be found in Section 7.2.1.2(2)(c) of the Landscape and Irrigation Criteria Manual.

SYMBOL LEGEND



PLANT SCHEDULE

DECIDUOUS SHADE TREES	HYDROZONE	1,2	QUANTITY	55 Trees
LARGE CANOPY DECIDUOUS SHADE TREES SHALL BE A MINIMUM OF 2" INCHES IN CALIPER MEASURED SIX (6) INCHES ABOVE GROUND				
ORNAMENTAL TREES	HYDROZONE	1,2	QUANTITY	20 Trees
ORNAMENTAL TREES SHALL BE A MINIMUM OF 1.5" INCHES IN CALIPER, MEASURED SIX (6) INCHES ABOVE GROUND				
EVERGREEN TREES	HYDROZONE	1	QUANTITY	12 Trees
EVERGREEN TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT, MEASURED TO THE MID-POINT OF THE MOST RECENT YEAR'S GROWTH				
DECIDUOUS SHRUBS	HYDROZONE	1,2	QUANTITY	268 Shrubs
SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE				
EVERGREEN SHRUBS	HYDROZONE	1	QUANTITY	215 Shrubs
SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE				
ORNAMENTAL GRASSES	HYDROZONE	1	QUANTITY	28 Grasses
ORNAMENTAL GRASSES SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE				
PERENNIAL PLANTING BEDS	HYDROZONE	1	AREA	325 sf
PERENNIALS, GROUND COVERS, AND VINES SHALL BE A MINIMUM OF ONE (1) GALLON CONTAINER IN SIZE				
NATIVE SEED	HYDROZONE	1	AREA	59286 sf
GRASS SEED PLANTING QUALITY AND QUANTITY IN IRRIGATED AREAS SHALL BE IN COMPLIANCE WITH NURSERY STANDARDS AND SHALL PROVIDE A MINIMUM GROUND COVER OF EIGHTY (80) PERCENT WITHIN THE FIRST GROWING SEASON				
APPROVED NATIVE GRASS SEED MIXES: [Low Grow Mix/Foothills Mix/Colorado Native Mix]				

*Choose one symbol/hatch for each plant category. Show symbol next to the corresponding category.

CORE NOTES

Overhead distribution lines and structures

1. TREES GROWING TALLER THAN 10 FEET SHOULD NOT BE PLANTED WITHIN DISTRIBUTION LINE IN RIGHTS-OF-WAY. HOWEVER, THEY MAY BE PLANTED AT LEAST 20 FEET (HORIZONTALLY FROM OVERHEAD ELECTRIC DISTRIBUTION LINES, REGARDLESS OF THE WIDTH OF THE RIGHT-OF-WAY.
2. ALL TREES SHOULD BE PLANTED AT LEAST 20 FEET FROM POLES AND STRUCTURES.
3. SHRUBS, GROUND COVERS AND FLOWERBEDS MAY BE PLANTED UP TO THE BASE OF POLES AND STRUCURES. HOWEVER, PLANT MATERIAL MAY BE DESTROYED DURING OPERATIONS AND MAINTENANCE OF LINES. DAMAGED OR DESTROYED MATERIAL WILL NOT BE REPLACED.

Overhead distribution lines and structures

1. ALL TREES SHOULD BE PLANTED AT LEAST 10 FEET FROM EQUIPMENT.
2. SHRUBS, GROUND COVERS, AND FLOWERBEDS MAY BE PLANTED UP TO 3 FEET FROM EQUIPMENT EXCEPT AT LEAST 10 FEET SHALL BE KEPT CLEAR IN FRONT OF TRANSFORMER SWITCH DOORS. HOWEVER, PLANT MATERIAL MAY BE DESTROYED DURING OPERATIONS AND MAINTENANCE OF LINES. DAMAGED OR DESTROYED MATERIAL WILL NOT BE REPLACED.

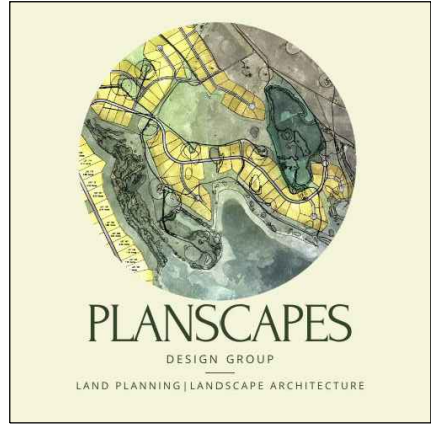
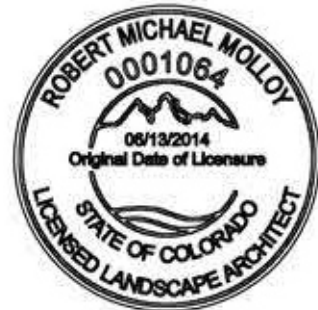
GENERAL IRRIGATION NOTES

1. TREES IN NATIVE TO BE IRRIGATED USING ABOVE GROUND DRIP EMITTERS.
2. ALL NATIVE GRASSES WILL BE TEMPORARILY IRRIGATED OVERHEAD UNTIL ESTABLISHMENT.
3. SOD AREAS LESS THAN 10 FEET IN WIDTH WILL BE IRRIGATED WITH SUBSURFACE DRIP IRRIGATION.
4. IRRIGATION TO CONFORM TO THE THE TOWN OF CASTLE ROCK WATERING TIMES/DAYS GUIDELINES.
5. ALL LANDSCAPE SHOWN ON CONCEPTUAL LANDSCAPE PLAN IS CONSIDERED LOW TO MEDIUM HYDROZONE.

GENERAL GRADING NOTES

1. ALL AREAS ARE TO BE GRADED TO ACHIEVE POSITIVE DRAINAGE. MINIMUM SLOPE ON LANDSCAPED AREAS SHALL BE 2%, MAXIMUM SLOPE SHALL BE 3:1.
2. MAXIMUM ALLOWED FINAL GRADES FOR LONGITUDINAL SLOPE ON WALKS AND PAVED AREAS SHALL BE 6% UNLESS OTHERWISE INDICATED ON PLANS.
3. ALL SLOPES EQUAL OR GREATER THAN 3:1 ARE TO BE CALLED OUT ON THE LANDSCAPE SHEETS.

LANDSCAPE DETAILS
HYUNDAI DEALERSHIP
SITE DEVELOPMENT PLAN
PROJECT NO. USR24-0002
DATE: JUNE 28, 2024
SHEET 6 OF 11



SITE DEVELOPMENT PLAN
FOUNDATION AUTOMOTIVE FILING NO. 1
LOCATED IN THE SE 1/4, SECTION 15, T. 8 S., R. 67 W., 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

30" DIMENSIONAL LETTERS CHROME,
TBD.

24" "SERVICE" CHANNEL LETTERS,
WHITE, BY SIGN VENDOR

OVERHEAD GLAZED RAPID RISE
DOOR FRAME & MULLIONS TO BE
CLEAR ANODIZED ALUMINUM, TYP.

SERVICE DRIVE LANE INDICATOR
OVER DOOR (TYPICAL OF THREE)

ACM PANELS, BY ACM VENDOR,
INSTALLED OVER BLACK ACM PANELS,
DRY JOINT

EIFS WALL FINISH, COLOR TO MATCH
SHERWIN WILLIAMS #9111 "ANTLER
VELVET", SANDBLAST FINISH

PIPE BOLLARDS TO MATCH
SHERWIN WILLIAMS #6104 "KAFFEE"

OVERHEAD GLAZED RAPID RISE DOOR
FRAME & MULLIONS TO BE CLEAR
ANODIZED ALUMINUM, TYP.

24" DEALER NAME CHANNEL LETTERS,
WHITE, BY SIGN VENDOR

128' - 4"

EIFS WALL FINISH, COLOR TO MATCH
SHERWIN WILLIAMS #9111 "ANTLER
VELVET", SANDBLAST FINISH

CONCRETE CMU / EIFS WALL (SANDBLAST)
FINISH WAINSCOT AT 48" ABOVE FF, COLOR TO
MATCH SHERWIN WILLIAMS #6104 "KAFFEE"

PIPE BOLLARDS TO MATCH
SHERWIN WILLIAMS #6104 "KAFFEE"

STRUCTURAL SILICONE GLAZED (SSG)
CURTAIN WALL SYSTEM WITH CLEAR
ANODIZED ALUMINUM INTERIOR
MULLIONS & SOLARBAN 72 GLAZING
AS PER FINISH SPECIFICATIONS

1 WEST ELEVATION

SCALE 1" = 10'-0"

OVERHEAD GLAZED RAPID RISE
DOOR FRAME & MULLIONS TO BE
CLEAR ANODIZED ALUMINUM, TYP.

STOREFRONT ENTRY DOORS &
WINDOW MULLIONS TO BE CLEAR
ANODIZED ALUMINUM

ACM PANELS, BY ACM VENDOR,
INSTALLED OVER BLACK ACM
PANELS, DRY JOINT

ENTRY ELEMENT FRAMING BY
CONTRACTOR.

STRUCTURAL SILICONE GLAZED (SSG)
CURTAIN WALL SYSTEM WITH CLEAR
ANODIZED ALUMINUM INTERIOR
MULLIONS & SOLARBAN 72 GLAZING
AS PER FINISH SPECIFICATIONS

9'-0" WIDE VEHICLE LOADING DOORS

ALTERNATE MATERIAL FOR BACK PORTION OF
BUILDING; TEXTURED INSULATED METAL PANEL
COLOR TO MATCH SHERWIN WILLIAMS #9111 "ANTLER
VELVET", SANDBLAST FINISH

OVERHEAD GLAZED RAPID RISE
DOOR FRAME & MULLIONS TO BE
CLEAR ANODIZED ALUMINUM, TYP.

EIFS WALL FINISH, COLOR TO MATCH
SHERWIN WILLIAMS #9111 "ANTLER
VELVET", SANDBLAST FINISH

EXTERIOR WALL PACK LIGHT, TYP

CONCRETE CMU / EIFS WALL (SANDBLAST)
FINISH WAINSCOT AT 48" ABOVE FF, COLOR TO
MATCH SHERWIN WILLIAMS #6104 "KAFFEE"

PIPE BOLLARDS TO MATCH
SHERWIN WILLIAMS #6104 "KAFFEE"

2 SOUTH ELEVATION

SCALE 1" = 10'-0"

OVERHEAD GLAZED RAPID RISE
DOOR FRAME & MULLIONS TO BE
CLEAR ANODIZED ALUMINUM, TYP.

EXTERIOR WALL PACK LIGHT, TYP

EIFS WALL FINISH, COLOR TO MATCH
SHERWIN WILLIAMS #9111 "ANTLER
VELVET", SANDBLAST FINISH

CONCRETE CMU / EIFS WALL
(SANDBLAST) FINISH WAINSCOT AT 48"
ABOVE FF, COLOR TO MATCH
SHERWIN WILLIAMS #6104 "KAFFEE"

PAINT METAL DOORS, FRAMES & TRIM
SHERWIN WILLIAMS # 911 "ANTLER
VELVET", SEMI-GLOSS FINISH, TYP.

PIPE BOLLARDS TO MATCH
SHERWIN WILLIAMS #6104 "KAFFEE"

STOREFRONT ENTRY DOORS & WINDOW
MULLIONS TO BE CLEAR ANODIZED
ALUMINUM

ACM PANELS, BY ACM VENDOR,
INSTALLED OVER BLACK ACM PANELS,
DRY JOINT

ENTRY ELEMENT FRAMING BY
CONTRACTOR. ACM PANELS.

STRUCTURAL SILICONE GLAZED (SSG)
CURTAIN WALL SYSTEM WITH CLEAR
ANODIZED ALUMINUM INTERIOR
MULLIONS & SOLARBAN 72 GLAZING AS
PER FINISH SPECIFICATIONS

9'-0" WIDE VEHICLE LOADING DOORS

3 NORTH ELEVATION

SCALE 1" = 10'-0"

EXTERIOR WALL PACK LIGHT, TYP

EIFS WALL FINISH, COLOR TO MATCH
SHERWIN WILLIAMS #9111 "ANTLER
VELVET", SANDBLAST FINISH

CONCRETE CMU / EIFS WALL (SANDBLAST)
FINISH WAINSCOT AT 48" ABOVE FF, COLOR TO
MATCH SHERWIN WILLIAMS #6104 "KAFFEE"

PIPE BOLLARDS TO MATCH
SHERWIN WILLIAMS #6104 "KAFFEE"

PAINT METAL DOORS, FRAMES & TRIM
SHERWIN WILLIAMS # 911 "ANTLER
VELVET", SEMI-GLOSS FINISH, TYP.

CONCRETE CMU / EIFS WALL (SANDBLAST)
FINISH WAINSCOT AT 48" ABOVE FF, COLOR TO
MATCH SHERWIN WILLIAMS #6104 "KAFFEE"

EIFS WALL FINISH, COLOR TO MATCH
SHERWIN WILLIAMS #9111 "ANTLER
VELVET", SANDBLAST FINISH

OVERHEAD GLAZED RAPID RISE
DOOR FRAME & MULLIONS TO BE
CLEAR ANODIZED ALUMINUM, TYP.

PIPE BOLLARDS TO MATCH
SHERWIN WILLIAMS #6104 "KAFFEE"

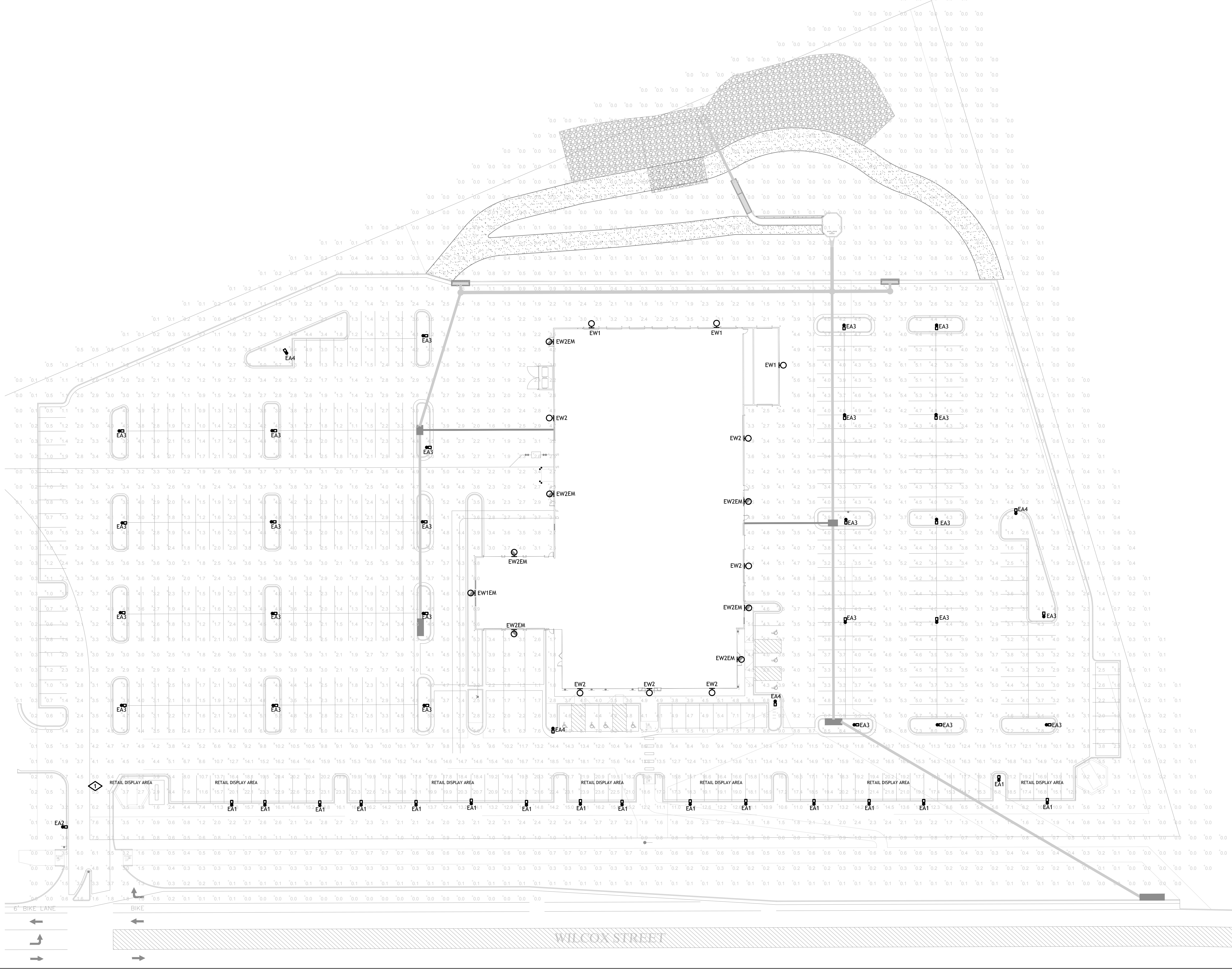
4 EAST ELEVATION

SCALE 1" = 10'-0"

EXTERIOR ELEVATIONS
FOUNDATION AUTOMOTIVE FIL. NO. 1
SITE DEVELOPMENT PLAN
PROJECT NO. USR24-0002
DATE: AUGUST 23, 2024
SHEET 7 OF 11

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE DEVELOPMENT PLAN
FOUNDATION AUTOMOTIVE FILING NO. 1
LOCATED IN THE SE 1/4, SECTION 15, T. 8 S., R. 67 W., 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



- LIGHTING GENERAL NOTES**
1. LIGHT LOSS FACTOR IS 1. SHOWN IN STATISTICS TABLE.
 2. HOURS OF OPERATION/CONTROL INTENT: DEALERSHIP HOURS OF OPERATION ARE 7:00AM TO 7:00PM. ALL LIGHTS SHALL TURN ON 30 MINUTES PRIOR TO SUNSET AND TURN OFF 30 MINUTES AFTER SUNRISE. ONE HOUR AFTER CLOSE OF BUSINESS (8:00PM), ALL LIGHTING ALONG THE RETAIL DISPLAY SHALL REMAIN AT 100% OUTPUT. ALL OTHER LIGHTING SHALL BE REDUCED TO 50% OUTPUT.
 3. REFERENCE SEQUENCE OF OPERATIONS SCHEDULE AND LUMINAIRE SCHEDULE ON SHEET 11 FOR SPECIFIC CONTROLS INTENT.
 3. LIGHTING OBJECTIVES:
 - RETAIL DISPLAY: OBJECTIVE IS TO ILLUMINATE VEHICLES ON DISPLAY FOR RETAIL VIA AREA POLE LIGHTS.
 - PARKING: OBJECTIVE IS TO ILLUMINATE PARKING AREAS FOR SAFETY VIA AREA POLE LIGHTS AND WALL PACKS.
 - EMERGENCY EGRESS: OBJECTIVE IS TO ILLUMINATE EACH EMERGENCY EGRESS DOOR FOR SAFETY VIA EMERGENCY BACKUP WALL PACKS.
 4. MITIGATION EFFORTS: EXTERIOR POLE LIGHTS ARE SPECIFIED WITH LOW GLARE DISTRIBUTION OPTICS AND EXTERNAL GLARE SHIELD. EXTERIOR WALL PACKS ARE SPECIFIED ASIES FULL CUTOFF TO RESTRICT LIGHT TRESPASS, GLARE, AND LIGHT POLLUTION.
 5. EXTERIOR LIGHTING FOR EGRESS TRAVEL SHALL COMPLY WITH CURRENTLY ADOPTED BUILDING CODE VIA EMERGENCY BACK-UP WALL PACKS AT ALL EGRESS DOORS.
 6. FORWARD THROW LUMINAIRES: THE FOLLOWING TYPES ARE PROHIBITED: FORWARD THROW LUMINAIRES (TYPE IV DISTRIBUTION), POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.

- LIGHTING FIXTURES LEGEND**
- LUMINAIRE TYPE, REFERENCING LUMINAIRE SCHEDULE, TYPICAL ALL FIXTURES. SUBSCRIPT, IF SHOWN, REFERENCES WALL SWITCH
 - WALL MOUNTED SCONCE LIGHT
 - EXTERIOR POLE AREA LIGHT
 - WALL MOUNTED AREA LIGHT

- KEYNOTE LEGEND**
- | KEY | VALUE |
|-----|--|
| | 1. THIS PROPERTY IS ADJACENT TO THE EXISTING CASTLE ROCK CHRYSLER DODGE JEEP RAM AUTO DEALERSHIP. THIS PROPERTY AND THE EXISTING DEALERSHIP ARE OWNED BY THE SAME OWNER, MEANING THE PROPERTY LINE RUNS THROUGH THIS PROPERTY'S PARKING LOT. |

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Light Loss Factor
GUEST PARKING NORTH	✕	3.0 fc	8.0 fc	0.5 fc	16.0:1	6.0:1	1.0
GUEST PARKING SOUTH	✕	3.9 fc	8.8 fc	0.5 fc	17.6:1	7.8:1	1.0
OVERALL	+	3.3 fc	23.9 fc	0.0 fc	N/A	N/A	1.0
PROPERTY LINE	+	0.8 fc	8.3 fc	0.0 fc	N/A	N/A	1.0
RETAIL DISPLAY	✕	15.4 fc	23.9 fc	3.8 fc	6.3:1	4.1:1	1.0

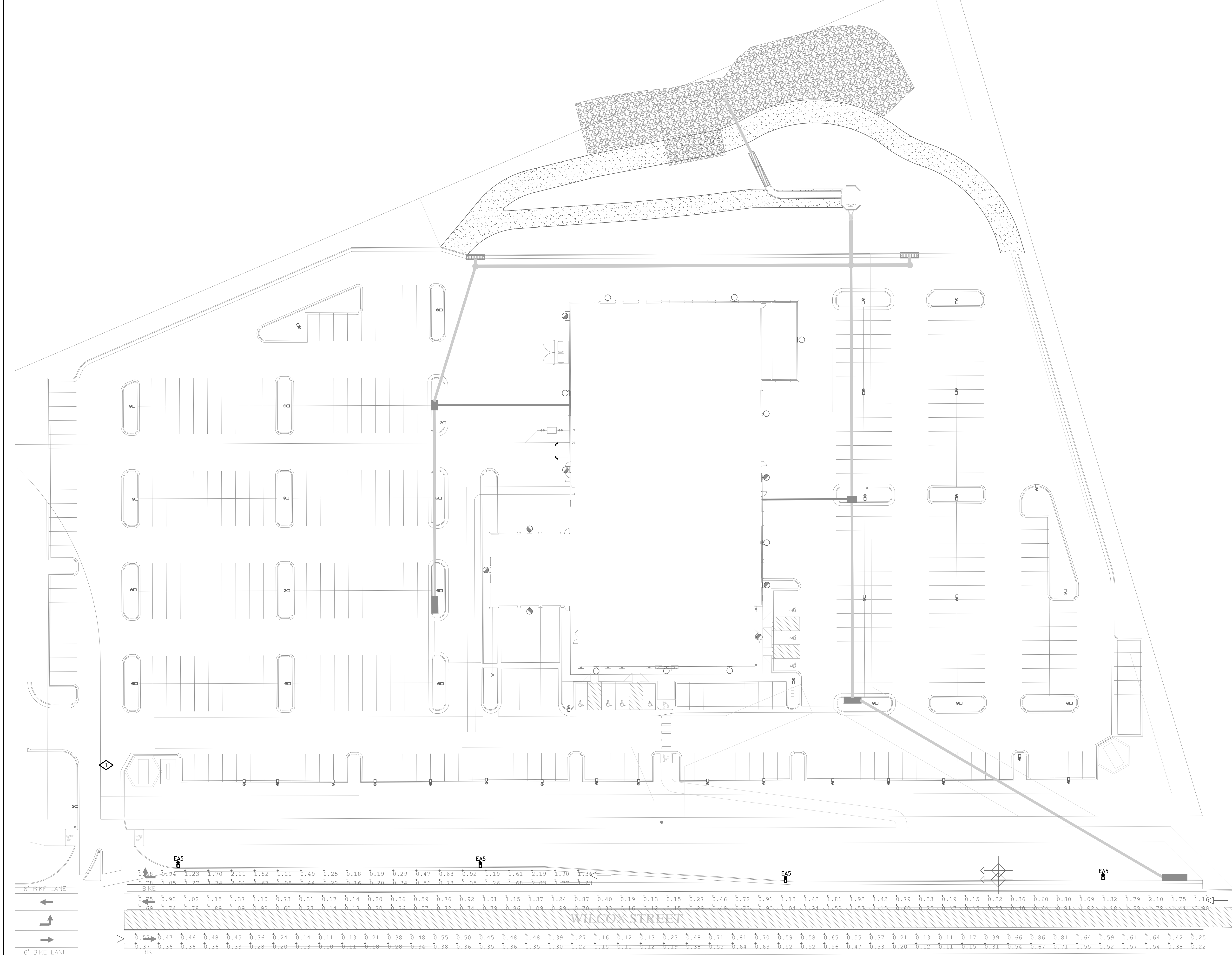
PHOTOMETRIC SITE PLAN
) 281' \$7,21 \$872027,9() , /
SITE DEVELOPMENT PLAN
PROJECT NO. USR24-0002
DATE: JANUARY 24, 2025
SHEET 10 OF 11

AE DESIGN
Integrated Lighting, Technology, and Electrical Solutions
1900 Wazee Street #205 | Denver, CO 80202 | 303.296.3034
aedesign-inc.com Project #: 6517.00



1 | PHOTOMETRIC SITE PLAN
SCALE: 1" = 30'-0"

SITE DEVELOPMENT PLAN
FOUNDATION AUTOMOTIVE FILING NO. 1
LOCATED IN THE SE 1/4, SECTION 15, T. 8 S., R. 67 W., 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



- LIGHTING GENERAL NOTES
1. LIGHT LOSS FACTOR IS 1.
 2. MITIGATION EFFORTS: EXTERIOR POLE LIGHTS ARE SPECIFIED WITH LOW GLARE DISTRIBUTION OPTICS AND EXTERNAL GLARE SHIELD. EXTERIOR WALL PACKS ARE SPECIFIED AS IE5 FULL CUTOFF TO RESTRICT LIGHT TRESPASS, GLARE, AND LIGHT POLLUTION.
 3. FORWARD THROW LUMINAIRES: THE FOLLOWING TYPES ARE PROHIBITED: FORWARD THROW LUMINAIRES (TYPE IV DISTRIBUTION), POLE-MOUNTED LIGHTS AIMED AT A BUILDINGS FACADE, AND UNSHIELDED WALL PACKS.
 4. PER CASTLE ROCK 17.58.050 ALL LIGHTING SHALL BE IESNA FULL CUTOFF.

LIGHTING FIXTURES LEGEND

○ A a LUMINAIRE TYPE, REFERENCING LUMINAIRE SCHEDULE, TYPICAL ALL FIXTURES. SUBSCRIPT, IF SHOWN, REFERENCES WALL SWITCH

○ WALL MOUNTED SCONCE LIGHT

□ EXTERIOR POLE AREA LIGHT

□ WALL MOUNTED AREA LIGHT

KEYNOTE LEGEND

KEY VALUE	
1.	THIS PROPERTY IS ADJACENT TO THE EXISTING CASTLE ROCK CHRYSLER DODGE JEEP RAM AUTO DEALERSHIP. THIS PROPERTY AND THE EXISTING DEALERSHIP ARE OWNED BY THE SAME OWNER, MEANING THE PROPERTY LINE RUNS THROUGH THIS PROPERTY'S PARKING LOT.

Calculation Summary							
Label	CalcType	Units	Avg	Avg/Mn	Max/Mn	Max	Min
Road East_Luminance	Luminance	Cd/Sq.m	0.78	6.50	17.50	2.10	0.12
Road East_Veil_Lum	Veiling Luminance	Cd/Sq.m	0.06	6.00	23.00	0.23	0.01
Road West_Luminance	Luminance	Cd/Sq.m	0.38	3.90	8.60	0.86	0.15
Road West_Veil_Lum	Veiling Luminance	Cd/Sq.m	0.03	3.00	10.00	0.10	0.01
Turning Lane_Luminance	Luminance	Cd/Sq.m	1.07	6.69	13.81	2.21	0.16
Turning Lane_Veil_Lum	Veiling Luminance	Cd/Sq.m	0.05	5.00	21.00	0.21	0.01

PHOTOMETRIC SITE PLAN
) 281' \$7,21 \$872027,9 () , /
SITE DEVELOPMENT PLAN
PROJECT NO. USR24-0002
DATE: JANUARY 24, 2025
SHEET 10 OF 11

AE DESIGN
Integrated Lighting, Technology, and Electrical Solutions
1900 Wazee Street #205 | Denver, CO 80202 | 303.296.3034
aedesign-inc.com Project #: 6517.00



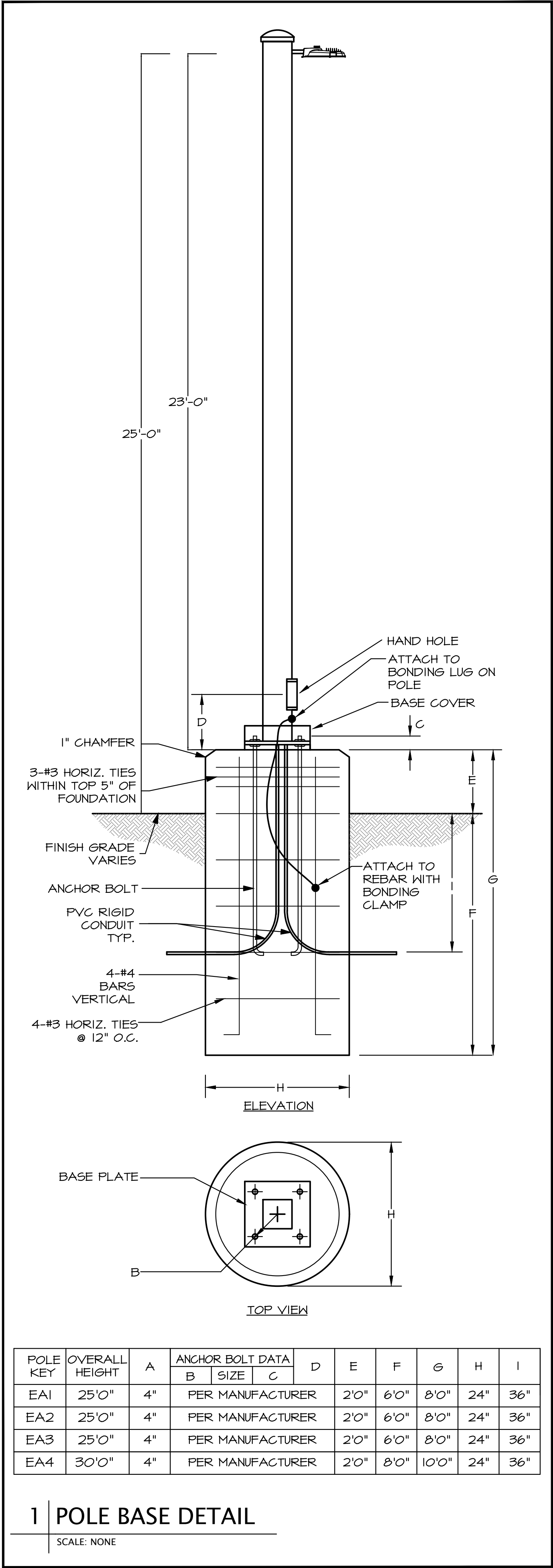
1 | STREET LIGHTING PLAN
SCALE: 1" = 30'-0"


SITE DEVELOPMENT PLAN

FOUNDATION AUTOMOTIVE FILING NO. 1










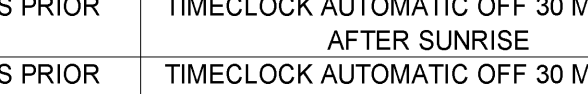
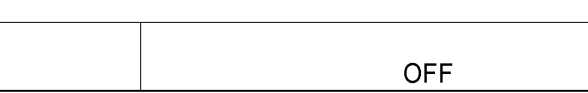




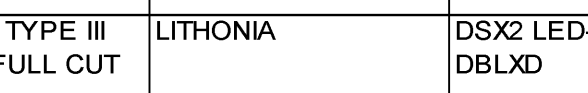
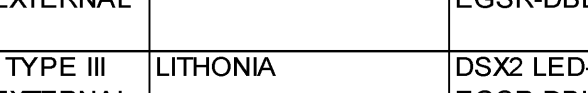
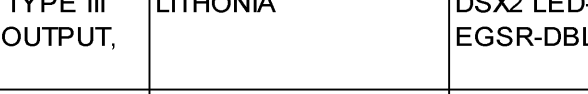
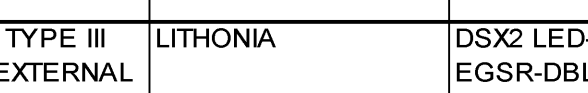
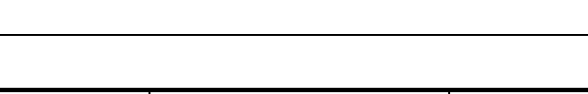








LOCATED IN THE SE 1/4, SECTION 15, T. 8 S., R. 67 W., 6TH P.M.

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO





D-Series Size 2 LED Area Luminaire



Specifications

EPA: 1.06 ft² (0.10 m²)

Length: 40.59" (103.1 cm)

Width: 16.76" (42.6 cm)

Height H1: 8.11" (20.6 cm)

Height H2: 3.96" (10.1 cm)

Weight: 46 lbs (20.9 kg)


Ordering Information

EXAMPLE: DSX2 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

2 EA1, EA2, EA3, EA4, EA5

SCALE: NONE

VMS LED Specifications



Control Number: WALL_CEILING-VMS-08_30_2022

Project Name:

Catalog Number:

Type:

The **VMS LED** wall mount Series continues the unique contemporary design that is inspired by the V-Collection series. It combines LED performance and advanced LED thermal management technology and provides lighting that is energy efficient and aesthetically pleasing.

The LED performance and the driver's life are maximized by enclosing them in two separate cast aluminum housings. Easy access for mounting and maintenance.

The LED light assemblies come with 48, 64, 80 or 96 LEDs.

Six optical distribution pattern are available. Choose between 3000, 4000 or 5000 Kelvin temperature for the LEDs.

A durable polyester powder coat finish is guaranteed for five years; and is available in standard or custom colors.

The **VMS LED** Series is an exceptional choice for office complexes, schools, commercial buildings, and many architectural projects.

3 EW1, EW1EM

SCALE: NONE

LIGHTING FIXTURE SCHEDULE																	
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	SOURCE				MAX WATTS	LUMEN OUTPUT	DIMMING	FIXTURE FINISH	MOUNTING INFORMATION		FULL CUT OFF	CONTROLS	NOTES
					LAMP QTY	WATT	TYPE	CCT/CRI					LOCATION	BOF/RFD/OFH			
EA1	23'-0" TALL, SINGLE HEAD LED POLE LIGHT, TYPE III LOW GLARE DISTRIBUTION, HIGH OUTPUT, EXTERNAL GLARE SHIELD, FULL CUT OFF	LITHONIA	DSX2 LED-P5-30K-80CRI-T3LG-MVOLT-EGSR-DBLXD	277	1	326.6	LED	30K / 80CRI	326.6	34,445 LM	DIMMING	BLACK	POLE GROUND	23'-0"	YES	ET1	
EA2	23'-0" TALL, SINGLE HEAD LED POLE LIGHT, TYPE III BACK LIGHT CONTROL DISTRIBUTION, HIGH OUTPUT, EXTERNAL GLARE SHIELD, FULL CUT OFF	LITHONIA	DSX2 LED-P5-30K-80CRI-BLC3-MVOLT-EGSR-DBLXD	277	1	326.6	LED	30K / 80CRI	326.6	28,048 LM	DIMMING	BLACK	POLE GROUND	23'-0"	YES	EO1	
EA3	23'-0" TALL, SINGLE HEAD LED POLE LIGHT, TYPE V LOW GLARE DISTRIBUTION, LOW OUTPUT, EXTERNAL GLARE SHIELD, FULL CUT OFF	LITHONIA	DSX2 LED-P1-30K-80CRI-T5LG-MVOLT-EGSR-DBLXD	277	1	134.5	LED	30K / 80CRI	134.5	16,696 LM	DIMMING	BLACK	POLE GROUND	23'-0"	YES	EO1	
EA4	23'-0" TALL, SINGLE HEAD LED POLE LIGHT, TYPE III LOW GLARE DISTRIBUTION, LOW OUTPUT, EXTERNAL GLARE SHIELD, FULL CUT OFF	LITHONIA	DSX2 LED-P1-30K-80CRI-T3LG-MVOLT-EGSR-DBLXD	277	1	134.5	LED	30K / 80CRI	134.5	16,696 LM	DIMMING	BLACK	POLE GROUND	23'-0"	YES	EO1	
EA5	28'-0" TALL, SINGLE HEAD LED POLE LIGHT, TYPE III LOW GLARE DISTRIBUTION, LOW OUTPUT, FULL CUT OFF	LITHONIA	DSX2 LED-P1-30K-80CRI-T3LG-MVOLT-DBLXD	277	1	134.5	LED	30K / 80CRI	134.5	16,696 LM	DIMMING	BLACK	POLE GROUND	23'-0"	YES	ET1	
EW1	BUILDING MOUNTED LED WALL PACK, TYPE II DISTRIBUTION, FULL CUT OFF	VISIONAIRE	VMS-1-T2-48LC-3-3K-UNV-WM-BK	277	1	52	LED	30K / 80CRI	52	6,909 LM	DIMMING	BLACK	SURFACE WALL	20'-0"	YES	EO1	
EW1EM	BUILDING MOUNTED LED WALL PACK, TYPE II DISTRIBUTION, FULL CUT OFF, WITH EMERGENCY BATTERY BACKUP	VISIONAIRE	VMS-1-T2-48LC-3-3K-UNV-WM-BK EBPL-CLD	277	1	52	LED	30K / 80CRI	52	6,909 LM	DIMMING	BLACK	SURFACE WALL	20'-0"	YES	EO1	
EW2	BUILDING MOUNTED LED WALL PACK, TYPE III DISTRIBUTION, FULL CUT OFF	VISIONAIRE	VMS-1-T3-48LC-3-3K-UNV-WM-BK	277	1	52	LED	30K / 80CRI	52	7,243 LM	DIMMING	BLACK	SURFACE WALL	20'-0"	YES	EO1	
EW2EM	BUILDING MOUNTED LED WALL PACK, TYPE III DISTRIBUTION, FULL CUT OFF, WITH EMERGENCY BATTERY BACKUP	VISIONAIRE	VMS-1-T3-48LC-3-3K-UNV-WM-BK EBPL-CLD	277	1	52	LED	30K / 80CRI	52	7,243 LM	DIMMING	BLACK	SURFACE WALL	20'-0"	YES	EO1	
ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT, AFF(AFG) - ABOVE FINISHED FLOOR (GRADE), WFD - WALL FIXTURE DEPTH																	

LIGHTING SEQUENCE OF OPERATION									
SEQUENCE OF OP.	ON	OFF	SENSOR TYPE	TIME OUT	DIMMING/ SWITCHING	CONTROLLED RECEPTACLE	DAYLIGHT HARVESTING		COMMENTS
EXTERIOR							YES/NO	TARGET ILLUMINANCE (FC)	
ET1	TIMECLOCK AUTOMATIC ON 30 MINUTES PRIOR TO SUNSET	TIMECLOCK AUTOMATIC OFF 30 MINUTES AFTER SUNRISE	NONE	N/A	SWITCHING	NO	NO	N/A	
EO1	TIMECLOCK AUTOMATIC ON 30 MINUTES PRIOR TO SUNSET. ONE HOUR AFTER CLOSE OF BUSINESS, DIM TO 50% OUTPUT. ONE HOUR PRIOR TO OPEN OF BUSINESS, AUTOMATIC ON TO 100% OUTPUT.	TIMECLOCK AUTOMATIC OFF 30 MINUTES AFTER SUNRISE	OCCUPANCY	N/A	DIMMING	NO	NO	N/A	

SITE PHOTOMETRIC DETAILS

) 281' \$7,21 \$872027,9(), /

SITE DEVELOPMENT PLAN

PROJECT NO. USR24-0002

DATE: JANUARY 24, 2025

SHEET 11 OF 11

Neighborhood Meeting Summary

Application: Use by Special Review Site Development Plan

Property Owner: Cars-DB12 LLC

Meeting #: 1

Date/Time: Monday, May 6, 2024 (Adjourned at 6:30)

Meeting Location: Virtual Only

Councilmember District: Councilmember Dietz

Applicant's Proposal:

Applicant is proposing a 33,000 square foot Hyundai Auto Dealership and Service Center on approximately 6.4 acres of vacant land. The proposed dealership will be located at the corner of Brookside Circle and S. Wilcox St.

Attendees

Applicant Representatives:

Casey Adragna – Architect

Doug Keith – GC Foundation Auto

Online/Phone Attendees:

Jay Simpson – 303-918-8577 Indoor Auto Storage

Town Staff Attendees:

Dena Paulin, Planner II Town of Castle Rock

Presentation Description

Applicant's Presentation:

Applicant provided a slide presentation showing the site plan and elevations along with a color rendering of the

Questions Presented to Applicant:

Q: Where will the water and sewer connections be on the property?

A: The connection to the existing water and sewer main will be made from the north side of the property.

Q: When will construction begin?

A: Not for at least a year.

Neighborhood Meeting Summary

Application: Use by Special Review Site Development Plan

Property Owner: Cars-DB12 LLC

Meeting #: 1

Date/Time: Monday, November 18, 2024 (Adjourned at 6:30)

Meeting Location: Virtual Only

Councilmember District: Councilmember Dietz

Applicant's Proposal:

Applicant is proposing a 33,000 square foot Hyundai Auto Dealership and Service Center on approximately 6.4 acres of vacant land. The proposed dealership will be located at the corner of Brookside Circle and S. Wilcox St.

Attendees

Applicant Representatives:

Casey Adragna – Architect

Brian Krombein – Project Engineer

Public Attendees

There were no public attendees.

Town Staff Attendees:

Dena Paulin, Planner II Town of Castle Rock