

SITE DEVELOPMENT PLAN

LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT NO. 15

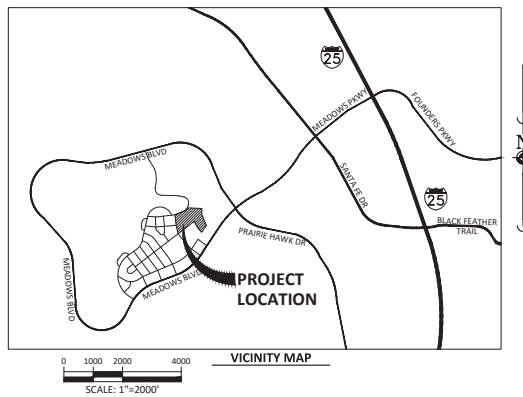
LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY CONTACTS

Table with columns for APPLICANT/DEVELOPER, REVIEW AGENCY, SURVEYOR AND ENGINEER, ARCHITECT, CONTRACTOR, LENDER, and CONTACT information.

BENCHMARKS: SOURCE BENCHMARK: NGS STATION 123 0003939... ELEVATION = 6118.58 (NAD83)...

BASIS OF BEARINGS: THE EAST LINE OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN IS ASSIGNED TO BEAR SOUTH 01°19'47" EAST BETWEEN THE FOUND MONUMENTS.



SHEET INDEX

Table with columns SHEET NUMBER and SHEET TITLE, listing sheets 1 through 31.

Summary table containing SITE INFORMATION, BUILDING INFORMATION, PARKING INFORMATION, and SIGNAGE INFORMATION.

PLANNING COMMISSION RECOMMENDATION

THIS SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE ___ DAY OF 20__.

CHAIR DATE

ATTEST: DIRECTOR OF DEVELOPMENT SERVICES DATE

TOWN COUNCIL APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE ___ DAY OF 20__.

MAYOR DATE

ATTEST: TOWN CLERK DATE

SURVEYOR'S CERTIFICATE

I, _____, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR DATE

CIVIL ENGINEER'S STATEMENT

I, _____, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER DATE

PROPERTY DESCRIPTION

LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT NO. 15, ACCORDING TO THE RECORDED PLAT THEREOF, COUNTY OF DOUGLAS, STATE OF COLORADO.

TOWN OF CASTLE ROCK SITE DEVELOPMENT PLAN GENERAL NOTES

- 1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO PERMIT CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM... 2. PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS... 3. THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THIS SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY... 4. THE SITE IS NOT LOCATED IN A FEMA OR UFHD FCID DESIGNATED 1% ANNUAL CHANCE FLOODPLAIN AREA... 5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY... 6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY... 7. APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS... 8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS EXCLUDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET)... 9. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT... 10. THIS SITE IS ZONED TC - TOWN CENTER... 11. RETAINING WALLS, SECTIONS OF RETAINING WALLS 4 FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO... 12. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY... 13. A TEN-FOOT UTILITY EASEMENT WILL BE PROVIDED ALONG THE ENTIRE PERIMETER BOUNDARY OF THE LOT... FIRE NOTES: 1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION... 2. FIRE HYDRANTS ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION... 3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING... 4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS... 5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET... 6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPROVED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS... 7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU... 8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LINES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MEADOWS FOURTH AMENDMENT DEVELOPMENT AGREEMENT, RECORDED ON THE 10TH DAY OF JULY, 2003 AT RECEPTION NO. 200302078 AND ACCORDINGLY BY 87.97 AC. ARE DERIVED FROM THE WATER BANK.

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN. CASTLE ROCK DEVELOPMENT COMPANY, A COLORADO CORPORATION

BY: _____ AS: _____ COUNTY OF DENVER STATE OF COLORADO SIGNED THIS ___ DAY OF 20__

NOTARY BLOCK SUBSCRIBED AND SWORN TO BEFORE ME THIS ___ DAY OF 20__ BY _____ AS _____ OF CASTLE ROCK DEVELOPMENT COMPANY

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC OF _____ MY COMMISSION EXPIRES: _____

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED AUGUST 5, 2004 AT RECEPTION NO. 200401865, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

CASTLE ROCK LAND CO, LLC A COLORADO LIMITED LIABILITY COMPANY SIGNED THIS ___ DAY OF 20__

NOTARY BLOCK SUBSCRIBED AND SWORN TO BEFORE ME THIS ___ DAY OF 20__ BY _____ AS _____ OF CASTLE ROCK LAND CO, LLC

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC MY COMMISSION EXPIRES: _____

Table with columns for various permit and approval dates.

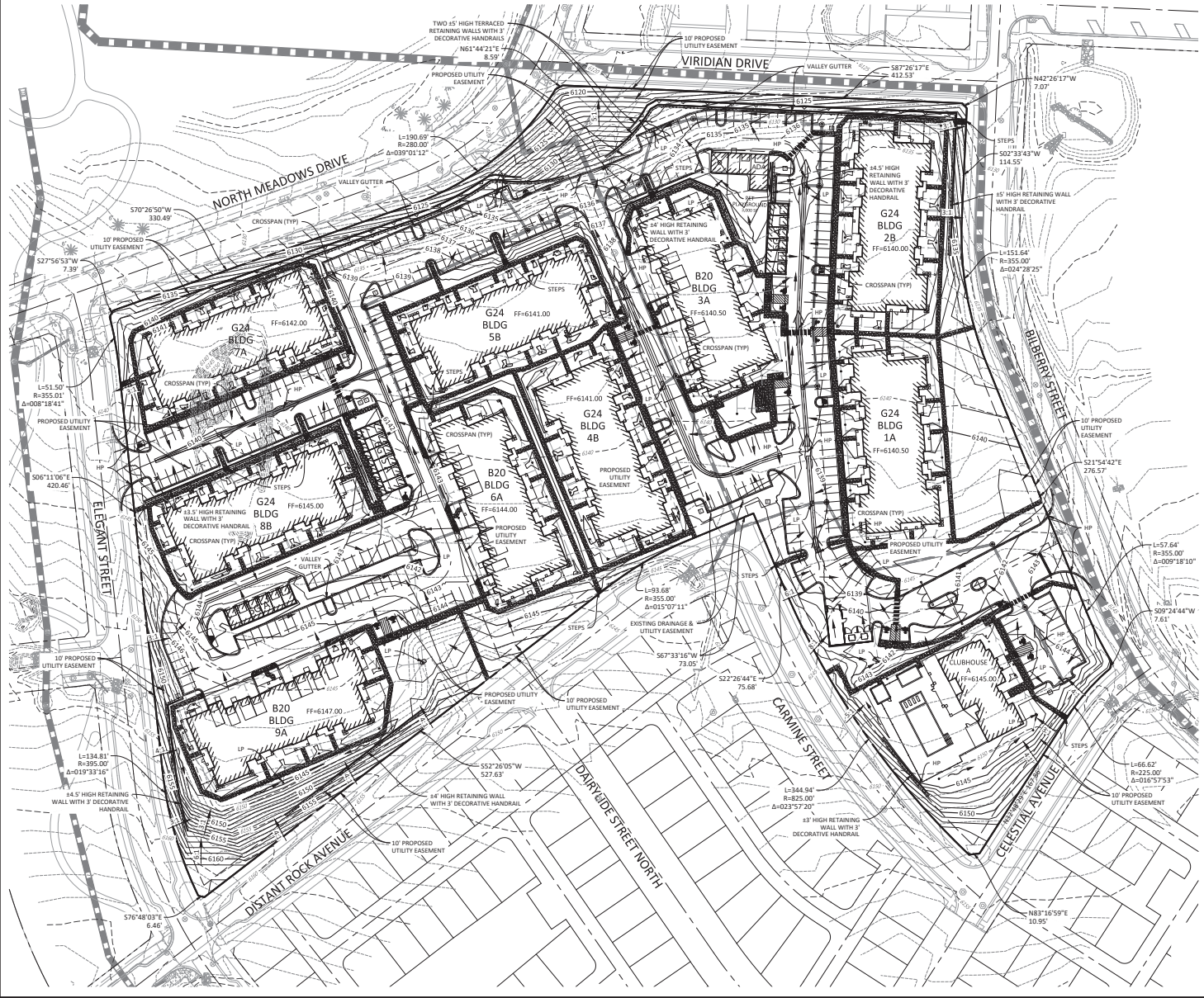


SPRINGS AT CASTLE ROCK CASTLE ROCK, COLORADO COVER SHEET

PHOTO SCALE, PROJ. ADDR., DRAWN BY, DATE, EXHIBIT 1

SITE DEVELOPMENT PLAN LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT NO. 15

LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



SITE DATA TABLE	
OVERALL SITE AREA	500,571 SF

STANDARD SYMBOLS	
EXISTING	PROPOSED

GRADING ABBREVIATIONS

- FF FINISHED FLOOR
- HP HIGH POINT
- LP LOW POINT

NO.	REVISIONS

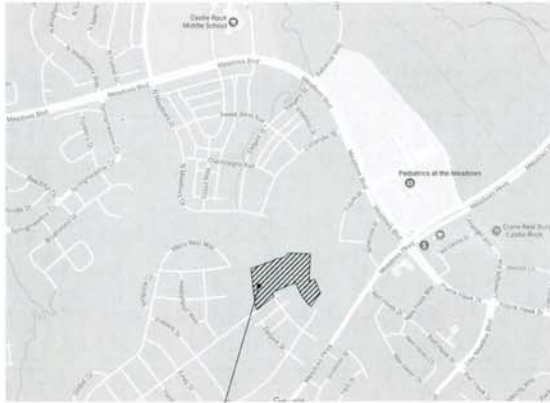


SPRINGS AT CASTLE ROCK
CASTLE ROCK, COLORADO
GRADING PLAN

LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20
PHASE 1, AMENDMENT NO. 15
SITE DEVELOPMENT PLAN
PROJECT NO. SDP17-0035

PROJ. NO.	DIM
PROJ. ABB.	GR
DRAWN BY	
CHECKED BY	
DATE	03/17/2017
SHEET	3
PROJECT	CPCRC001

SDP PLANS - NOT FOR CONSTRUCTION



SITE LOCATION

1 VICINITY MAP
SCALE: ATE

BUILDING MATRIX			
BUILDING #	COLOR SCHEME	BUILDING TYPE	AREA (SF)
1	A	G24	25,654
2	B	G24	25,654
3	A	B20	24,458
4	B	G24	25,654
5	B	G24	25,654
6	A	B20	24,458
7	A	G24	25,654
8	B	G24	25,654
9	A	B20	24,458
A	A	CLUBHOUSE	4,255
A	A	6-BAY DETACHED GARAGE (6G)	1,495
A	A	6-BAY DETACHED GARAGE (6G)	1,495
A	A	6-BAY DETACHED TRUCK GARAGE WITH STORAGE LOCKERS (6GT)	1,846
A	A	MAINTENANCE BUILDING	876
A	A	MAIL KIOSK	53
A	A	TRASH ENCLOSURE	906
TOTAL BUILDING AREA:			239,224

RESIDENTIAL UNIT MATRIX						
UNIT TYPE	BEDROOM QTY	BATHROOM QTY	CONDITIONED SF	BLDG TYPE B20 UNIT QTY	BLDG TYPE G24 UNIT QTY	TOTAL UNITS
1GC	1	1	760	6	12	18
1GD	1	1	857	6	0	6
1GC*	1	1	816	5	10	15
1GD*	1	1	816	1	2	3
1GD	1	1	906	6	12	18
1L	1	1.5	923	6	12	18
2DC	2	2	1,062	3	5	8
2DCA**	2	2	1,062	0	0	1
2DD	2	2	1,153	3	6	9
2DL	2	2	1,545	0	12	12
2DC	2	2	1,585	8	24	30
2DD	2	2	1,188	12	24	30
3GC	3	2	1,334	3	5	8
3GD*	3	2	1,334	0	1	1
3GD	3	2	1,426	3	6	9
S	1 (STUDIO)	1	525	0	12	12
TOTALS:				60	144	204

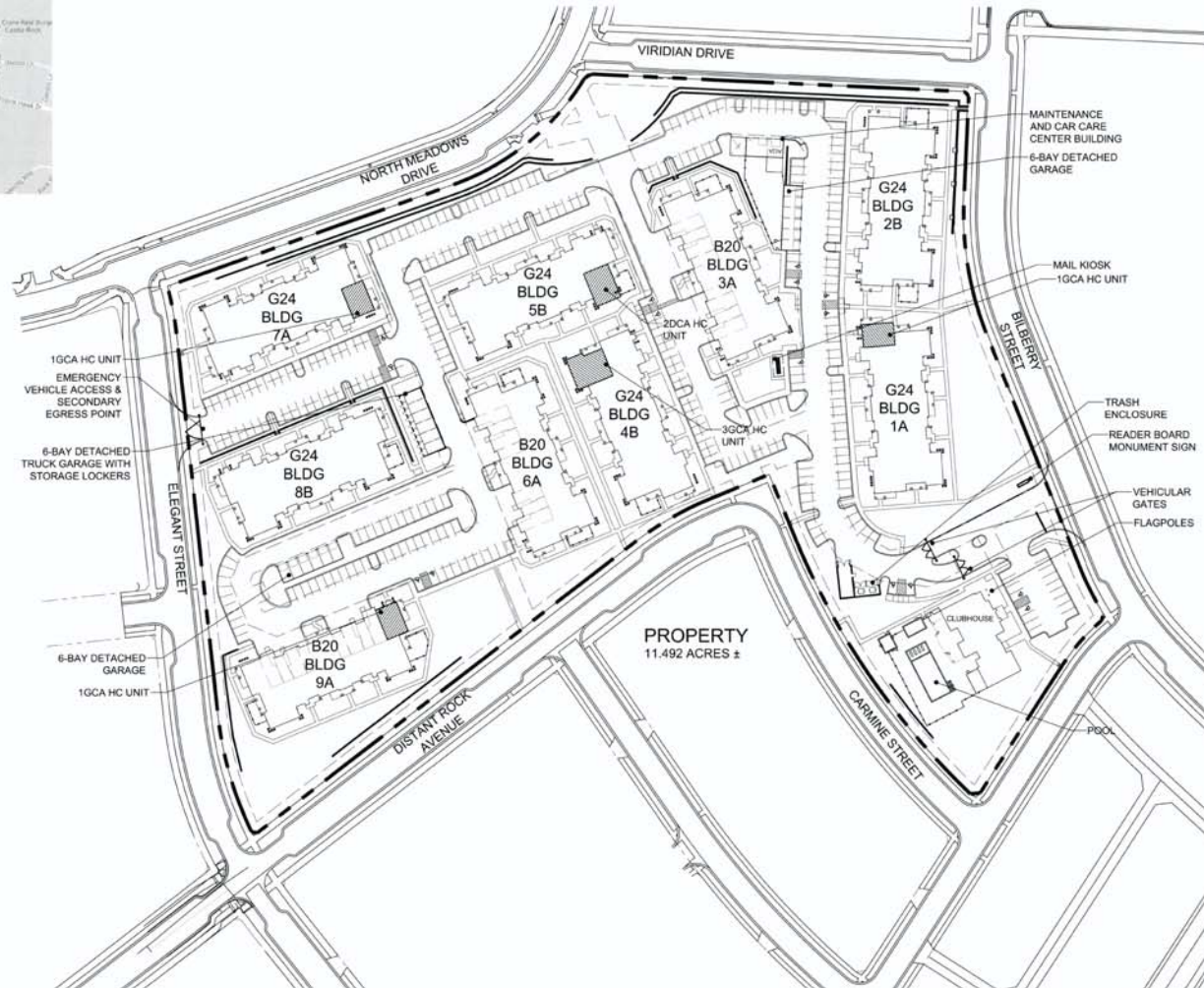
*DC = Designer Courtyard, DO = Designer Overlook, GC = Grand Courtyard, GD = Grand Overlook, DL = Designer Loft, L = Loft

**GCA or DCA denote General Courtyard or Designer Courtyard units that are Type A ADA accessible.

***All ground floor units to comply with the Fair Housing Act (FHA Units).

****Five (5) units (2% of total units) to comply with BC 2015 Section 1107.6.2.2.1.

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AMENDMENT NO. 15
LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67
WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



1 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"
0 600 1200 2400

ARCHITECTURE SITE PLAN FOR
INFORMATION ONLY - REFER TO CIVIL

LOT 1A, BLOCK 10, THE MEADOWS
FILING NO. 20, PHASE 1,
AMENDMENT NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP17-0039



PHILLIPS
CONSULTANT

ISSUE & REVISION RECORD

#	DATE	DESCRIPTION

CLIENT: _____

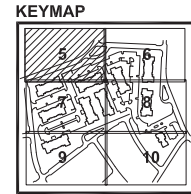
CONTINENTAL
CONTINENTAL 410 FUND
W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53052
262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER: 1732103
ISSUE DATE: 07/19/17
DRAWN BY/CHECKED BY: JMM/ATL
DRAWING TITLE: ARCHITECTURAL SITE PLAN

SHEET NUMBER: **14**

5901 PEACHTREE DUNNWOOD RD.
BUILDING A, SUITE 459
ATLANTA, GEORGIA 30328
PHILLIPS PART 0031 07/19/17

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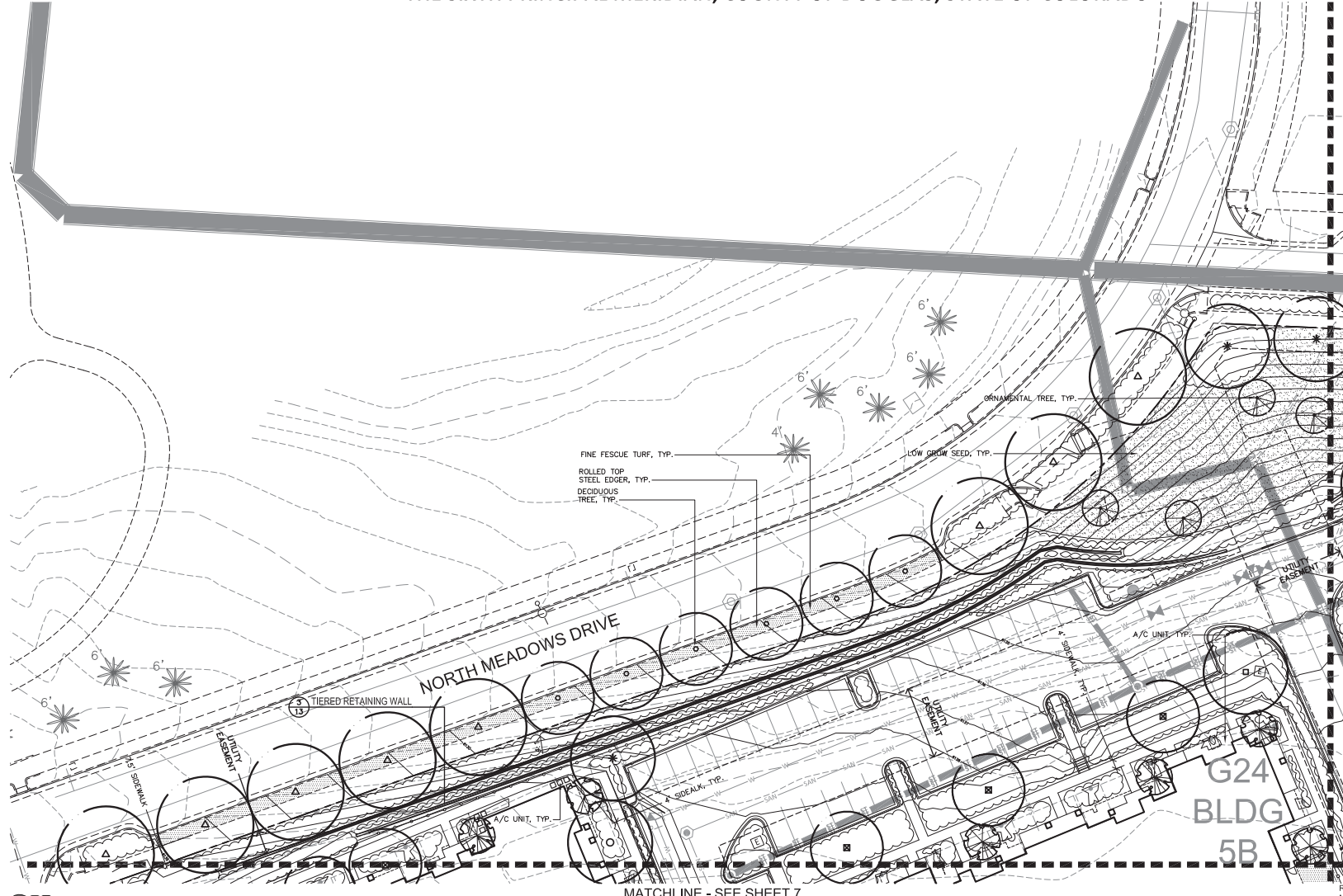


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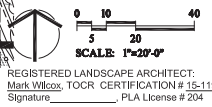
LEGEND

---	PROPERTY LINE
- - - -	EASEMENT LINE
---	EX. CONTOUR-MAJOR
---	EX. CONTOUR-MINOR
---	PR. CONTOUR-MAJOR
---	PR. CONTOUR-MINOR
---	WATER LINE
---	SANITARY SEWER
---	GAS LINE
---	STORM WATER SEWER
---	FENCE
○	MANHOLE
⊕	FIRE HYDRANT
⊖	AREA DRAIN
⊕	ELEC. TRANSFORMER
+	LIGHT
■	A/C UNITS
▨	BLUE GRAMMA SEED (IRRIGATED)
▩	FINE FESCUE TURF
---	EDGER
○	DECIDUOUS TREE
⊗	EVERGREEN TREE
⊙	ORNAMENTAL TREE
⊕	SHRUB BED



MATCHLINE - SEE SHEET 6

MATCHLINE - SEE SHEET 7



REGISTERED LANDSCAPE ARCHITECT:
 Mark Wilcox, TOCR CERTIFICATION # 15-1199
 Signature: _____ PLA License # 204

Springs at Castle Rock
 Castle Rock, Colorado

PROJECT NUMBER: 17145 DATE: 02/20/2018
 DESIGNED: KD
 DRAWN: AM
 CHECKED: BN

JOB DESCRIPTION:
 SITE DEVELOPMENT
 PLAN

SHEET TITLE:
 LANDSCAPE
 PLAN

SCALE: 1" = 20' - 0"
 SHEET NUMBER:

5

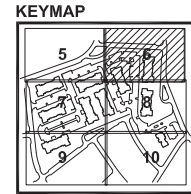
SHEET OF

LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT No. 15
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP17-0039



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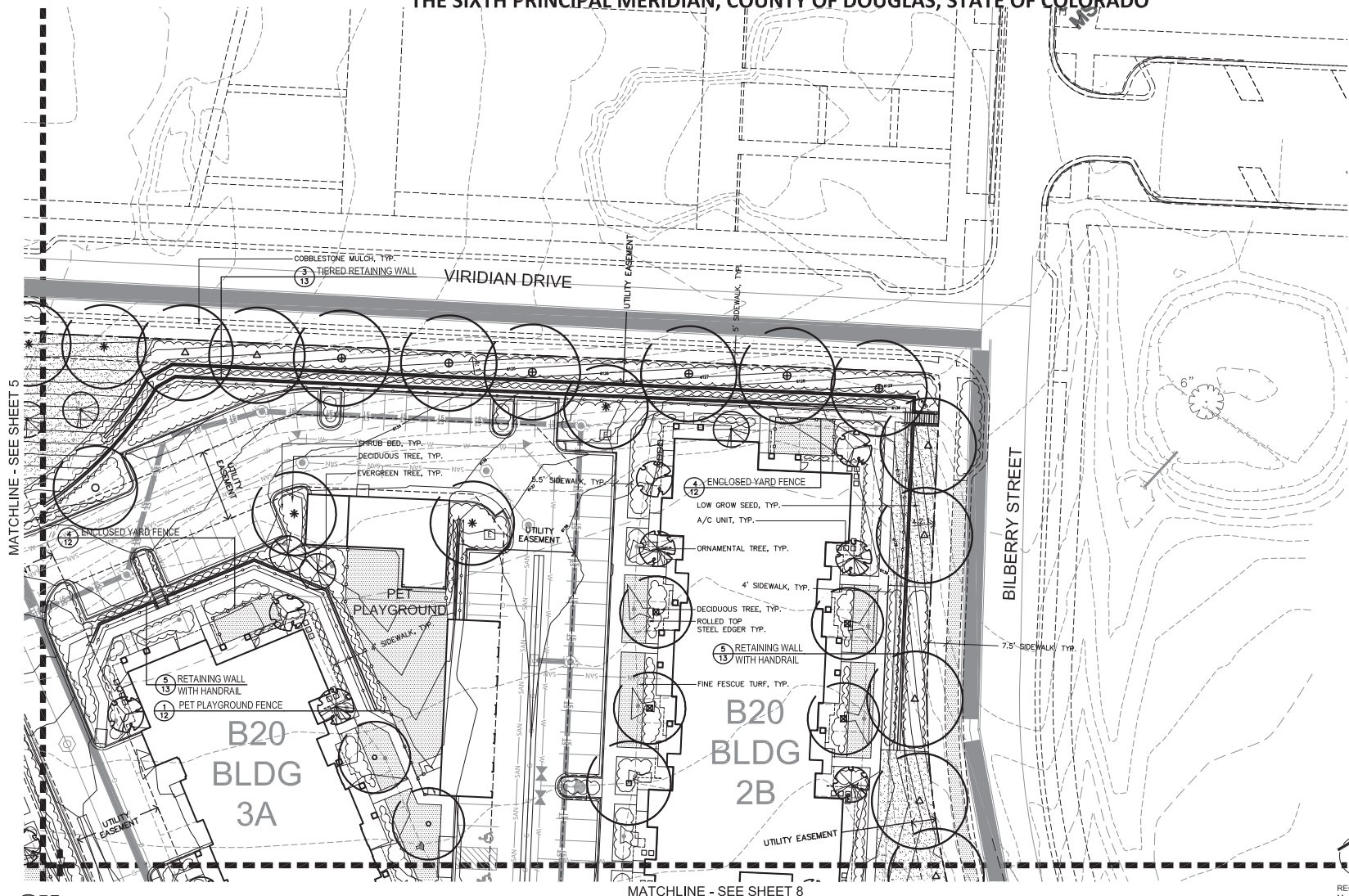


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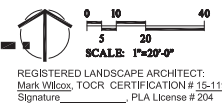
LEGEND

---	PROPERTY LINE
- - - -	EASEMENT LINE
---	EX. CONTOUR-MAJOR
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○	EVERGREEN TREE
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○	SHRUB BED



MATCHLINE - SEE SHEET 5

MATCHLINE - SEE SHEET 8



REGISTERED LANDSCAPE ARCHITECT:
 Mark Wilcox, TOCR CERTIFICATION # 15-1199
 Signature: _____ PLA License # 204

Springs at Castle Rock
 Castle Rock, Colorado

PROJECT NUMBER:	DATE
17145	02/20/2018
DESIGNED:	KD
DRAWN:	AM
CHECKED:	BN
REVISIONS:	

JOB DESCRIPTION:
 SITE DEVELOPMENT
 PLAN

SHEET TITLE:
 LANDSCAPE
 PLAN

SCALE: 1" = 20' - 0"
 SHEET NUMBER:

6

SHEET OF

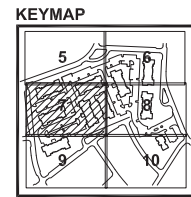
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 PROJECT NO. SDP17-0039



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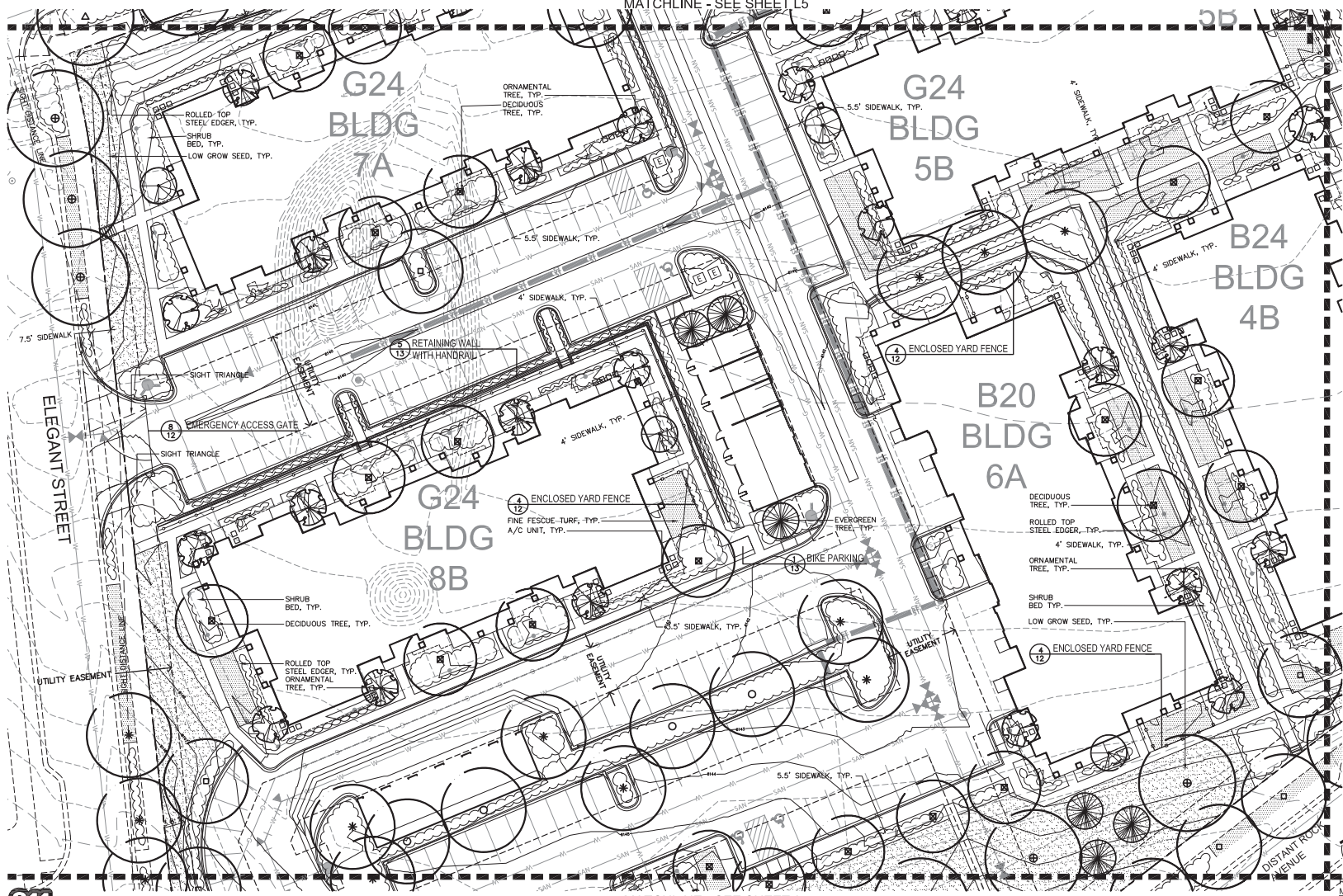
NOTES:
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR UTILITY LOCATIONS AND MARKING.
 2. ALL UTILITIES SHALL BE MARKED AND DEPTH VERIFIED PRIOR TO ANY CONSTRUCTION.
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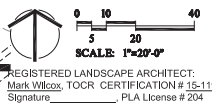
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LEGEND

---	PROPERTY LINE
- - - -	EASEMENT LINE
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⊗	EVERGREEN TREE
⊗	ORNAMENTAL TREE
⊗	SHRUB BED

MATCHLINE - SEE SHEET 7



Springs at Castle Rock
 Castle Rock, Colorado

PROJECT NUMBER: 174451 DATE: 02/20/2018

DESIGNED: KD
 DRAWN: AM
 CHECKED: BN

REVISIONS:

JOB DESCRIPTION:
 SITE DEVELOPMENT
 PLAN

SHEET TITLE:
 LANDSCAPE
 PLAN

SCALE: 1" = 20' - 0"
 SHEET NUMBER:

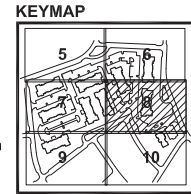
7

SHEET OF

811
 Know what's below.
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LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT No. 15
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP17-0039

SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT No. 15
 LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF
 THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

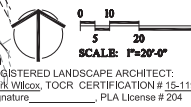
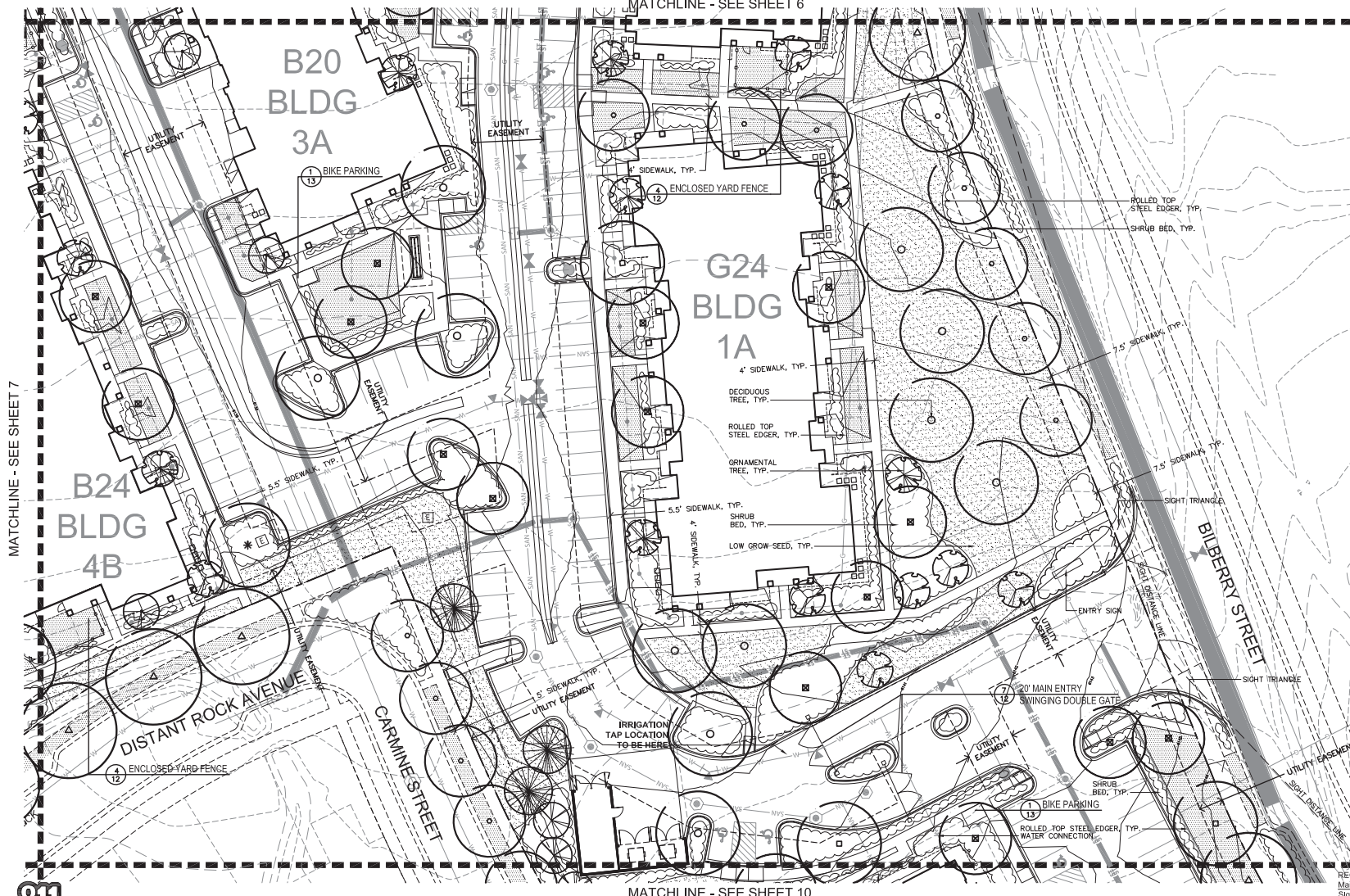


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---	PROPERTY LINE
- - - -	EASEMENT LINE
---	EX. CONTOUR-MAJOR
---	EX. CONTOUR-MINOR
---	PR. CONTOUR-MAJOR
---	PR. CONTOUR-MINOR
---	WATER LINE
---	SANITARY SEWER
---	GAS LINE
---	STORM WATER SEWER
---	FENCE
○	MANHOLE
○	FIRE HYDRANT
○	AREA DRAIN
○	ELEC. TRANSFORMER
+	LIGHT
□	A/C UNITS
■	BLUE GRAMMA SEED (IRRIGATED)
■	FINE FESCUE TURF
○	EDGER
○	DECIDUOUS TREE
○	EVERGREEN TREE
○	ORNAMENTAL TREE
○	SHRUB BED



MATCHLINE - SEE SHEET 7

MATCHLINE - SEE SHEET 6

MATCHLINE - SEE SHEET 10



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Springs at Castle Rock
 Castle Rock, Colorado

PROJECT NUMBER: 17145 DATE: 02/20/2018
 DESIGNED: KD
 DRAWN: AM
 CHECKED: BN
 REVISIONS:

JOB DESCRIPTION:
 SITE DEVELOPMENT PLAN

SHEET TITLE:
 LANDSCAPE PLAN

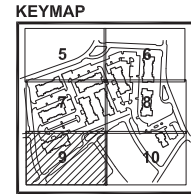
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 SHEET NUMBER:

8

SHEET OF

LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT No. 15
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP17-0039

SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT No. 15
 LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF
 THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

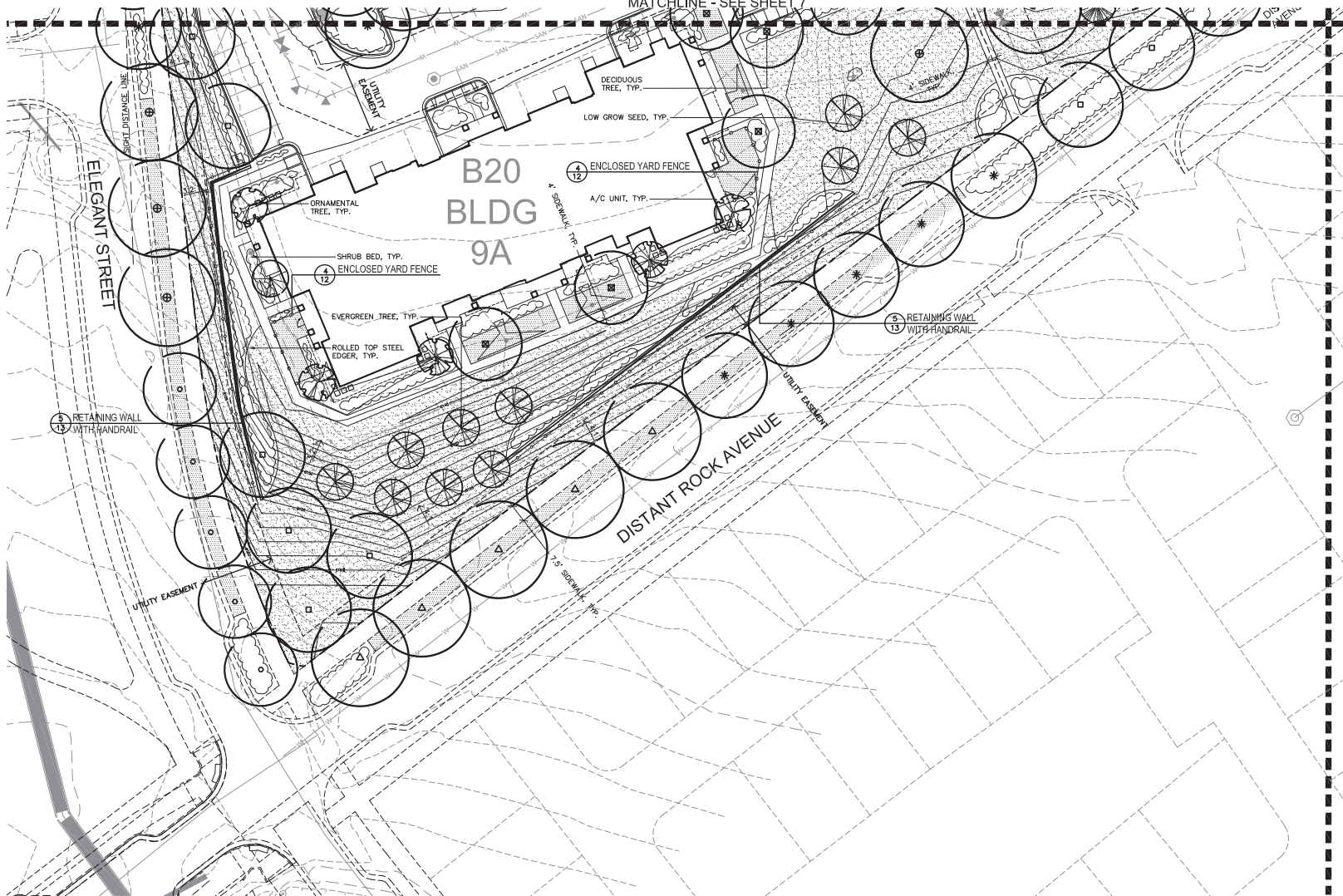


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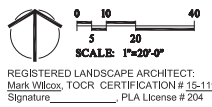
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LEGEND

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- - -	EASEMENT LINE
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---	EX. CONTOUR-MINOR
---	PR. CONTOUR-MAJOR
---	PR. CONTOUR-MINOR
---	WATER LINE
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---	GAS LINE
---	STORM WATER SEWER
---	FENCE
○	MANHOLE
○	FIRE HYDRANT
○	AREA DRAIN
+	ELEC. TRANSFORMER
+	LIGHT
□	A/C UNITS
■	BLUE GRAMMA SEED (IRRIGATED)
■	FINE FESCUE TURF
○	EDGER
○	DECIDUOUS TREE
○	EVERGREEN TREE
○	ORNAMENTAL TREE
○	SHRUB BED



MATCHLINE - SEE SHEET 10



Springs at Castle Rock
 Castle Rock, Colorado

PROJECT NUMBER: 17145
 DATE: 02/20/2018
 DESIGNED: KD
 DRAWN: AM
 CHECKED: BN

JOB DESCRIPTION:
 SITE DEVELOPMENT PLAN

SHEET TITLE:
 LANDSCAPE PLAN

SCALE: 1" = 20' - 0"
 SHEET NUMBER:

9

SHEET OF

LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT No. 15
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP17-0039

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SITE DEVELOPMENT PLAN

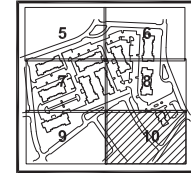
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LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

MATCHLINE - SEE SHEET 8



KEYMAP



LEGEND

	PROPERTY LINE
	EASEMENT LINE
	EX. CONTOUR-MAJOR
	EX. CONTOUR-MINOR
	PR. CONTOUR-MAJOR
	PR. CONTOUR-MINOR
	WATER LINE
	SANITARY SEWER
	GAS LINE
	STORM WATER SEWER
	FENCE
	MANHOLE
	FIRE HYDRANT
	AREA DRAIN
	ELEC. TRANSFORMER
	LIGHT
	A/C UNITS
	BLUE GRAMMA SEED (IRRIGATED)
	FINE FESCUE TURF
	EDGER
	DECIDUOUS TREE
	EVERGREEN TREE
	ORNAMENTAL TREE
	SHRUB BED

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MATCHLINE - SEE SHEET 9

Springs at Castle Rock

Castle Rock, Colorado

PROJECT NUMBER:	DATE:
17145	02/20/2018
DESIGNED: KD	
DRAWN: AM	
CHECKED: BN	

REVISIONS:

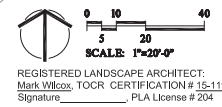
JOB DESCRIPTION:
SITE DEVELOPMENT PLAN

SHEET TITLE:
LANDSCAPE PLAN

SCALE: 1" = 20' - 0"
SHEET NUMBER:

10

SHEET OF



LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT No. 15
SITE DEVELOPMENT PLAN
PROJECT NO. SDP17-0039

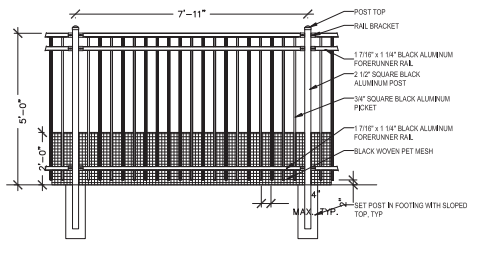


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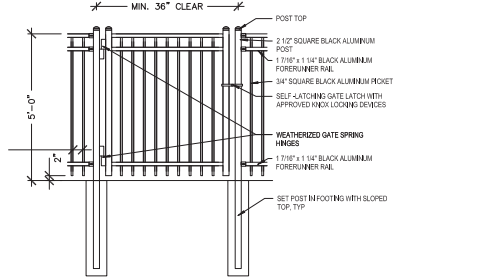
SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT No. 15
 LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF
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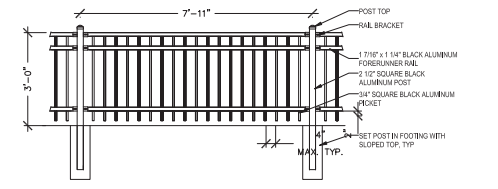
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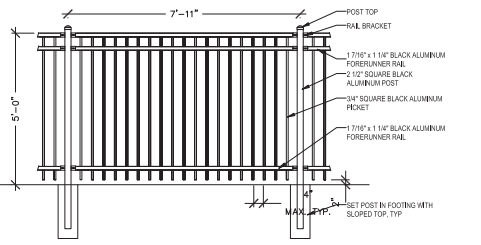
1 PET PLAYGROUND FENCE NOT TO SCALE



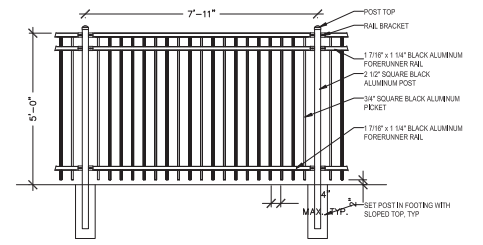
2 ENCLOSED YARD AND PET PLAYGROUND ENTRY GATE NOT TO SCALE



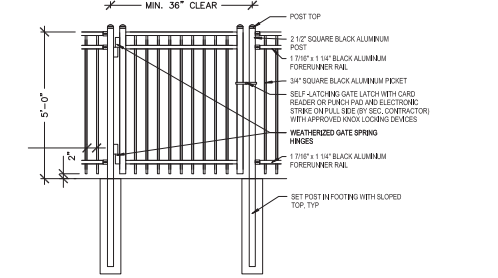
3 HANDRAIL NOT TO SCALE



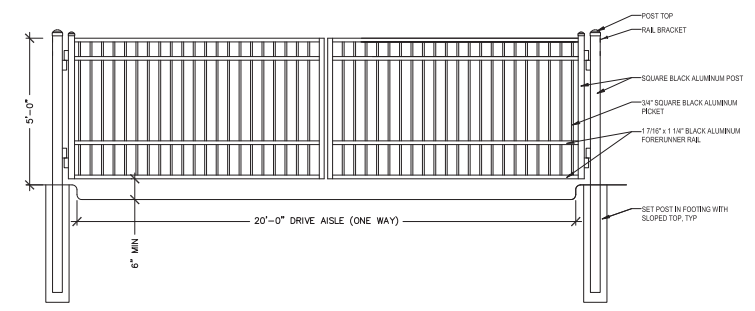
4 ENCLOSED YARD FENCE NOT TO SCALE



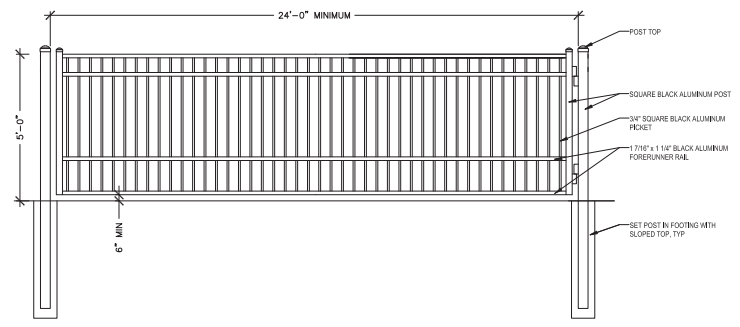
5 POOL DECK FENCE NOT TO SCALE



6 POOL DECK PEDESTRIAN ENTRY GATE NOT TO SCALE



7 20' MAIN ENTRY SWINGING DOUBLE GATE NOT TO SCALE



8 EMERGENCY ACCESS GATE 24' SWINGING SINGLE GATE NOT TO SCALE

REGISTERED LANDSCAPE ARCHITECT:
 Mark Wilcox, TOCR CERTIFICATION # 15-1199
 Signature _____, P.L.A. License # 204

LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT No. 15
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP17-0039

Springs at Castle Rock
 Castle Rock, Colorado

PROJECT NUMBER: 17145
 DATE: 02/20/2018
 DESIGNED: KD
 DRAWN: AM
 CHECKED: BN

JOB DESCRIPTION:
 SITE DEVELOPMENT
 PLAN

SHEET TITLE:
 LANDSCAPE
 DETAILS

SCALE: 1" = 20' - 0"
 SHEET NUMBER:

12

NOT TO SCALE

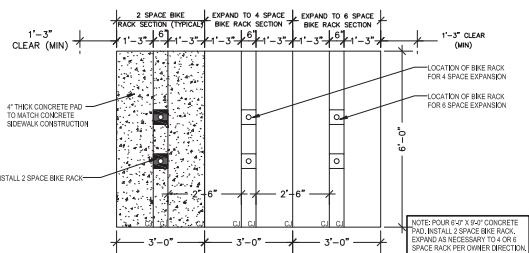
NOT TO SCALE

NOT TO SCALE

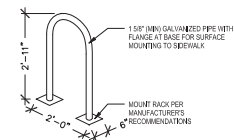
SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT No. 15
 LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF
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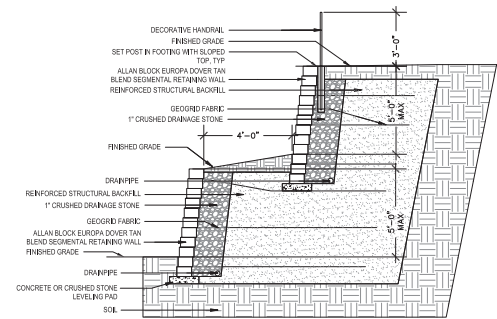
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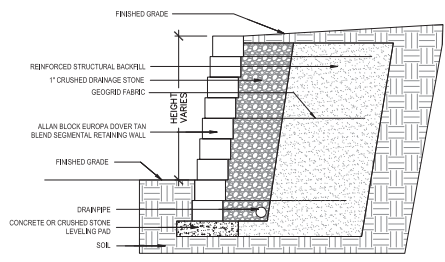
1 BIKE PARKING NOT TO SCALE



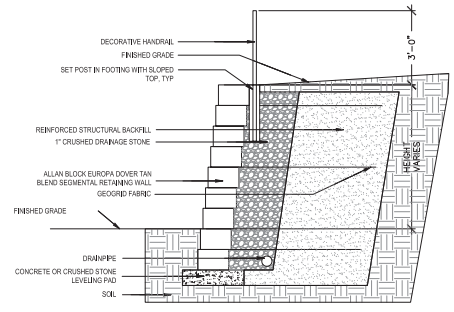
2 BIKE RACK NOT TO SCALE



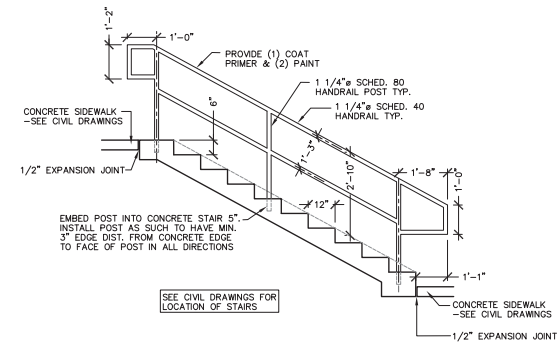
3 TIERED RETAINING WALL (BY OTHERS)
 NOTE: WALLS OVER 4' IN HEIGHT ARE TO BE REVIEWED BY THE TOWN OF CASTLE ROCK BUILDING DEPARTMENT AND PERMITTED BEFORE CONSTRUCTION. NOT TO SCALE



4 RETAINING WALL (BY OTHERS)
 NOTE: WALLS OVER 4' IN HEIGHT ARE TO BE REVIEWED BY THE TOWN OF CASTLE ROCK BUILDING DEPARTMENT AND PERMITTED BEFORE CONSTRUCTION. NOT TO SCALE



5 RETAINING WALL WITH HANDRAIL (BY OTHERS)
 NOTE: WALLS OVER 4' IN HEIGHT ARE TO BE REVIEWED BY THE TOWN OF CASTLE ROCK BUILDING DEPARTMENT AND PERMITTED BEFORE CONSTRUCTION. NOT TO SCALE



6 EXTERIOR STAIR HANDRAIL NOT TO SCALE

REGISTERED LANDSCAPE ARCHITECT:
 Mark Wilcox, TOCR CERTIFICATION # 15-1199
 Signature _____, P.L.A. License # 204

LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT No. 15
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP17-0039

Springs at Castle Rock
 Castle Rock, Colorado

PROJECT NUMBER: 17145
 DATE: 02/20/2018
 DESIGNED: KD
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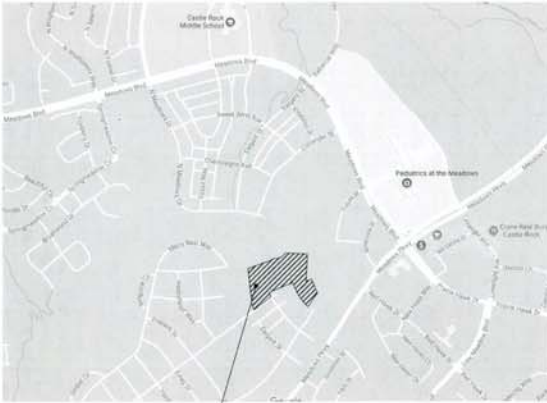
JOB DESCRIPTION:
 SITE DEVELOPMENT PLAN

SHEET TITLE:
 LANDSCAPE DETAILS

SCALE: 1" = 20' - 0"
 SHEET NUMBER:

13

SHEET OF _____



SITE LOCATION

VICINITY MAP
SCALE: 1/8" = 100'

BUILDING #	COLOR SCHEME	BUILDING TYPE	AREA (SF)
1	A	G24	25,654
2	B	G24	25,654
3	A	B20	24,458
4	B	G24	25,654
5	B	G24	25,654
6	A	B20	24,458
7	A	G24	25,654
8	B	G24	25,654
9	A	B20	24,458
	A	CLUBHOUSE	4,255
	A	6-BAY DETACHED GARAGE (6G)	1,495
	A	6-BAY DETACHED GARAGE (6G)	1,495
	A	6-BAY DETACHED TRUCK GARAGE WITH STORAGE LOCKERS (6GT)	1,846
	A	MAINTENANCE BUILDING	876
	A	MAIL KIOSK	53
	A	TRASH ENCLOSURE	906
TOTAL BUILDING AREA:			239,224

UNIT TYPE	BEDROOM QTY	BATHROOM QTY	CONDITIONED SF	BLDG TYPE B20 UNIT QTY	BLDG TYPE G24 UNIT QTY	TOTAL UNITS
1GC	1	1	760	6	12	18
1GD	1	1	857	6	6	6
1GC*	1	1	816	5	10	15
1GD*	1	1	905	6	12	18
1L	1	1.5	923	6	12	18
2DC	2	2	1,062	3	5	8
2DCA*	2	2	1,062	0	1	1
2DD	2	2	1,153	3	6	9
2DL	2	2	1,545	0	12	12
2DC	2	2	1,585	8	24	30
2DD	2	2	1,188	12	24	30
3GC	3	2	1,334	3	5	8
3GD*	3	2	1,334	0	1	1
3DD	3	2	1,426	3	6	9
S	1 (STUDIO)	1	525	0	12	12
TOTALS:				60	144	204

*DC = Designer Courtyard, DO = Designer Overlook, GC = Grand Courtyard, GD = Grand Overlook, DL = Designer Loft, L = Loft

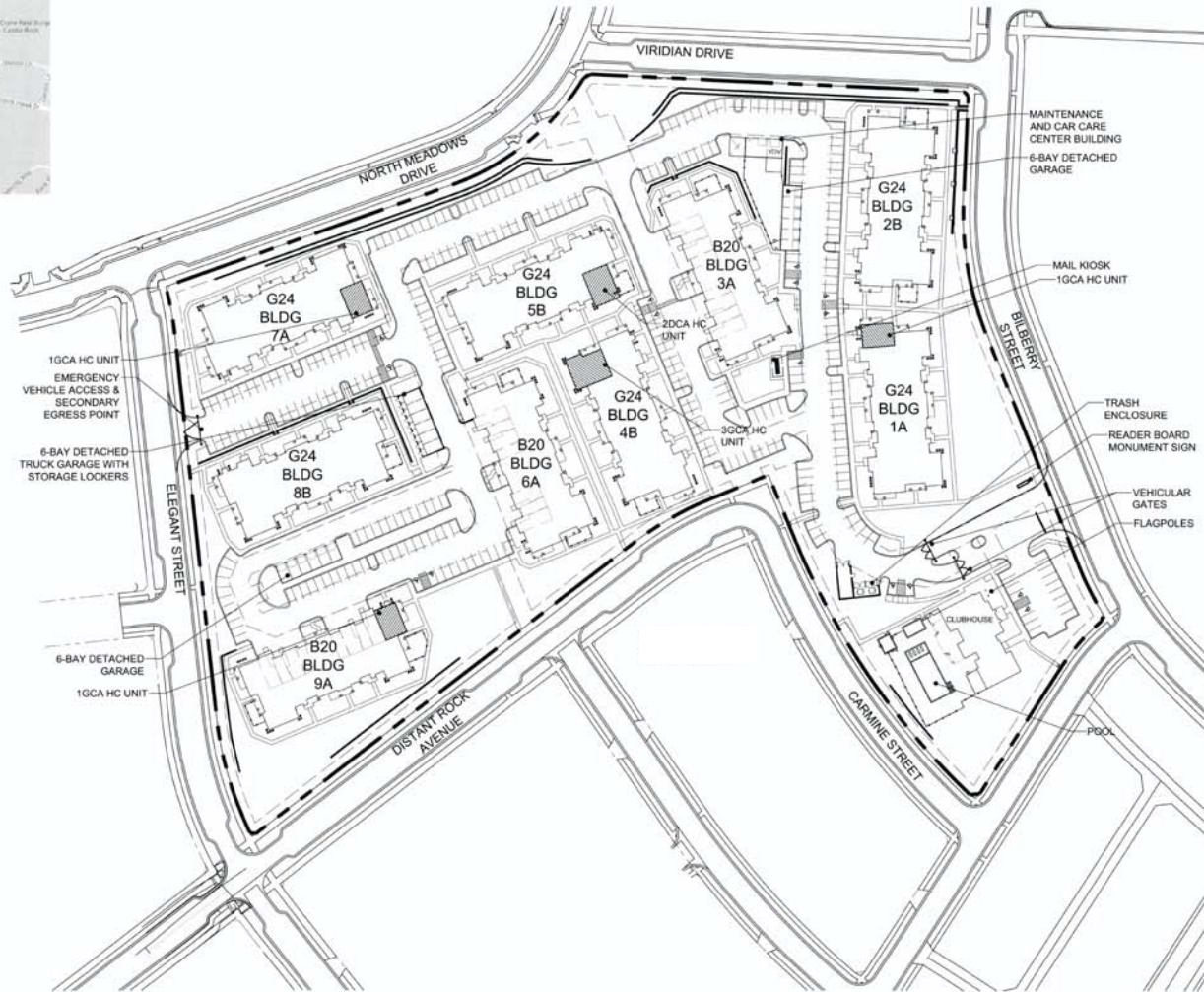
**GCA or DCA denote General Courtyard or Designer Courtyard units that are Type A ADA accessible.

***All ground floor units to comply with the Fair Housing Act (FHA Units).

****Five (5) units (2% of total units) to comply with BC 2015 Section 1107.6.2.2.1.

SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
AMENDMENT NO. 15

LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67
WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 100'

0 600 1200 2400

ARCHITECTURE SITE PLAN FOR
INFORMATION ONLY - REFER TO CIVIL

LOT 1A, BLOCK 10, THE MEADOWS
FILING NO. 20, PHASE 1,
AMENDMENT NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP17-0039



PHILLIPS

CONSULTANT

SEAL _____

ISSUE & REVISION RECORD

#	DATE	DESCRIPTION

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CLIENT _____

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CONSULTANTS, INC.

CONTINENTAL 410 FUND
W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53052
262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER 1732103

ISSUE DATE 07/19/17

DRAWN BY/CHECKED BY JMM/ATL

DRAWING TITLE

**ARCHITECTURAL
SITE PLAN**

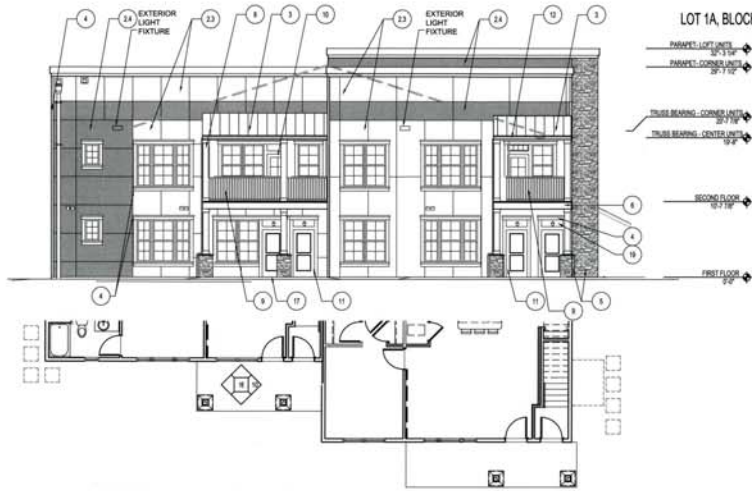
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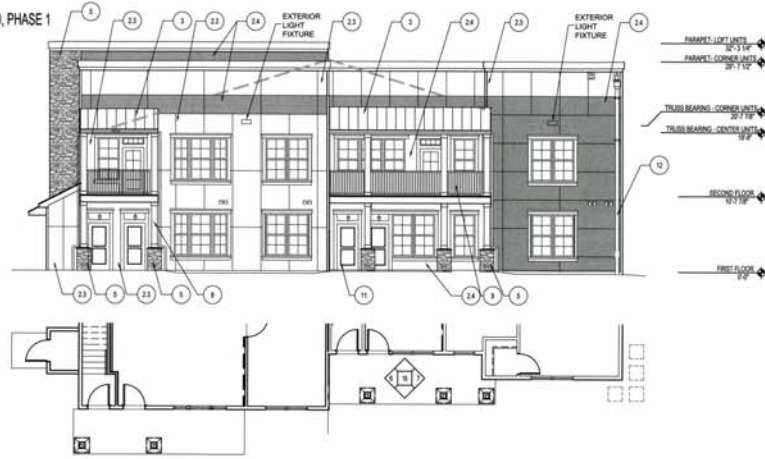
5901 PEACHTREE DUNWOODY RD.
BUILDING A, SUITE 450
ATLANTA, GEORGIA 30328
PHILLIPS PARTNER (201) 271-2600

LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 87 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

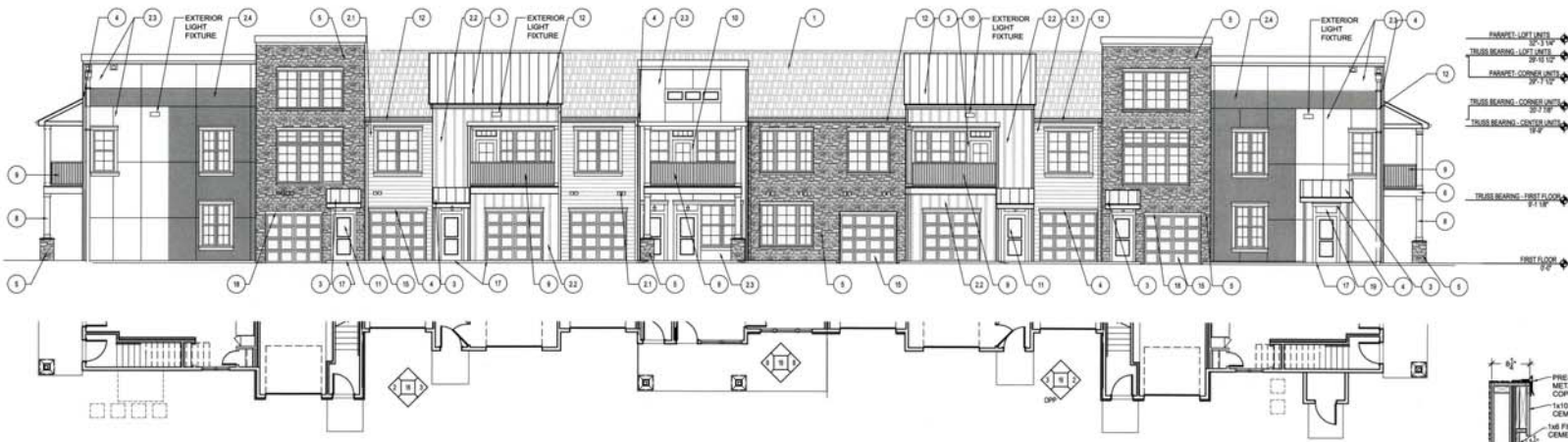
SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
AMENDMENT NO. 15



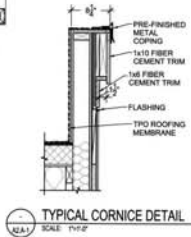
3 LEFT ELEVATION - BUILDING TYPE B20 LOFT
 SCALE: 1/8"=1'-0"



2 RIGHT ELEVATION - BUILDING TYPE B20 LOFT
 SCALE: 1/8"=1'-0"



1 FRONT ELEVATION - BUILDING TYPE B20 LOFT
 SCALE: 1/8"=1'-0"



TYPICAL CORNICE DETAIL
 SCALE: 1/2"=1'-0"

LEGEND	GENERAL NOTES:	KEYED NOTES: FINISH SCHEDULE A	KEY PLAN
<p>(XX) WINDOW TYPE - SEE SHEET A1.01</p> <p>(B) DRYER/BATHROOM EXHAUST VENT - SEE SHEET A1.01 FOR DETAILS. COLOR TO MATCH ADJACENT MATERIAL.</p> <p>(X) KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION.</p>	<p>1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.</p> <p>2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.</p> <p>3. PROVIDE FLASHINGS AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.</p> <p>4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.</p> <p>5. SEE GENERAL NOTES ON WALL SECTION SHEETS AND DETAIL SHEETS FOR MORE INFORMATION.</p> <p>6. KEYED NOTES FOR FINISH COLOR ONLY. REFER TO BUILDING ASSEMBLIES ON A1.01 SHEETS FOR CONSTRUCTION METHOD.</p>	<p>1. 30 YR CLASS B ARCHITECTURAL GRADE SELF-SEALING ASPHALT SHINGLES, TIMBER HERITAGE SERIES. COLOR WEATHERED WOOD ON 1/2" FELT ON 1" OSB ROOF SHEATHING. METAL UP CURS ON TRUSSES AT 2" O.C. (PROVIDE UPLIFT CONNECTORS AT EACH END OF EACH TRUSS - SEE STRUCTURAL).</p> <p>2. 2x12 HORIZONTAL SIDING - HARDIPLANK SELECT CLEAR/MLL C.A. 8.50" W/ 7" EXPOSURE (WOOD GRAIN). INSTALLED W/ FLASHING @ BUTT JOINTS PER MANUFACTURER RECOMMENDATIONS. COLOR: SW #2698 "ROYALTY" BRONZE GREEN.</p> <p>3. 2x22 SIDING - BOARD AND BATTEN - HARDIPLANK (SMOOTH) BY MANUFACTURER'S RECOMMENDATIONS. COLOR: CAPE COO GREY. HORIZONTAL COLOR TO MATCH STONE. METAL STONE CAPS - STYLE: CHELSEA STONE. FINISH LAMP/OC FOR COLUMN BASES. INSTALL STONE UNITS FOR WINDOW/DOOR. STONE SILLS FOR EXTERIOR WALL.</p> <p>4. HARDIPLANK (SMOOTH) AT FREEZE, BAKE, WINDOWS, DOORS, AND CORNER BOARDS. COLOR: SW #1614 "WOOL SKEN". INSTALLED PER RECOMMENDATIONS. PRE-FINISHED METAL FLASHING SHEETS REQUIRED.</p> <p>5. MANUFACTURED STONE - KENNEDY CONCORDS. SERIES: LEDGESTONE QUICK STACK. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COLOR: CAPE COO GREY. HORIZONTAL COLOR TO MATCH STONE. METAL STONE CAPS - STYLE: CHELSEA STONE. FINISH LAMP/OC FOR COLUMN BASES. INSTALL STONE UNITS FOR WINDOW/DOORS. STONE SILLS FOR EXTERIOR WALL.</p> <p>6. FIBER CEMENT FACIA AT BALCONY EDGE. PRE-FINISHED COLOR: SW #1614 "WOOL SKEN".</p> <p>7. PRE-FINISHED METAL DRIP EDGE OVER SHIM FACIA BOARD WRAPPED IN ALUMINUM TO MATCH GUTTER COLOR - MASTIC FLASHING.</p> <p>8. HARDIPLANK (SMOOTH) CLAD COLUMN WRAP AND TRIM - COLUMN W/ SQUARE CAP AND BASE OVER 4x4 TREATED POST. COLOR: SW #1614 "WOOL SKEN". INSTALLED PER MFR RECOMMENDATIONS.</p> <p>9. PATIO/BALCONY GUARDRAIL - TOP OF RAIL AT 42" AFF. STYLE AND MATERIAL TO BE SELECTED BY OWNER. COLOR: BLACK.</p> <p>10. PRE-FINISHED INSULATED PATIO DOOR W/ GLASS LITES. SEE DOOR SCHEDULE.</p> <p>11. COLOR: SW #2698 "WOOL SKEN".</p> <p>12. VENTED VINYL SOFFIT. CERTAINTED OR AFF. EQ. STYLE: TRIPLE 3.5" RIBBANT VINYL. COLOR: "NEBRASKIAN".</p> <p>13. METAL INSULATED OVERHEAD DOOR W/ TRACK. WEATHER STRIPPING & AUTO OPERATOR ASSEMBLY. STYLE: "COLONIAL". GARAGE DOOR COLOR: SW #2698 "ROYALTY" BRONZE GREEN.</p> <p>14. EXTERIOR DECORATIVE ENTRY DOOR LIGHT PROGRESS LIGHTING MODEL #P88-3188.</p> <p>15. ENTRY STOPS AND PATIO: BROOM FINISH CONCRETE.</p> <p>16. CORONADO STONE UNITS - COLOR: SW #1614 "WOOL SKEN".</p> <p>17. HARDIPLANK - COLOR: SW #1614 "WOOL SKEN".</p> <p>18. ENTRY CEILING AT 3/8" CEDAR RAFTERS TO BE EXPOSED AT UNDERSIDE. PAINT GRADE PLYWOOD. PAINT PLYWOOD AND RAFTERS: SW #1614 "WOOL SKEN". COORDINATE BEAMS WITH RAFTERS. RE. DETAIL SAS.23.</p>	<p>KEY PLAN</p> <p>BUILDING NUMBER 3 8 9</p> <p>COLOR SCHEME: A</p>



SEAL _____

ISSUE & REVISION RECORD

#	DATE	DESCRIPTION

CLIENT _____

PROJECT _____

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CLIENT _____

CONTINENTAL
 CONTINENTAL 410 FUND
 W134 N8675 EXECUTIVE PARKWAY
 MENOMONIE FALLS, WI 53052
 262.902.5500 * FAX 262.902.5522

PHILLIPS JOB NUMBER: 1733103
 ISSUE DATE: 07/19/17
 DRAWN BY/CHECKED BY: JMM/ATL
 DRAWING TITLE: **EXTERIOR ELEVATIONS BUILDING TYPE B20**

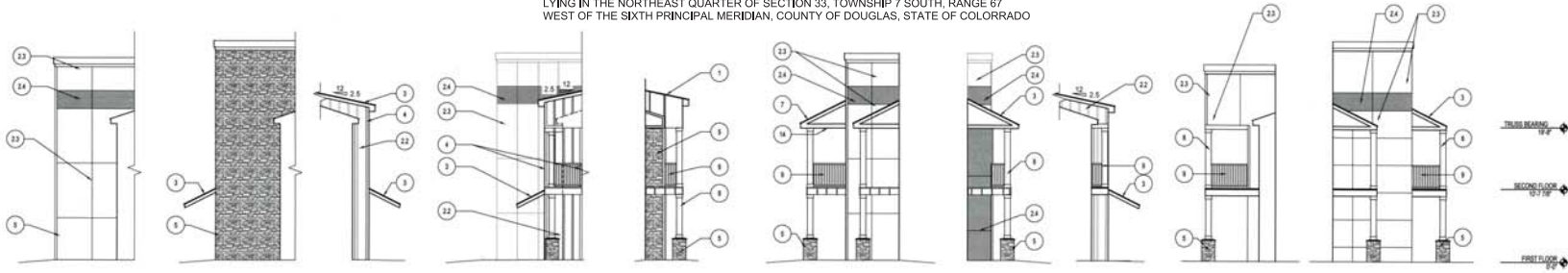
SHEET NUMBER: **15**

PROJECT NO. SDP17-0039

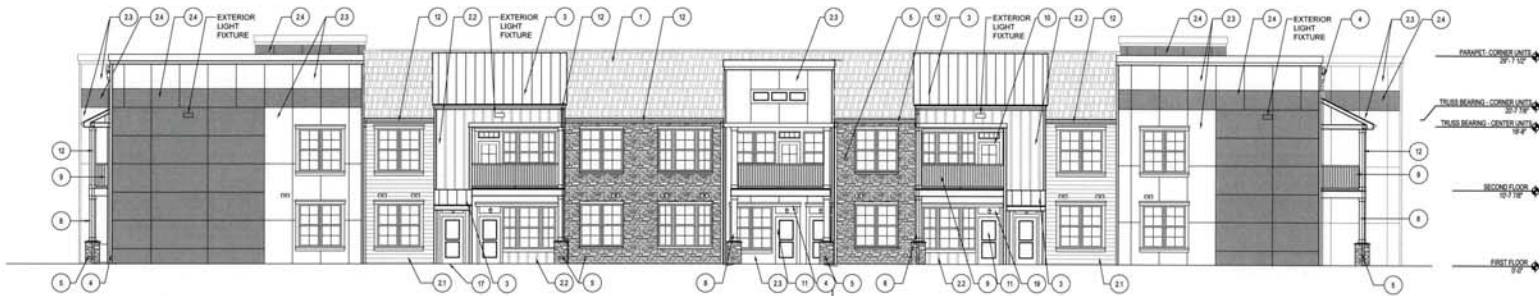
8901 PEACHTREE DUNWOODY RD.
 BUILDING A, SUITE 450
 ATLANTA, GEORGIA 30328
 TEL: 404.263.1234

SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
AMENDMENT NO. 15

LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67
 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

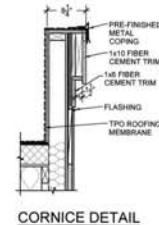


1 PARTIAL ELEV. SCALE: 1/8" = 1'-0" 2 PARTIAL ELEV. SCALE: 1/8" = 1'-0" 3 PARTIAL ELEV. SCALE: 1/8" = 1'-0" 4 PARTIAL ELEV. SCALE: 1/8" = 1'-0" 5 PARTIAL ELEV. SCALE: 1/8" = 1'-0" 6 PARTIAL ELEV. SCALE: 1/8" = 1'-0" 7 PARTIAL ELEV. SCALE: 1/8" = 1'-0" 8 PARTIAL ELEV. SCALE: 1/8" = 1'-0" 9 PARTIAL ELEV. SCALE: 1/8" = 1'-0" 10 PARTIAL ELEV. SCALE: 1/8" = 1'-0"



1 REAR ELEVATION - BUILDING TYPE B20 LOFT
 SCALE: 1/8" = 1'-0"

LEGEND	GENERAL NOTES:	KEYED NOTES: FINISH SCHEDULE A	KEY PLAN
(XX) WINDOW TYPE - SEE SHEET A5.1	1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.	1. 3/8" CLASS B ARCHITECTURAL GRADE SELF-SEALING ADMIXED SHIMBLES TANGENT TO ROOF SHEATHING ON WEATHERED WOOD ON TRUSSES ON 1" OEB ROOF SHEATHING IN METAL 1" CLIPS ON TRUSSES AT 24" O.C. (PROVIDE UPLIFT CONNECTORS AT EACH END OF EACH TRUSSES - SEE STRUCTURAL)	<p>BUILDING NUMBER COLOR SCHEME: A 3 6 9</p>
(E) DRYER/ROOM EXHAUST VENT - SEE SHEET A5.2 FOR DETAILS. COLOR TO MATCH ADJACENT MATERIAL.	2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.	2. PAC CLAD STANDING SEAM ROOF SYSTEM PROFILE "DRAP CLAD" ON 2x6 ON 3x8 RILT OVER ROOF SHEATHING ON PRE-ENGINEERED WOOD TRUSSES WITH CEILING RAFTER TAILS AND TRUSSES. SEE NOTE 1. COLOR: GALVALUME (SALVADOME ALUMINUM COLOR)	
(X) KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION.	3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.	3. HORIZONTAL SIDING - HARDIPANEL SELECT COGNAC, O.C. 8.25" W/ 7" EXPOSURE (WOOD GRAINS). INSTALLED IN FLASHING @ BUTT JOINTS PER MANUFACTURER RECOMMENDATIONS. COLOR: SW 6264 ROYALTY BRONZE GREEN.	
	4. MANTAN OPENING IN ROOF SHEATHING AT OVERHANGING TO PROVIDE VENTILATION.	4. HANDTRIM (SMOOTH) AT FREEZE, RAKE, WINDOWS, DOORS, AND CORNER RAZORS. COLOR: SW 9148 WOOL SKEN. INSTALLED PER RECOMMENDATIONS. PRE-FINISHED METAL FLASHING WHERE REQUIRED.	
	5. SEE GENERAL NOTES ON WALL SECTION SHEETS AND DETAIL SHEETS FOR MORE INFORMATION.	5. LEADSTONE QUAD STACK - INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COLOR: CAPE COAST GREY. HORIZONTAL STONE TO MATCH STONE. INSTALL STONE CAPS - STYLE CHISELED STONE - FINISH COMPOC FOR COLUMN BASES. METAL STONE LINTELS FOR WINDOW COORS. STONE SILLS FOR EXTERIOR WALL.	
	6. REFER TO FINISH COLOR ONLY. REFER TO BUILDING ASSEMBLIES ON A3-X-X SHEETS FOR CONSTRUCTION METHOD.	6. FIBER CEMENT FASCIA AT BALCONY EDGE. PRE-FINISHED COLOR: SW 9148 WOOL SKEN.	
		7. PRE-FINISHED METAL DRIP EDGE OVER SHS FASCIA BOARD WRAPPED IN ALUMINUM 10MANTH GUTTER. COLOR: -MANTIC ALMOND.	
		8. VENTED VINYL SOFFIT. CERTAINTED OR APP. EDJ. STYLE: PAPER 3-1/2" FINISH VENT VINYL. COLOR: HERRINGBONE. METAL INSULATED OVERHEAD DOOR W/ TRACK, WHEELS, STRAPPING & AUTO OPENER ASSEMBLY. STYLE: 'COLONIAL'. GARAGE DOOR COLOR: SW 6264 ROYALTY BRONZE GREEN.	
		9. PRE-FINISHED INSULATED PATIO DOOR W/ GLASS BUTTS. SEE DOOR SCHEDULE.	
		10. PRE-FINISHED INSULATED DOOR - REFER TO DOOR SCHEDULE. COLOR: SW 6264 ROYALTY BRONZE GREEN.	
		11. MASTIC PRE-FINISHED ALUMINUM "I" GUTTER AND "J" DOWNSPOUT. THE DOWNSPOUT INTO STORM SYSTEM. STYLE: X. COLOR: "ALMOND".	
		12. ENTRY STOODS AND PATIO BROOM FINISH CONCRETE.	
		13. CORONAHO STONE LINTEL. COLOR: SW 9148 WOOL SKEN.	
		14. EXTERIOR DECORATIVE ENTRY DOOR LIGHT PROGRESS LIGHTING MODEL #P381-37WS.	
		15. PRE-FINISHED METAL CORNICE. COLOR: SW 9148 WOOL SKEN.	
		16. VENTED VINYL SOFFIT. CERTAINTED OR APP. EDJ. STYLE: PAPER 3-1/2" FINISH VENT VINYL. COLOR: HERRINGBONE. METAL INSULATED OVERHEAD DOOR W/ TRACK, WHEELS, STRAPPING & AUTO OPENER ASSEMBLY. STYLE: 'COLONIAL'. GARAGE DOOR COLOR: SW 6264 ROYALTY BRONZE GREEN.	
		17. EXTERIOR DECORATIVE ENTRY DOOR LIGHT PROGRESS LIGHTING MODEL #P381-37WS.	
		18. ENTRY STOODS AND PATIO BROOM FINISH CONCRETE.	
		19. CORONAHO STONE LINTEL. COLOR: SW 9148 WOOL SKEN.	
		20. PRE-FINISHED METAL CORNICE. COLOR: SW 9148 WOOL SKEN.	



LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT NO. 15
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP17-0039



ISSUE & REVISION RECORD

#	DATE	DESCRIPTION

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PROJECT _____

CLIENT _____

CONTINENTAL
 ARCHITECTURE FIRM

CONTINENTAL 410 FUND
 W34 HIBBS EXECUTIVE PARKWAY
 MENOMONIE FALLS, WI 53002
 262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER _____ 1731603
 ISSUE DATE _____ 07/10/17
 DRAWN BY/CHECKED BY _____ JMM/ATL
 EXTERIOR ELEVATIONS
 BUILDING TYPE B20

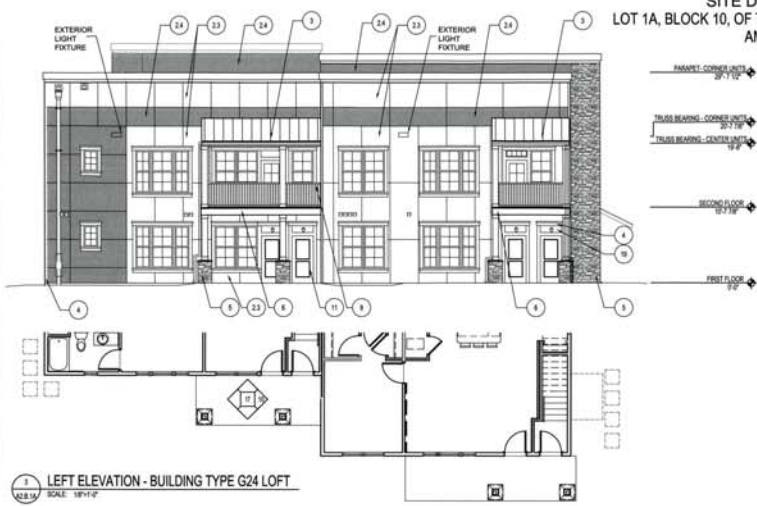
SHEET NUMBER _____

16

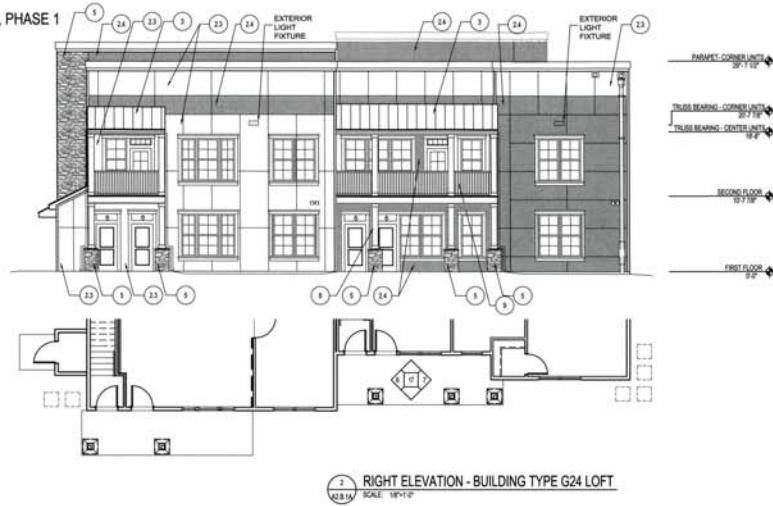
5901 PEACHTREE DUNWOODY RD.
 BUILDING A, SUITE 400
 ATLANTA, GEORGIA 30328
 PHILLIPS PARTNERSHIP, PC

SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
AMENDMENT NO. 15

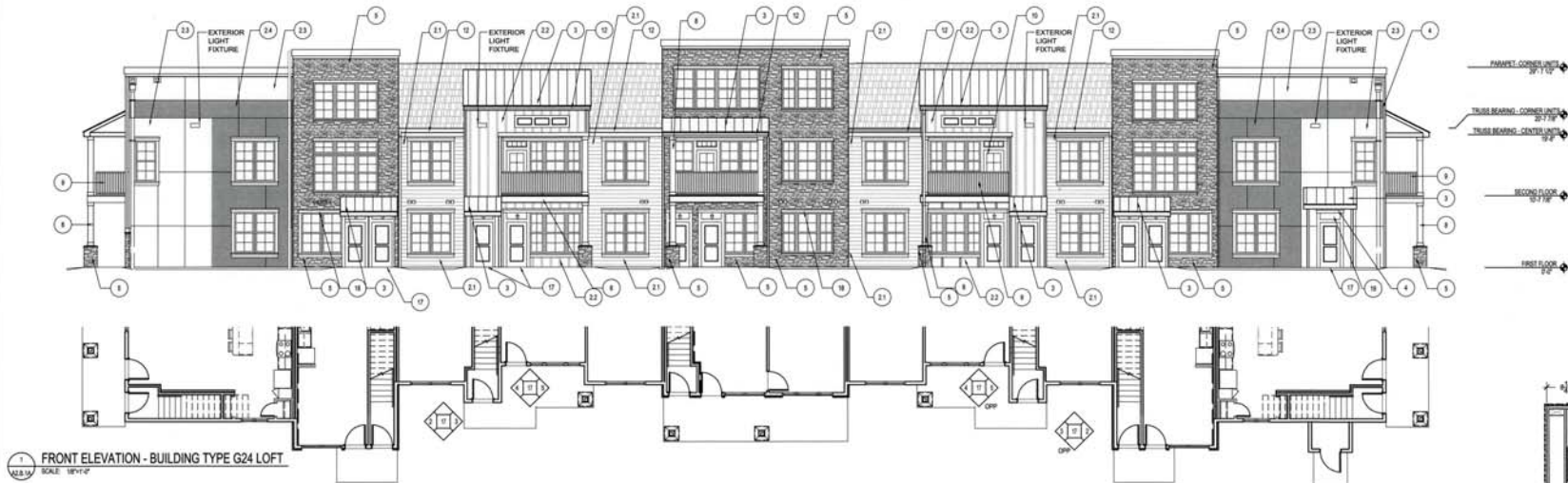
LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67
 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



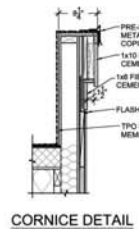
1 LEFT ELEVATION - BUILDING TYPE G24 LOFT
 SCALE: 1/8"=1'-0"



2 RIGHT ELEVATION - BUILDING TYPE G24 LOFT
 SCALE: 1/8"=1'-0"



3 FRONT ELEVATION - BUILDING TYPE G24 LOFT
 SCALE: 1/8"=1'-0"



CORNICE DETAIL

LEGEND	GENERAL NOTES:	KEYED NOTES: FINISH SCHEDULE A	KEY PLAN
<p>XX WINDOW TYPE - SEE SHEET A01</p> <p>X DRYER/BATHROOM EXHAUST VENT - SEE SHEET A16 FOR DETAILS. COLOR TO MATCH ADJACENT MATCHING.</p> <p>X KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION.</p>	<p>1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.</p> <p>2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.</p> <p>3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.</p> <p>4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERHANGING TO PROVIDE VENTILATION.</p> <p>5. SEE GENERAL NOTES ON WALL SECTION SHEETS AND DETAIL SHEETS FOR MORE INFORMATION.</p> <p>6. KEYED NOTES FOR FINISH COLOR ONLY. REFER TO BUILDING ASSEMBLIES ON A-XX SHEETS FOR CONSTRUCTION METHOD.</p>	<p>1. 3/4" CLASS B ARCHITECTURAL GRADE SELF SEALING ASPHALT SHINGLES. TAMBO HERITAGE SERIES. COLOR: HEARTHSTONE WOOD SH. 18" FELT ON 2\"/> <p>2. PARAPET (SMOOTH) AT FINISH. SAME FINISHES, DOORS, AND CORNER BOARDS. COLOR: SW #614 WOOD SHER. INSTALLED FOR RECOMMENDATIONS. PRE-FINISHED METAL FLASHING FINISH REQUIRED.</p> <p>3. MANUFACTURED STONE VENEER. CORKWOOD SERIES. LEGGESTONE QUICK STACK. METAL PERI. MANUFACTURER RECOMMENDATIONS. COLOR: CAPE COO GREY. MORTAR COLOR TO MATCH STONE. INSTALL STONE CURB - STYLE CHISEL STONE. FINISH LAMPING FOR COLUMN BASES. INSTALL STONE LITELS FOR WINDOW SILLING. STONE SILL FOR EXTERIOR WALL.</p> <p>4. FIBER CEMENT FASCIA AT BALCONY EDGE. PRE-FINISHED COLOR: SW #614 WOOD SHER.</p> <p>5. PRE-FINISHED METAL DRIP EDGE OVER SH44 FASCIA. BONDING SHAPED IN ALUMINUM TO MATCH GUTTER COLOR. MASTIC ALUMINO.</p> <p>6. VAPOR PANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM. CLAY 22 GA. 0.0145. FET OVER ROOF SHEATHING ON PRE-ENGINEERED WOOD TRUSSES WITH CEDAR RAFTERS TALKS AND TRIM. SEE NOTE 13 COLOR: GALVALUME (SILVER/WHITE ALUMINUM COLOR).</p> <p>7. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>8. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>9. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>10. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>11. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>12. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>13. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>14. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>15. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>16. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>17. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>18. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>19. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>20. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>21. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>22. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>23. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> <p>24. HORIZONTAL BOARD AND BATTEN. HARDPLANK SELECT CEDAR/BLK. C. 1/2\"/> </p></p></p></p></p></p></p></p></p></p></p></p></p></p></p></p></p></p></p>	<p>1. KEY PLAN</p> <p>17</p> <p>BUILDING NUMBER COLOR SCHEME: A</p>



ISSUE & REVISION RECORD

#	DATE	DESCRIPTION

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CONTINENTAL
 PROFOUND TREE

CONTINENTAL 410 FUND
 15134 NORTH EXECUTIVE PARKWAY
 MENOMONEE FALLS, WI 53052
 262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER: 173103
 ISSUE DATE: 07/19/17
 DRAWN BY CHECKED BY: JMM/MTL

DRAWING TITLE: **EXTERIOR ELEVATIONS BUILDING TYPE G24**

SHEET NUMBER: **17**

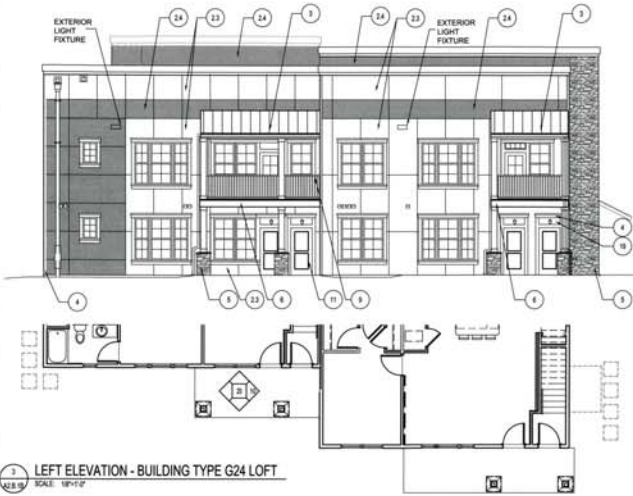
LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT NO. 15 SITE DEVELOPMENT PLAN

PROJECT NO. SDP17-0039

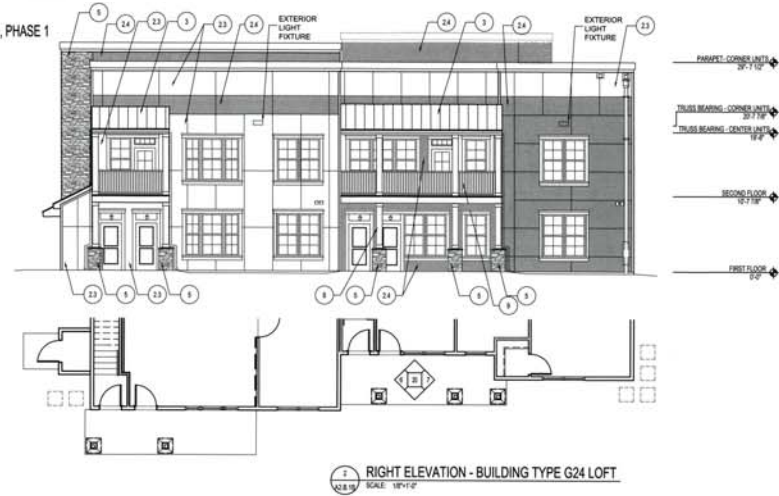
5901 PEACHTREE DUNWOODY RD.
 BUILDING A, SUITE 400
 ATLANTA, GEORGIA 30328
 PHILLIPS PARTNERSHIP, P.C.

LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

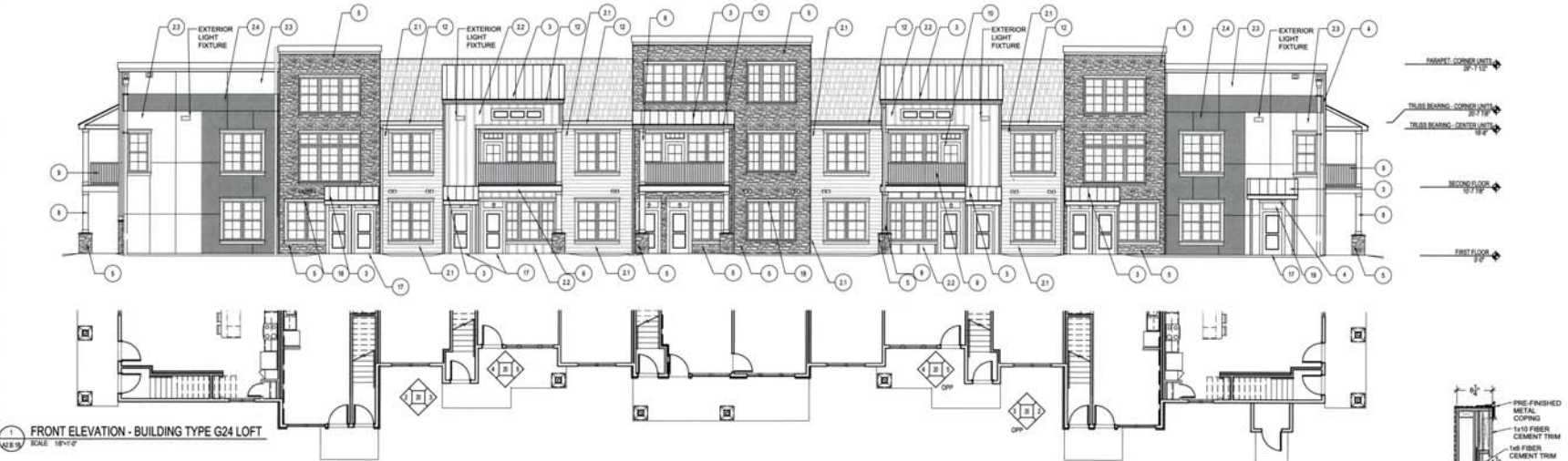
SITE DEVELOPMENT PLAN
 LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
 AMENDMENT NO. 15



1 LEFT ELEVATION - BUILDING TYPE G24 LOFT
 SCALE: 1/8"=1'-0"



2 RIGHT ELEVATION - BUILDING TYPE G24 LOFT
 SCALE: 1/8"=1'-0"



3 FRONT ELEVATION - BUILDING TYPE G24 LOFT
 SCALE: 1/8"=1'-0"



ISSUE & REVISION RECORD

#	DATE	DESCRIPTION

CLIENT

CONTINENTAL
 CONTINENTAL 410 FUND
 W134 N8575 EXECUTIVE PARKWAY
 MENAFOONEE FALLS, WI 53052
 262.502.5500 • FAX 262.502.5522

PHILLIPS JOB NUMBER: 1733103

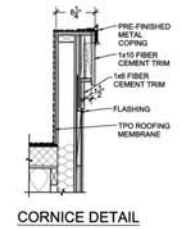
ISSUE DATE: 07/10/17

DRAWN BY/CHECKED BY: JMM/ATL

DRAWING TITLE: EXTERIOR ELEVATIONS BUILDING TYPE G24

SHEET NUMBER: 18

3001 PEACHTREE DUNWOODY RD
 BUILDING A, SUITE 400
 ATLANTA, GEORGIA 30328
 (404) 487-1111
 PHILLIPS.COM



CORNICE DETAIL

LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT NO. 15
 SITE DEVELOPMENT PLAN

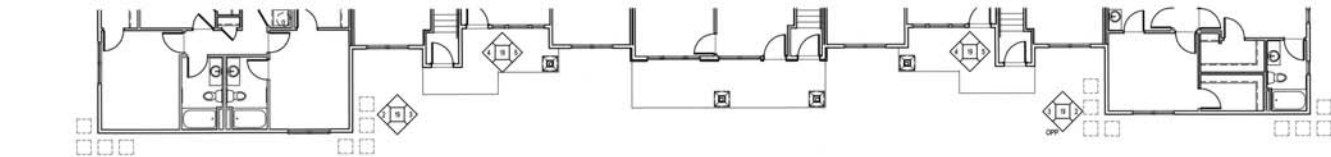
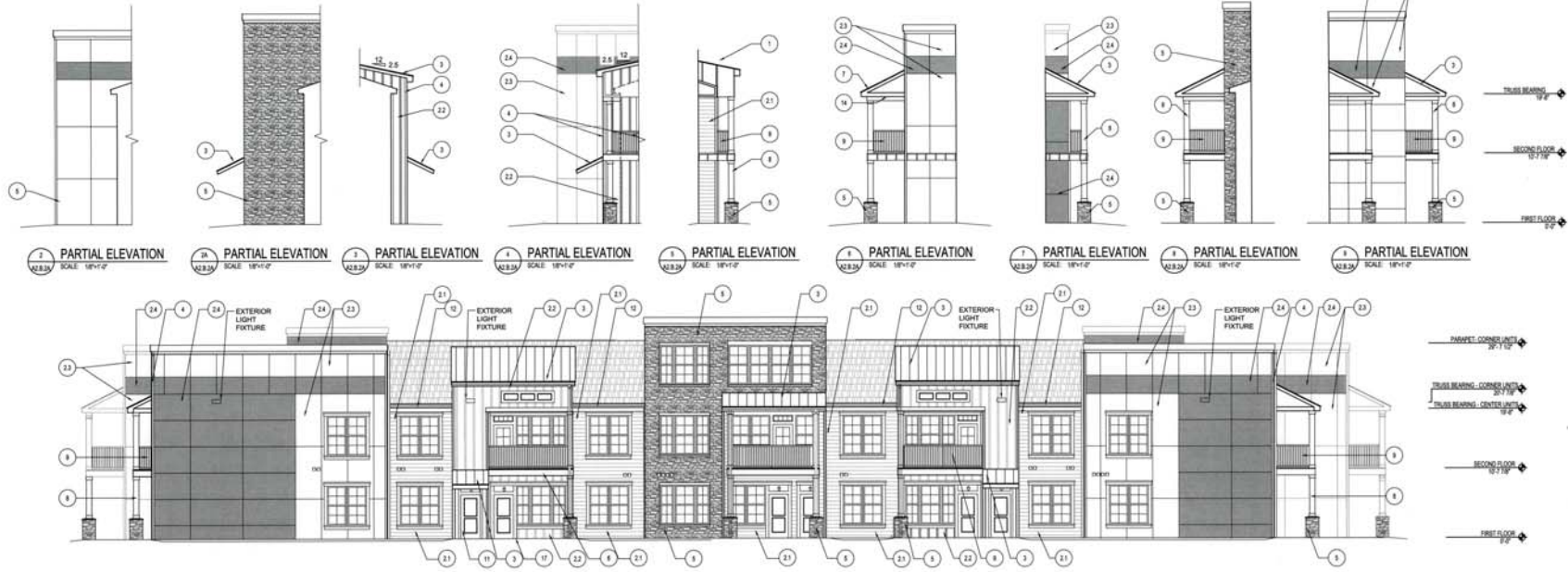
PROJECT NO. SDP17-0039

LEGEND	GENERAL NOTES:	KEYED NOTES: FINISH SCHEDULE B	KEY PLAN
<p>W WINDOW TYPE - SEE SHEET A6.01</p> <p>D DRYER/BATHROOM EXHAUST VENT - SEE SHEET A6.02 FOR DETAILS. COLOR TO MATCH ADJACENT MATERIAL</p> <p>V VENTED NOTES - SEE THIS SHEET FOR MORE INFORMATION</p>	<p>1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS</p> <p>2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION</p> <p>3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING</p> <p>4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERHANGING TO PROVIDE VENTILATION</p> <p>5. SEE GENERAL NOTES ON WALL SECTION SHEETS AND DETAIL SHEETS FOR MORE INFORMATION</p> <p>6. KEYED NOTES FOR FINISH COLOR ONLY. REFER TO BUILDING ASSEMBLIES ON A4-XI SHEETS FOR CONSTRUCTION METHODS</p>	<p>1. 30" RC CLASS B ARCHITECTURAL, GRADE SELF-BEARING ASPHALT SHINGLES, TANDY HERITAGE SERIES, COLOR WEATHERED WOOD ON 5/8" PLY ON 1" X 6" OSB ROOF SHEATHING W/ METAL NAILS ON TRUSSES AT 24" O.C. PROVIDE UP-LIFT CONNECTORS AT EACH END OF EACH TRUSS - (SEE STRUCTURAL)</p> <p>2. HORIZONTAL SIDING: HARDPLANK SELECT (SCHEDULE C), 8" X 26" W/ 7" EXPOSURE BRIND GRADING, INSTALLED W/ FLASHING & BUTT JOINTS PER MANUFACTURER RECOMMENDATIONS. COLOR: SW #143 'SABRETREE BEIGE'</p> <p>3. BOARD AND BATTEN: HARDPANEL (SMOOTH) W/ VERTICAL HARDTRIM BATTENS (SMOOTH) AT 1/2" OC. COORDINATE PANEL SEAMS WITH BATTEN LOCATIONS. COLOR: SW #174 'FOOTHILLS'</p> <p>4. HARDPANEL STUCCO W/ 1/2" SEALANT JOINTS. REFER TO ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW #143 'SABRETREE BEIGE'</p> <p>5. HARDPANEL STUCCO W/ 1/2" SEALANT JOINTS. REFER TO ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW #174 'FOOTHILLS'</p> <p>6. PAC CLAD STANDING SEAM ROOF SYSTEM PROFILE "SNAP CLAD" 24" GA ON 3/8" X 3/8" TILT OVER ROOF SHEATHING ON PRE-FINISHED WOOD TRUSSES WITH CEILING BATTEN TRIMS AND TRIM. SEE NOTE 13. COLOR: SW #146 'ALUMINUM' (PAVING) ALUMINUM COLOR)</p> <p>7. HARDTRIM (SMOOTH) AT FINISH: RAKE, WINDOWS, DOORS, AND CORNER BOARDS. COLOR: SW #146 'WOOL SHERA'. INSTALLED PER RECOMMENDATIONS. PRE-FINISHED METAL FLASHING WHERE REQUIRED.</p> <p>8. MANUFACTURED STONE VENEER: CORONADO, SERIES 'LEGGESTONE' QUICK STACK. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COLOR: 'CAPE COO GREY' (MORTAR) COLOR TO MATCH STONE. METAL STONE CAPS - STYLE: 'CHARLESTON'. FINISH LAMPORC FOR COLUMN BASES. METAL STONE LINTELS FOR WINDOW/CORNER STONE SILLS FOR EXTERIOR WALL.</p> <p>9. FIBER CEMENT FASCIA AT BALCONY EDGE. PRE-FINISHED COLOR: SW #146 'WOOL SHERA'.</p> <p>10. PRE-FINISHED METAL DRIP EDGE OVER SH46 FASCIA BOARD ROOFED IN ALUMINUM. COLOR TO MATCH GUTTER - MATRIC ALUMINUM.</p> <p>11. HARDPANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM - CLAD 24" GA ON 3/8" X 3/8" TILT OVER ROOF SHEATHING ON PRE-FINISHED WOOD TRUSSES WITH CEILING BATTEN TRIMS AND TRIM. SEE NOTE 13. COLOR: SW #146 'WOOL SHERA'. INSTALLED PER MFR. RECOMMENDATIONS.</p> <p>12. PATIO/SLIDING GLAZED - TOP 1/2" RAIL AT 42" AFF. STYLE AND MATERIAL TO BE SELECTED BY OWNER. COLOR: 'BLACK'.</p> <p>13. PRE-FINISHED INSULATED PATIO DOOR W/ GLASS LITES. SEE DOOR SCHEDULE.</p> <p>14. COLOR: SW #146 'WOOL SHERA'.</p> <p>15. PRE-FINISHED INSULATED DOOR. REFER TO DOOR SCHEDULE. COLOR: SW #174 'FOOT HILLS'</p> <p>16. MATRIC PRE-FINISHED ALUMINUM 1/2" GUTTER AND 1/2" DOWNPOUT. THE DOWNPOUT INTO STORM SYSTEM. STYLE: K. COLOR: 'ALUMINUM'</p> <p>17. ENTRY CEILING AT 3/8" CLEAR PARTERS TO BE EXPOSED AT UNDERSIDE. PAINT GRADE IN WOOD. PAINT IN VINYLWOOD AND PARTERS SW #146 'WOOL SHERA'. COORDINATE SEAMS WITH PARTERS. REF. DETAIL SH4.23.</p> <p>18. VENTED VINYL SOFFIT: CERTANTENED OR APP. EQ. STYLE: TRIPLE 3" X 10" INVISIBLE VINYL. COLOR: 'HERSINGROCK'</p> <p>19. METAL INSULATED OVERHEAD DOOR IN TRACK. WEATHER STRIPPING & AUTO OPENER ASSEMBLY. STYLE: 'COLONIAL'. GARAGE DOOR COLOR: SW #174 'FOOTHILLS'</p> <p>20. EXTERIOR DECORATIVE ENTRY DOOR LIGHT PROGRESS LIGHTING MODEL: #1891-3108</p> <p>21. ENTRY STOOPS AND PATIO: BROOKN FINISH CONCRETE.</p> <p>22. CORONADO STONE LINTEL - COLOR: SW #146 'WOOL SHERA'</p> <p>23. HARDPANEL - COLOR: SW #146 'WOOL SHERA'</p>	

BUILDING NUMBER: 2458
 COLOR SCHEME: B

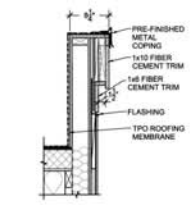
SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
AMENDMENT NO. 15

LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67
 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



9 REAR ELEVATION - BUILDING TYPE G24 LOFT
 SCALE: 1/8"=1'-0"

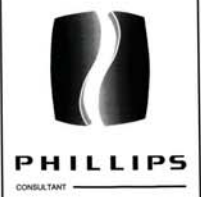
LEGEND	GENERAL NOTES:	KEYED NOTES: FINISH SCHEDULE A	KEY PLAN				
(XX) WINDOW TYPE - SEE SHEET A6.01	1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.	1. 30 YR CLASS ARCHITECTURAL GRADE SELF-SEALING ASPHALT SHINGLES. TANKED HERETAGE SERIES. COLOR WEATHERED WOOD ON 1/4" FELT ON THE JOB ROOF SHEATHING W/ METAL "V" CLIPS ON TRUSSES AT 24" O.C. PROVIDE UP/LIFT CONNECTORS AT EACH END OF EACH TRUSS - SEE STRUCTURAL.	<p align="right">BUILDING NUMBER COLOR SCHEME A</p> <table border="1"> <tr><td>1</td><td>7</td></tr> <tr><td>7</td><td>1</td></tr> </table>	1	7	7	1
1	7						
7	1						
(X) DYER/BATHROOM EXHAUST VENT - SEE SHEET A2.0 FOR DETAILS. COLOR TO MATCH ADJACENT MATERIAL.	2. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.	2. HORIZONTAL SING: HANDPLANK SELECT CLEARBELL, Ca. 827 W/ 7" EXPOSURE. (WOOD GRAIN). INSTALLED W/ FLASHING & BUTT JOINTS PER MANUFACTURER RECOMMENDATIONS. COLOR: SW 9096 ROYALCROFT BRONZE GREEN.					
(Y) KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION.	3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.	3. BOARD AND BATTEN. HANDPANEL (SMOOTH) W/ VERTICAL HANDPANEL BATTENS (SMOOTH) AT 16" OC. COORDINATE PANEL BEAMS W/ BATTEN LOCATIONS. COLOR: SW 9097 DORSET STONE.					
	4. MANTAIN OPENING IN ROOF SHEATHING AT OVERHANGING TO PROVIDE VENTILATION.	4. HANDTRIM (SMOOTH) AT FREEZE RAKE, WINDOWS, DOORS, AND CORNER BOARDS. COLOR: SW 9046 WOOL SHER. INSTALLED PER RECOMMENDATIONS. PRE-FINISHED METAL FLASHING WHERE REQUIRED.					
	5. SEE GENERAL NOTES ON WALL SECTION SHEETS AND DETAIL SHEETS FOR MORE INFORMATION.	5. MANUFACTURED STONE VENEER. CORONADO, SERIES 1300STONE QUICK TRAC. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COLOR: CAPE COO (DYE) - HORTON COLOR TO MATCH STONE. METALL STONE CAPS - STYLE: CHASELED STONE. FINISH LUMPOC FOR COLUMN BASES. METAL STONE LINTELS FOR WINDOWS/DOORS. STONE SILLS FOR EXTERIOR WALL.					
	6. KEYED NOTES FOR FINISH COLOR ONLY. REFER TO DETAIL ASSEMBLIES ON A3 XX SHEETS FOR CONSTRUCTION METHOD.	6. FIBER CEMENT FASCIA AT BALCONY EDGE. PRE-FINISHED COLOR: SW 9046 WOOL SHER.					
		7. PRE-FINISHED METAL DRIP EDGE OVER SILL FASCIA BANDS WRAPPED IN ALUMINUM TO MATCH BUTTLE. COLOR - METLIC ALUMINO.					
		8. HANDPANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM - COLUMN IN SQUARE CAP AND BASE OVER 1/4" TREATED POST. COLOR: SW 9046 WOOL SHER. INSTALLED PER MFR. RECOMMENDATIONS.					
		9. PATIO/CORALCORY GUARDRAIL - TOP OF RAIL AT 42" AFF. STYLE AND MATERIAL TO BE SELECTED BY OWNER. COLOR: BLACK.					
		10. PRE-FINISHED INSULATED PATIO DOOR W/ GLASS LITES. SEE DOOR SCHEDULE.					
		11. PRE-FINISHED INSULATED DOOR. REFER TO DOOR SCHEDULE. COLOR: SW 9096 ROYALCROFT BRONZE GREEN.					
		12. PRE-FINISHED ALUMINUM 1" GUTTER AND 2"X4" DOWNSPOUT. THE DOWNSPOUT INTO STORM SYSTEM STYLE A, COLOR: "ALUMINO".					
		13. ENTRY CEILING: AT 5/8" CEDAR BATTERS TO BE EXPOSED AT UNDERSIDE. PAINT GRADE PLYWOOD, PAINT PLYWOOD AND BATTERS SW 9046 WOOL SHER. COORDINATE BEAMS W/ SPINDLE. BE, 2X4S, 3X4S, 2X.					
		14. VENTED VINYL SOFFIT. CERTAINTED OR AFF. EQ. STYLE: TRIPLE 3' X 12' INSURGENT VINYL. COLOR: "HERNIMORNE".					
		15. METAL INSULATED OVERHEAD DOOR W/ TRUCK WEATHER STRAPPING & AUTO OPENS ASSEMBLY. STYLE: (COLOR): GARAGE DOOR COLOR: SW 9096 ROYALCROFT BRONZE GREEN.					
		16. EXTERIOR DECORATIVE ENTRY DOOR LIGHT PROGRESS LIGHTING MODEL #P181-3176.					
		17. ENTRY STOPS AND PATIO BROOM FINISH CONCRETE.					
		18. CORONADO STONE LINTEL. COLOR: SW 9046 WOOL SHER.					
		19. HANDPANEL - COLOR: SW 9046 WOOL SHER.					



CORNICE DETAIL

LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT NO. 15 SITE DEVELOPMENT PLAN

PROJECT NO. SDP17-0039



ISSUE & REVISION RECORD

#	DATE	DESCRIPTION

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CLIENT

CONTINENTAL
 INVESTMENT REAL ESTATE

CONTINENTAL 410 FUND
 W134 N8875 EXECUTIVE PARKWAY
 MENOMONIE FALLS, WI 53052
 262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER: 1733103
 ISSUE DATE: 07/19/17
 DRAWN BY/CHECKED BY: JMM/ATL
 DRAWING TITLE: EXTERIOR ELEVATIONS BUILDING TYPE G24

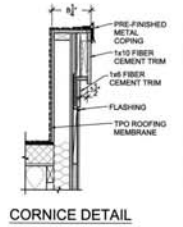
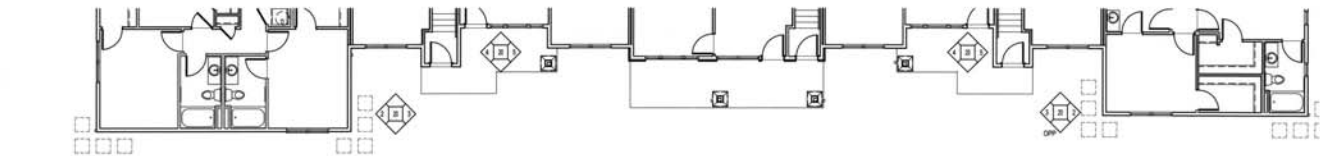
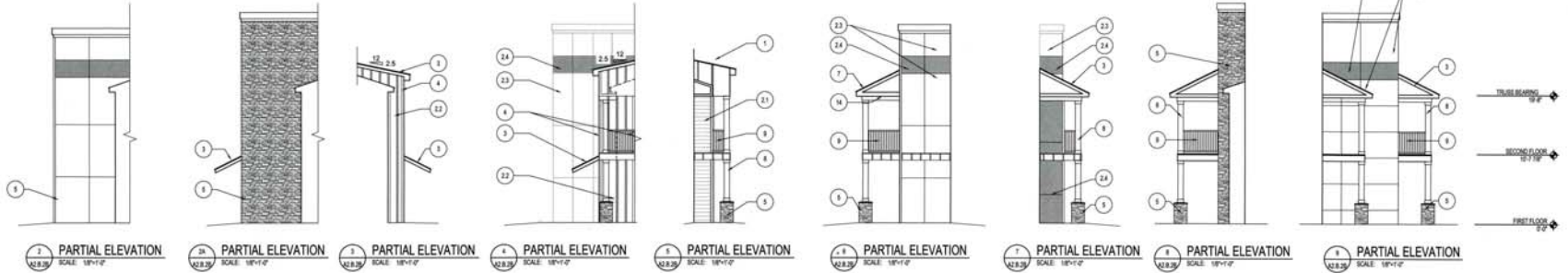
SHEET NUMBER

19

5801 PEACHTREE DUNWOODY RD
 BUILDING A, SUITE 400
 ATLANTA, GEORGIA 30328
 404.251.1414

SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
AMENDMENT NO. 15

LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67
 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP17-0039

BUILDING NUMBER	COLOR SCHEME
2	4
4	5
5	8
8	



PHILLIPS

CONSULTANT

SCALE

ISSUE & REVISION RECORD

#	DATE	DESCRIPTION

CLIENT

CONTINENTAL
 CONTINENTAL 410 FUND
 W134 N8675 EXECUTIVE PARKWAY
 MENOMONEE FALLS, WI 53052
 262.502.5500 • FAX 262.502.5522

PHILLIPS JOB NUMBER 173303

ISSUE DATE 03/10/17

DRAWN BY CHECKED BY JMM/ATL

DRAWING TITLE
EXTERIOR ELEVATIONS
BUILDING TYPE G24

SHEET NUMBER

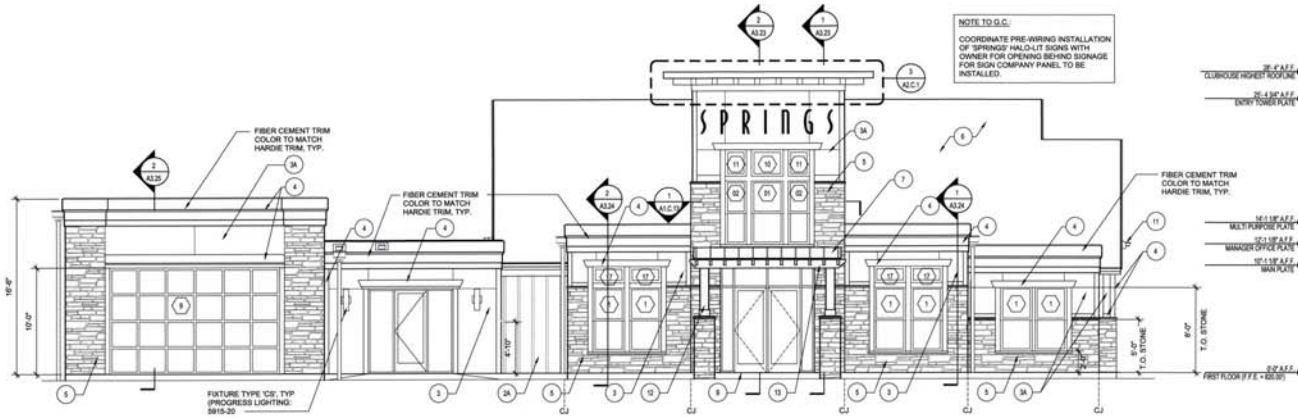
20

5891 PEACHTREE DUNWOODY RD.
 BUILDING A, SUITE 400
 ATLANTA, GEORGIA 30328

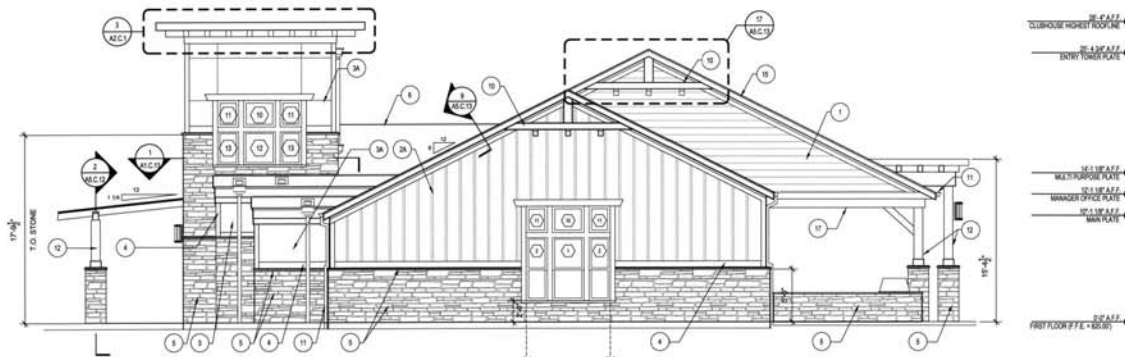
LEGEND	GENERAL NOTES:	KEYED NOTES: FINISH SCHEDULE B	KEY PLAN
(W) WINDOW TYPE - SEE SHEET A6.01	1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.	1. 3/8" CLASS B ARCHITECTURAL GRADE SELF-SEALING ASBEST/ FIBERGLASS TRIMMED HINGED SERIES. COLOR WEATHERED WOOD ON 1/4" FIBERGLASS TRIMMED CEILING. PROVIDE UP-LIFT CONNECTIONS AT EACH END OF EACH TRUSS. (SEE STRUCTURAL).	
(V) DRYER/BATHROOM EXHAUST VENT - SEE SHEET A2.01 FOR DETAILS. COLOR TO MATCH ADJACENT MATERIAL.	2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.	21. SIDING 1 - HORIZONTAL SIDING. HARDIPANEL SELECT CEDAR/IL. 2" X 4" EXPOSURE. (WOOD GRAIN). INSTALLED WITH FLASHING & BUTT JOINTS PER MANUFACTURER RECOMMENDATIONS. COLOR: SW #1143 "SANDY BEIGE".	
(Y) KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION.	3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.	22. SIDING 2 - BOARD AND BATTEN. HARDIPANEL (SMOOTH) WITH VERTICAL HANDTRIM BATTENS (SMOOTH) AT 16" OC. COORDINATE PANEL SEAMS WITH BATTEN LOCATIONS. COLOR: SW #1114 "FOOTBILLE".	
	4. MAINTAIN OPENING & ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.	23. SIDING 3 - HARDIPANEL STUCCO WITH 1/2" SEALANT JOINTS. REFER TO ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW #1114 "FOOTBILLE".	
	5. SEE GENERAL NOTES ON WALL SECTION SHEETS AND DETAIL SHEETS FOR MORE INFORMATION.	24. SIDING 4 - HARDIPANEL STUCCO WITH 1/2" SEALANT JOINTS. REFER TO ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW #1114 "FOOTBILLE".	
	6. KEYED NOTES FOR FINISH COLOR ONLY. REFER TO BUILDING ASSEMBLIES ON A4.01 OR SHEETS FOR CONSTRUCTION METHOD.	25. FINISH 1 - FABRICATED STONE VENEER. CORDONADO. SERIES: LEDGESTONE QUICK STACK. INSTALL PER MANUFACTURER RECOMMENDATIONS. COLOR: WHITE GRAY DRY. MORTAR COLOR TO MATCH STONE. INSTALL STONE CAPS - STYLE: CHISELED STONE. FINISH COMPO FOR COLUMN BASES. INSTALL STONE LINTELS FOR WINDOW DOORS. STONE SILLS FOR EXTERIOR WALL.	
		26. FINISH 2 - FIBER CEMENT FACIA AT BALCONY EDGE. PRE-FINISHED COLOR: SW #1144 "WOODS".	
		27. PRE-FINISHED METAL DRIP EDGE OVER SH4 FASCIA BOARD WRAPPED IN ALUMINUM. COLOR TO MATCH GUTTER - ANTIK/BLACK.	
		28. HARDIPANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM. COLUMN WRAP SQUARE CAP AND BASE OVER 1/4" TREATED POST. COLOR: SW #1148 "WOOD SINK". INSTALLED PER MFR. RECOMMENDATIONS.	
		29. NATURAL BALCONY GUARDRAIL - TOP OF RAIL AT 42" AFF. STYLE AND MATERIAL TO BE SELECTED BY OWNER. COLOR: BLACK.	
		30. PRE-FINISHED INSULATED PATIO DOOR WITH GLASS LITELS. SEE DOOR SCHEDULE. COLOR: SW #1144 "WOODS".	
		31. PRE-FINISHED INSULATED DOOR - REFER TO DOOR SCHEDULE. COLOR: SW #1114 "FOOT HILLS".	
		32. ANTIK PRE-FINISHED ALUMINUM 1" GUTTER AND 3/4" DOWNPOUT. THE DOWNPOUT INTO STORM SYSTEM. STYLE: K. COLOR: ALUMINO.	
		33. ENTRY CEILING AT 8'8" CEDAR RAFTERS TO BE EXPOSED AT UNDERSIDE. PAINT GRADE PLYWOOD. PAINT PLYWOOD AND RAFTERS. SW #1144 "WOOD SINK". COORDINATE BEAMS WITH RAFTERS. RE DETAIL S46.23.	
		34. VENTED VINYL SOFFIT. CERTAINTED OR MFR. EQ.) STYLE TRIM 3" X 1/4" ANCHORED TRIM. COLOR: WHITE/PORCELINE.	
		35. METAL INSULATED OVERHEAD DOOR WITH TRACK WEATHER STRIPPING & AUTO OPENER ASSEMBLY. STYLE: 'COLONIAL'. GARAGE DOOR COLOR: SW #1114 "FOOTBILLE".	
		36. EXTERIOR DECORATIVE ENTRY DOOR LIGHT PROGRESS LIGHTING MODEL #P881-3788.	
		37. ENTRY STOOPS AND PATIO BROOM FINISH CONCRETE.	
		38. CORDONADO STONE LINTLS - COLOR: SW #1148 "WOOD SINK".	
		39. HARDIPANELS - COLOR: SW #1148 "WOOD SINK".	

SITE DEVELOPMENT PLAN
 LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
 AMENDMENT NO. 15

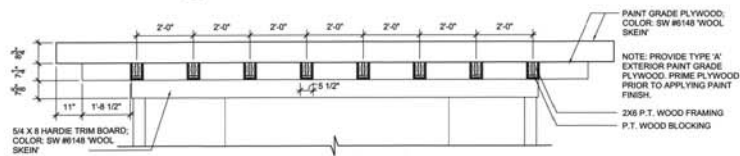
LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67
 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



1 FRONT ELEVATION - CLUBHOUSE
 SCALE: 3/8"=1'-0"



2 RIGHT ELEVATION - CLUBHOUSE
 SCALE: 3/8"=1'-0"



3 ENLARGED ELEVATION DETAIL - CLUBHOUSE TOWER
 SCALE: 3/8"=1'-0"

LEGEND	
(W)	WINDOW TAG - SEE SHEET A6.C.1
(K)	KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION
GENERAL NOTES	
1.	PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.
2.	REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.
3.	PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.
4.	MAINTAIN OPENING IN ROOF SHEATHING AT OVERHANGING TO PROVIDE VENTILATION.
5.	SEE GENERAL NOTES AND DETAILS FOR MORE INFORMATION.
6.	PROVIDE FIBER CEMENT FASH BEHIND ALL BRACKETS, ELECTRICAL DEVICES, FIXTURES, ETC. PAINT TYP.
KEYED NOTES	
1	BOARD 1A: HORIZONTAL BOARD: HARDE PLANK SELECT CEDAR/MIL FIBER CEMENT LAP BOARD, 8.25" W" EXPOSURE, INSTALLED PER MANUFACTURER RECOMMENDATIONS. COLOR: SW 304 'ROYALCROFT' BRONZE GREEN.
1A	BOARD 1A: HORIZONTAL BOARD: HARDE PLANK SELECT CEDAR/MIL FIBER CEMENT LAP BOARD, 8.25" W" EXPOSURE, INSTALLED PER MANUFACTURER RECOMMENDATIONS. COLOR: SW 261 'DOWNING STONE'.
2	BOARD 2: BOARD AND BATTEN: HARDE PANEL (SMOOTH) FIBER CEMENT W/ VERTICAL HARDE TRIM (30 BATTENS) (SMOOTH) AT 16" O.C. INSTALLED PER MANUFACTURER RECOMMENDATIONS. COLOR: SW 304 'ROYALCROFT' BRONZE GREEN.
2H	BOARD 2H: BOARD AND BATTEN: HARDE PANEL (SMOOTH) FIBER CEMENT W/ VERTICAL HARDE TRIM (30 BATTENS) (SMOOTH) AT 16" O.C. INSTALLED PER MANUFACTURER RECOMMENDATIONS. COLOR: SW 261 'DOWNING STONE'.
3	BOARD 3: HARDPANEL 'STUCCO' W/ 1/4" CLIPS AT SEAMS. SEE ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW 304 'ROYALCROFT' BRONZE GREEN.
3A	BOARD 3A: HARDPANEL 'STUCCO' W/ 1/4" CLIPS AT SEAMS. SEE ELEVATIONS FOR SEAM LOCATIONS. SW 261 'DOWNING STONE'.
4	HARDE TRIM CEDAR BOARDS - AT FREEZE, RAKE, WINDOWS, DOORS, AND CORNER DETAILS. COLOR: SW #148 'WOOL SKEN' INSTALLED PER MANUFACTURER RECOMMENDATIONS. PRE-FINISHED METAL FLASHING (SHRINE REQUIRED).
5	CORNDOWN: LEDGESTONE QUICK TRACK SERIES TRIM (ENGER STONE 'CAPE COO GREY' OR APPROVED EQUAL. INSTALL PER MANUFACTURER RECOMMENDATIONS. SUBMIT SAMPLE TO OWNER. MORTAR COLOR TO MATCH STONE. STONE CAP BETWEEN STONE TO BOARD LOCATIONS. COLOR: LOWPOC, STYLE: CHISELED STONE).
6	30 MIL CLASS B ARCHITECTURAL GRADE SELF-SEALING ASPHALT/SHRINKS, TANG-VENTURE SERIES, COLOR: WEATHERED WOOD ON 15P FELT OR 17P OVER ROOF SHEATHING W/ METAL 'Y' CLIPS ON TRUSSES AT 24" O.C. PROVIDE LIFT CONNECTORS AT EACH END OF EACH TRUSS - REFER TO STRUCTURAL.
7	STANDING SEAM ROOF SYSTEM PROFILE 'SNAP CLAP' 23 GA ON 3/8" FELD OVER ROOF SHEATHING ON CEDAR WATERS AND TRIM REFER TO STRUCTURAL, REFER TO NOTE 13, COLOR: 'VALUWAVE'.
8	DECORATIVE STAMPED CONCRETE APPLIED TO PATIO AND ADJACENT POOL DECK - OWNER TO APPROVE COLOR AND PATTERN PRIOR TO INSTALLATION.
9	ENTRY STOPS AND PATIO BRIM FINISH CONCRETE - SEALED.
10	HARDE PANEL (SMOOTH) CLAD WRAP CONCRETE SUPPORT. COLOR: SW #148 'WOOL SKEN'.
11	MASTIC FINISHED ALUMINUM F/ GUTTER STYLE 'A' AND 7/8" DOWNSPOUT. PROVIDE DOWNSPOUT AND SPASH GUARDS AT CORNERS AND VALLEYS. DOWNSPOUTS TO CONNECT INTO SEWER SYSTEM. COLOR: PAINTING.
12	HARDE PANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM. COLUMN W/ SQUARE CAP AND BASE OVER 6M TREATED POST OR STEEL TUBE. COLOR: COLOR: SW #148 'WOOL SKEN' INSTALLED PER MFR RECOMMENDATIONS.
13	CEDAR RAFTER TAILS AND TRIM - PAINT COLOR: SW #148 'WOOL SKEN'. ENTRY CEILING AT CEDAR RAFTERS TO BE GORDED PAINT GRADE TYPE 'A' PLYWOOD, PAINTED TO MATCH CEDAR RAFTERS. COORDINATE SEAMS WITH RAFTERS.
14	AREA FOR MOUNTING OF UTILITY EQUIPMENT: COLOR TO MATCH ADJACENT MATERIAL. COORDINATE ELECTRICAL, TELEPHONE, AND CABLE BOX LOCATIONS ON BUILDING IN FIELD W/ UTILITY LOCATIONS. REFER TO MOUNTING DETAILS ON SHEET A6.C.15.
15	PRE-FINISHED METAL DRIP EDGE OVER 500S FIBER CEMENT FACIA BOARD WITH PREPRESSED METAL TRIM OVER 288 SUB FACIA. COLOR TO MATCH GUTTER.
16	METAL INSULATED DOOR. COLOR: SW 261 'DOWNING STONE'. REFER TO DOOR SCHEDULE - A6.C.17.
17	VENTED VINYL SOFFIT: CERTICATED (OR APP. EQ.) STYLE: TRIPLE 3-1/2" W/ VENT 'VINL. COLOR: 'VERMIGRONE'.
18	CORNDOWN: STONE LITEL 1 1/2" X 1/2" MORTAR COLOR TO MATCH STONE. INSTALL PER MANUFACTURER RECOMMENDATIONS. SUBMIT SAMPLE TO OWNER.

LOT 1A, BLOCK 10, THE
 MEADOWS FILING NO. 20,
 PHASE 1, AMENDMENT NO. 15
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP17-0039



SEAL _____

ISSUE & REVISION RECORD

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CLIENT _____

CONTINENTAL
 PROJECTS
 CONTINENTAL 410 FUND
 W134 N8075 EXECUTIVE PARKWAY
 MENOMONEE FALLS, WI 53052
 262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER 173103

ISSUE DATE 07/19/17

DRAWN BY/CHECKED BY JMM/DWH/ATL

DRAWING TITLE

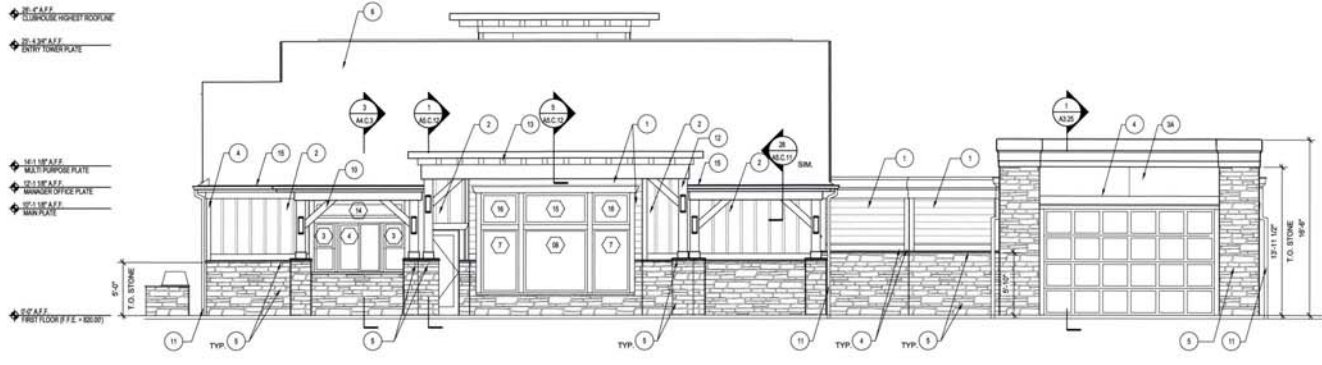
EXTERIOR ELEVATIONS
 CLUBHOUSE

SHEET NUMBER

21

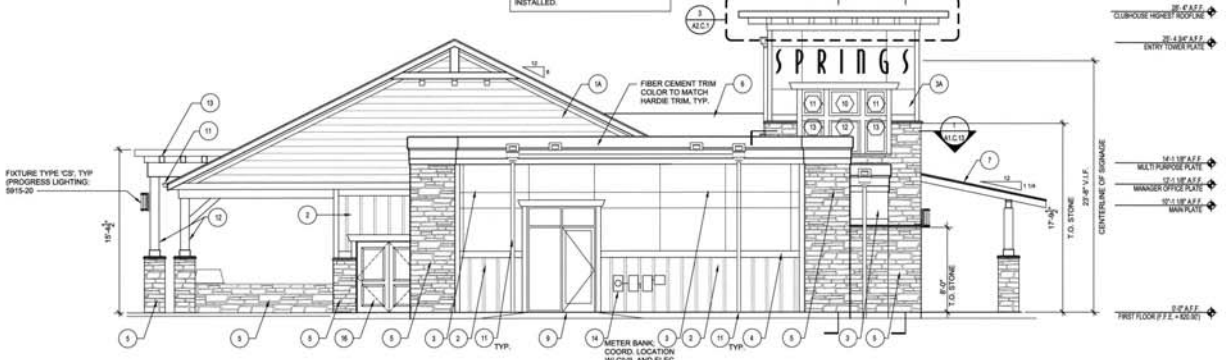
5001 REACHTREE DUNWOODY RD
 BUILDING A, SUITE 100
 ATLANTA, GEORGIA 30328
 PH: 404.270.1000 FAX: 404.270.1001

SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
AMENDMENT NO. 15
 LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67

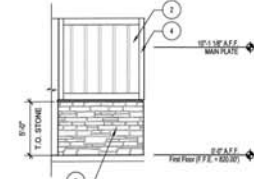


1 REAR ELEVATION - CLUBHOUSE
 SCALE: 3/8"=1'-0"

NOTE TO O.C.:
 COORDINATE PRE-WIRING INSTALLATION OF SPRINKLER HALOULIT SIGNS WITH OWNER FOR OPENING BEHIND SIGNAGE FOR SIGN COMPANY PANEL TO BE INSTALLED.



2 LEFT ELEVATION - CLUBHOUSE
 SCALE: 3/8"=1'-0"



3 SIDE WALL ELEVATION - CLUBHOUSE
 SCALE: 3/8"=1'-0"

LEGEND	
ⓧ	WINDOW TAG - SEE SHEET AC-C11
Ⓧ	KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION
GENERAL NOTES	
1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.	
2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS.	
3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.	
4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.	
5. SEE GENERAL NOTES AND DETAILS FOR MORE INFORMATION.	
6. PROVIDE FIBER CEMENT PADS BEHIND ALL BRACKETS, ELECTRICAL DEVICES, FIXTURES, ETC. PAINT: TYP.	
KEYED NOTES	
1	BONGIO 1A HORIZONTAL BOND: HANDE PLANK SELECT CEDAR/MILL FIBER CEMENT LAP BOND, 8.25" W" EXPOSURE, INSTALLED PER MANUFACTURER RECOMMENDATIONS. COLOR: SW 204 ROYACROFT BRONZE GREEN.
1A	BONGIO 1A HORIZONTAL BOND: HANDE PLANK SELECT CEDAR/MILL FIBER CEMENT LAP BOND, 8.25" W" EXPOSURE, INSTALLED PER MANUFACTURER RECOMMENDATIONS. COLOR: SW 201 DOWNING STONE.
2	BONGIO 2: BOARD AND BATTEN: HANDE PANEL (SMOOTH) FIBER CEMENT IN VERTICAL HANDE TRIM TO BATTENS (SMOOTH) AT 10" O.C., INSTALLED PER MANUFACTURER RECOMMENDATIONS. COLOR: SW 204 ROYACROFT BRONZE GREEN.
2A	BONGIO 2A: BOARD AND BATTEN: HANDE PANEL (SMOOTH) FIBER CEMENT IN VERTICAL HANDE TRIM TO BATTENS (SMOOTH) AT 10" O.C., INSTALLED PER MANUFACTURER RECOMMENDATIONS. COLOR: SW 201 DOWNING STONE.
3	BONGIO 3: HANDE PANEL, 15"X100" #10 CLIPS AT SEAMS. SEE ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW 204 ROYACROFT BRONZE GREEN.
3A	BONGIO 3A: HANDE PANEL, 15"X100" #10 CLIPS AT SEAMS. SEE ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW 201 DOWNING STONE.
4	HANDE TRIM CEDAR BOARDS - AT FREEZE, WALK, WINDOWS, DOORS AND CORNER DETAILS. COLOR: SW 214 WOOL SKIN. INSTALLED PER MANUFACTURER RECOMMENDATIONS. PRE-FINISHED METAL FLASHING WHERE REQUIRED.
5	CORONADO LIDGESTONE QUICK STACK SERIES THIN VENEER STONE (OFF COOL GREY) OR APPROVED EQUAL. INSTALL PER MANUFACTURER RECOMMENDATIONS. SUBMIT SAMPLE TO OWNER. MORTAR COLOR TO MATCH STONE. STONE CAP BETWEEN STONE TO BOND LOCATIONS COLOR: LOWPOC, STYLE: CHISELED STONE.
6	31 YR CLASS B ARCHITECTURAL GRADE SELF-SEALING ASPHALT SHINGLES, TAMKO HERITAGE SERIES, COLOR WEATHERED WOOD ON 1/8" FELT ON 1/2" OVER ROOF SHEATHING IN METAL W/ CLIPS OR TRUSSERS AT 24" O.C. PROVIDE LIFTUP CONNECTORS AT EACH END OF EACH TRUSS OR STRUCTURAL RAIL.
7	STANDING SEAM ROOF SYSTEM PROFILE "SNAP CLAD" 20-GA ON 26" FELT OVER ROOF SHEATHING ON CEDAR RAFTERS AND TRIM (REFER TO STRUCTURAL REFER TO NOTE 1A COLOR: GALVALUME).
8	DECORATIVE STAMPED CONCRETE APPLIC TO PATIO AND ADJACENT POOL DECK. OWNER TO APPROVE COLOR AND PATTERN PRIOR TO INSTALLATION.
9	ENTRY STOOPS AND PATIO BROOM FINISH CONCRETE - SEALED.
10	HANDE PANEL (SMOOTH) CLAD WRAP DECORATIVE SUPPORT. COLOR: SW 214 WOOL SKIN.
11	MASTIC PRE-FINISHED ALUMINUM 6" GUTTER STYLE/L AND 7/4" DOWNSPOUT. PROVIDE DIVERTERS AND SPLASH GUARDS AT CORNERS AND VALLES. DOWNSPOUTS TO CONNECT INTO SEWER SYSTEM. COLOR: ALMOND.
12	HANDE PANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM. COLUMN WRAP SQUARE CAP AND BASE OVER 1/8" TREATED POST OR STEEL TUBE. COLOR: COLOR: SW 214 WOOL SKIN. INSTALLED PER MFR RECOMMENDATIONS.
13	CEDAR RAFTER TAILS AND TRIM - PAINT COLOR: SW 214 WOOL SKIN. ENTRY CEILING AT CEDAR RAFTERS TO BE EXPOSED PAINT GRADE TYPE B PLYWOOD, PAINTED TO MATCH CEDAR RAFTERS. COORDINATE SEAMS WITH RAFTERS.
14	AREA FOR MOUNTING OF UTILITY EQUIPMENT. COLOR TO MATCH ADJACENT MATERIAL. COORDINATE ELECTRICAL, TELEPHONE, AND CABLE BOX LOCATIONS ON BUILDING FLOOR PLAN. CITY LOCATIONS REFER TO MOUNTING DETAILS ON SHEET AC-C13.
15	PRE-FINISHED METAL DRIP EDGE OVER SAKA FIBER CEMENT FACIA BOARDS WITH PRE-FINISHED METAL TRIM OVER DRIP SUB-FACIA. COLOR TO MATCH GUTTER.
16	METAL INSULATED DOOR, COLOR: SW 201 DOWNING STONE. REFER TO DOOR SCHEDULE - AC-C15.
17	VENTED VINYL SUFFIT. CEILING/BEAMS OR RFR. 621 STYLE: TRIPLE 3-1/2" INVENTED VINYL. COLOR: HERRINGBONE.
18	CORONADO STONE Lintel 8 x 2 1/4" MORTAR COLOR TO MATCH STONE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBMIT SAMPLE TO OWNER.

LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT NO. 15 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP17-0039



PHILLIPS
 CONSULTANT

ISSUE & REVISION RECORD

#	DATE	DESCRIPTION

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CLIENT: **CONTINENTAL**
 CONTINENTAL 410 FUND
 11514 N8075 EXECUTIVE PARKWAY
 MENAOMEE FALLS, WI 53062
 262.502.5500 • FAX 262.502.5522

PHILLIPS JOB NUMBER: _____
 ISSUE DATE: 1/23/10
 DRAWN BY/CHECKED BY: 6719/17
 DRAWING TITLE: JMM/DVH/ATL

EXTERIOR ELEVATIONS CLUBHOUSE
 SHEET NUMBER **22**

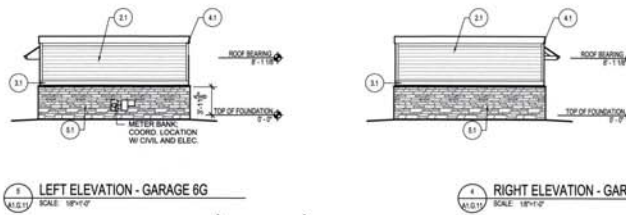
5801 PEACHTREE DUNWOODY RD.
 BUILDING A, SUITE 450
 ATLANTA, GEORGIA 30320
 PHILLIPS PARTNERS, PC

LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67
WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
AMENDMENT NO. 15

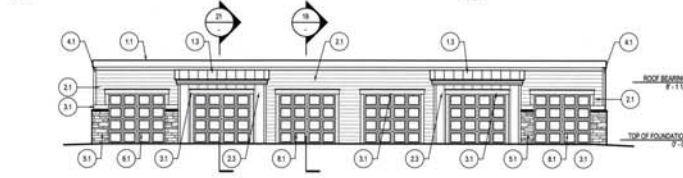


4 REAR ELEVATION - GARAGE GG
SCALE: 1/8"=1'-0"

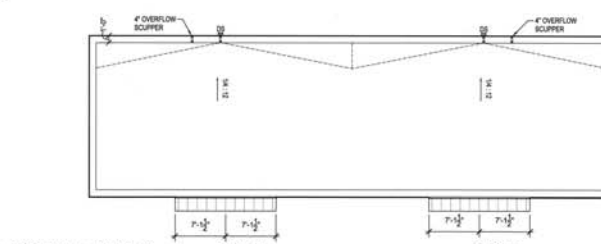


2 LEFT ELEVATION - GARAGE GG
SCALE: 1/8"=1'-0"

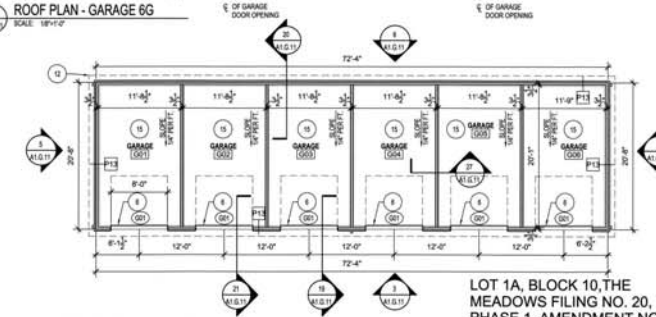
4 RIGHT ELEVATION - GARAGE GG
SCALE: 1/8"=1'-0"



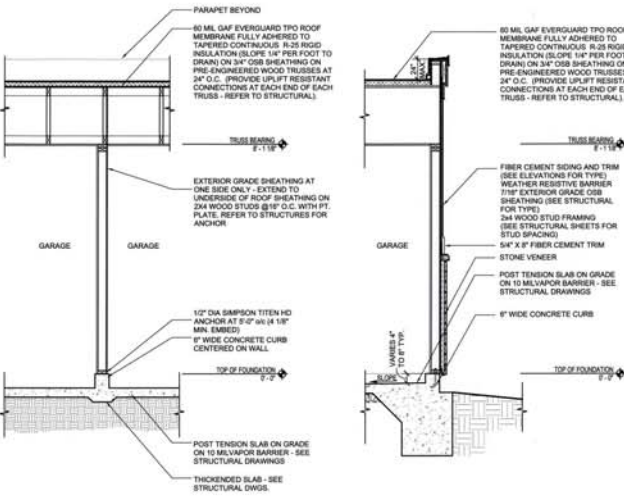
3 FRONT ELEVATION - GARAGE GG
SCALE: 1/8"=1'-0"



5 ROOF PLAN - GARAGE GG
SCALE: 1/8"=1'-0"

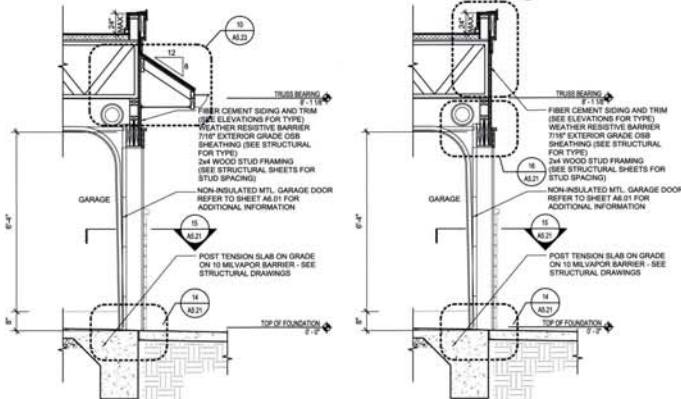


1 FIRST FLOOR PLAN - GARAGE GG
SCALE: 1/8"=1'-0"



27 WALL SECTION - GARAGE DEMISING WALL
SCALE: 1/2"=1'-0"

28 WALL SECTION - AT REAR WALL
SCALE: 1/2"=1'-0"



29 WALL SECTION - EAVE AT OVERHEAD DOOR
SCALE: 1/2"=1'-0"

28 WALL SECTION - AT GARAGE DOOR
SCALE: 1/2"=1'-0"

LEGEND

- FE FIRE EXTINGUISHER BRACKET
- CI DOWNSPOUT ASSEMBLY
- HE HOSE BIB
- ELEVATION KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION

GENERAL NOTES

1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.
2. REFER TO FLOOR PLANS AND SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.
3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.
4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.
5. SEE GENERAL NOTES ON WALL SECTION SHEETS AND DETAIL SHEETS FOR MORE INFORMATION.

ELEVATION KEYED NOTES

1. 88 MI. GAF EVERGLARD TPO ROOF MEMBRANE FULLY ADHERED TO TAPERED CONTINUOUS R-28 ROOF INSULATION (SLOPE 1/4" PER FOOT TO DRAIN) ON 3/4" OSB SHEATHING ON PRE-ENGINEERED WOOD TRUSSES AT 24" O.C. (PROVIDE UPLIFT RESISTANT CONNECTIONS AT EACH END OF EACH TRUSS - REFER TO STRUCTURAL).
2. STANDING SEAM ROOF SYSTEM PROFILE "TEMP CLAD" Z-GIA ON 2X6 FELLT OVER ROOF SHEATHING ON CEDAR BATTENS AND TRUSS TOES TO STRUCTURAL. COLOR: "SALVAMINE".
3. BOARD 1x4 HORIZONTAL SIDDING: HANDPLAN SELECT CEDAR/MILL C. 1/2" x 2" EXPOSURE WOOD GRAIN. INSTALLED IN FLUSHING @ BUTT JOINTS PER MANUFACTURER'S RECOMMENDATIONS. SW ASBESTOS-FREE. COLOR: "DOWNING STONE".
4. NOT USED.
5. BOARD 2x BOARD AND BATTEN: HANDPLAN (SMOOTH) W/ VERTICAL 1/32" HANDTRIM BATTENS (SMOOTH) AT 12" O.C. COORDINATE PANEL EDGES WITH BATTEN LOCATIONS. COLOR: SW 6066 "ROCHOFT BRONZE GREEN".
6. HANDTRIM (SMOOTH) AT FREEZE, RAISE, WINDOWS, DOORS, AND CORNER DETAILS. W/ FINISHED METAL FLASHING WHERE REQUIRED. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. COLOR: SW 6048 "WOOL SEW".
7. PRE-FINISHED METAL DRIP EDGE OVER 2x4 FACIA BOARD WRAPPED IN ALUMINUM COLOR TO MATCH OUTER.
8. CORONADO STONE: LEONESTONE QUICK STACKS STONE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. INSTALL PRECAST STONE CAPES FOR COLUMN BASES. STONE BULLS FOR OTHER WALLS. COLOR: CAME COPE GREY. MORTAR COLOR TO MATCH STONE.
9. VENTED VINYL SOFFIT: CERTAINTECD CR APP EG STYLE TRIPLE 3x10" INVENTIV VINYL. COLOR: "HEIRERBONKE".
10. NOT USED.
11. NON-INSULATED METAL OVERHEAD DOOR TRACK. DOOR IS INSULATED AT MAINTENANCE AREA. WEATHER STRIPPING & AUTO-CLOSER PANEL. STYLE: CARRIAGE HOUSE. GARAGE DOOR COLOR: SW 6066 "ROCHOFT BRONZE GREEN". PROVIDE INSULATED OVERHEAD DOOR AT MAINTENANCE AREA ONLY.
12. MATIC PRE-FINISHED ALUMINUM 6" UTTER AND 7 1/2" DOWNSPOUT. THE DOWNSPOUT INTO STONE SYSTEM. STYLE & COLOR: "ALUMINO".

PLAN KEYED NOTES

1. CAR CARE VACUUM HOSES BY J.E. ADAMS INDUSTRIES.
2. NOT USED.
3. PROVIDE HOT WATER HEATER IN WALL MOUNTED SUPPORT BRACKET AND SHELF ASSEMBLY. PROVIDE PLYWOOD BLOODING IN WALL.
4. PROVIDE PLUMBING ROUGH-IN AND INSTALL TOILET. GC TO SUPPLY SINK AND MIRROR. PER OWNER SPECIFICATIONS. EXACT LOCATIONS TO BE COORDINATED IN FIELD.
5. PROVIDE MOP SINK W/ SHELF AND MOP HOODS.
6. SLOPE SLAB EDGE 1/2" AT GARAGE DOOR.
7. SWIVEL RACK BY OWNER FOR PRESSURE WASHER.
8. SEWER INLET W/ SAND/SOL. SEPARATOR. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
9. 3/4" HOSE BIB - REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
10. PRESSURE CLEANER: PROVIDE WATER CONNECTION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
11. GOLF CART CHARGING STATION. COORDINATE LOCATION IN FIELD - SURMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.
12. DASHED LINE INDICATES ROOF OVERHANG.
13. 2X6" INSULATED ATTIC ACCESS PANEL WITH LOCK. COORDINATE LOCATION IN FIELD.
14. CONCRETE STOOP W/ BROOK FINISH. SEALED.
15. POST TENSION SLAB: PROVIDE CONTROL JOINTS AS REQUIRED. SEAL OR STAIN FINISH AS SELECTED BY OWNER.
16. HANDPLAN (SMOOTH) CLAD COLUMN WRAP AND TRIM. COLUMN IN SQUARE CAP AND BASE OVER 88" BE TREATED POST. COLOR: PIG PAINT "PISTON" STONES "THROW". INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
17. FAC-CLAD STANDING METAL SEAM ROOF. REFER TO STRUCTURAL. COLOR: "SALVAMINE".
18. PRE-FINISHED 6" ALUMINUM UTTER W/ 7 1/2" DOWNSPOUT. PROVIDE DIVERTERS AND 3/4" INCH GUMMED AT CORNERS AND WALLS.
19. PROVIDE 2x1 - 1 3/4" x 1 1/4" LVL HEADER. CLAD W/ FIBER CEMENT TRIM.
20. PRE-FINISHED CONTINUOUS PERFORATED VINYL SOFFIT NENT AROUND PERIMETER OF ROOF.
21. RIDGE VENTS: STYLE/COLOR AS SELECTED BY OWNER. COLOR TO MATCH HEATHERED WOOD.
22. GANTRY METAL STRUCTURE. REFER TO STRUCTURAL. DN/SR POWDER COATED TO MATCH COLOR. PIG 4 588/8 "STONE'S THROW".
23. TOILET ROOM WALLS: 2x4 WOOD STUD FRAMING AT 16" O.C. WITH MOISTURE RESISTANT GYPSUM BOARD ON TOILET ROOM SIDE OF WALL AND OSB SHEATHING ON MAINTENANCE AREA SIDE OF WALL. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT TOILET ROOM CLG IN LEVEL OF OSB SHEATHING.
24. PET GROUNING STATION - GROUNDERS BEST 4" ANVA. THRU TUB W/ FILL OUT FIBER TUB DRAIN TO BUILDING SANITARY SYSTEM.
25. COORDINATE GMP LOCATIONS W/ HOSE BIB LOCATIONS.
26. MIRROR ABOVE SINK.

LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT NO. 15 SITE DEVELOPMENT PLAN
PROJECT NO. SDP17-0039



PHILLIPS
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SCALE

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PROJECT

CLIENT

CONTINENTAL
INDUSTRIES, L.P.
CONTINENTAL 410 FUND
W134 NB675 EXECUTIVE PARKWAY
MENDOTA, WI 53502
262.502.8500 • FAX 262.502.5522

PHILLIPS JOB NUMBER

1733103

ISSUE DATE

07/19/17

DRAWN BY/CHECKED BY

JMM/ATL

DRAWING TITLE

6G GARAGE BUILDING PLANS, ELEVATIONS, AND SECTIONS

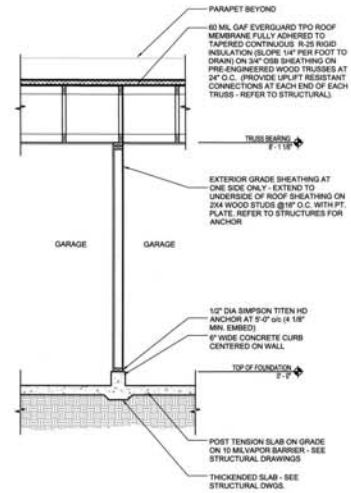
SHEET NUMBER

23

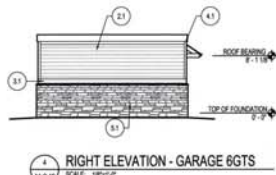
5901 PEACHTREE DUNWOODY RD
BUILDING A, SUITE 400
ATLANTA, GEORGIA 30328

**SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
AMENDMENT NO. 15**

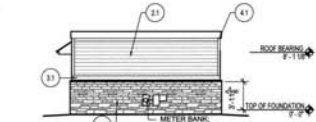
LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67
WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



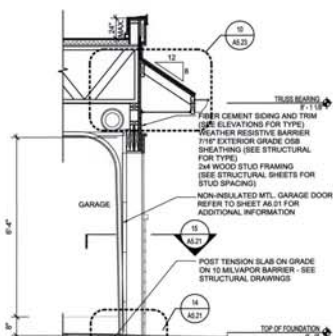
27 WALL SECTION - GARAGE DEMISING WALL
SCALE: 1/2"=1'-0"



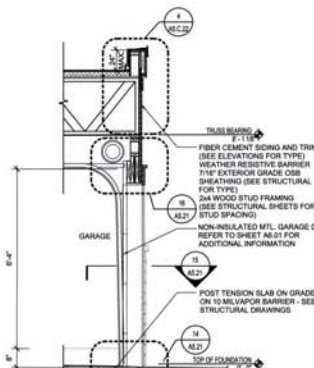
4 RIGHT ELEVATION - GARAGE 6GTS
SCALE: 1/2"=1'-0"



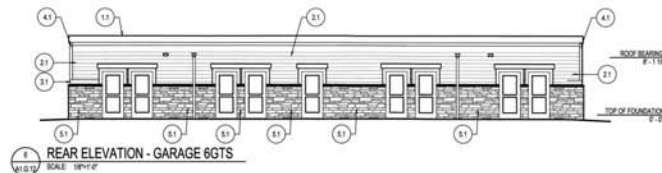
1 LEFT ELEVATION - GARAGE 6GTS
SCALE: 1/2"=1'-0"



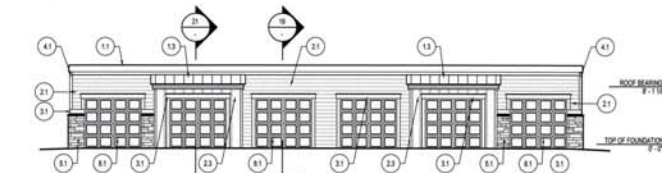
28 WALL SECTION AT REAR WALL
SCALE: 1/2"=1'-0"



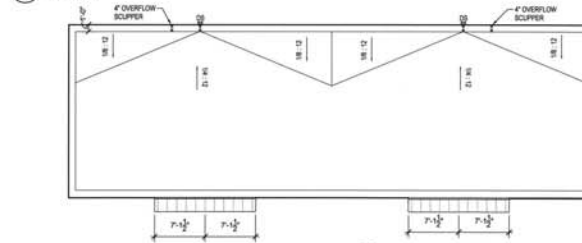
19 WALL SECTION - EAVE AT OVERHEAD DOOR
SCALE: 1/2"=1'-0"



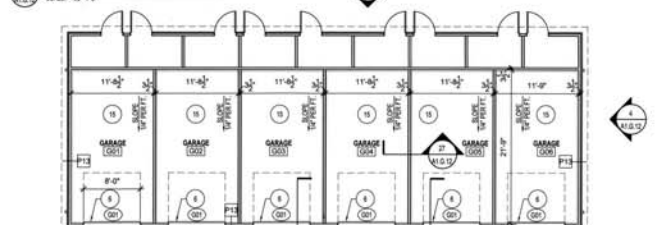
9 REAR ELEVATION - GARAGE 6GTS
SCALE: 1/2"=1'-0"



7 FRONT ELEVATION - GARAGE 6GTS
SCALE: 1/2"=1'-0"



2 ROOF PLAN - GARAGE 6GTS
SCALE: 1/2"=1'-0"



1 FIRST FLOOR PLAN - GARAGE 6GTS
SCALE: 1/2"=1'-0"

**LOT 1A, BLOCK 10, THE
MEADOWS FILING NO. 20,
PHASE 1, AMENDMENT NO. 15
SITE DEVELOPMENT PLAN**

PROJECT NO. SDP17-0039

LEGEND

- FE: FIRE EXTINGUISHER & BRACKET
- : DOWNPOUT ASSEMBLY
- HB: HOSE BIB
- ELEVATION KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION

GENERAL NOTES

- PROVIDE GRIP CAPS AT ALL WINDOW AND DOOR HEADS.
- REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS.
- PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.
- MAINTAIN OPENING & ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.
- SEE GENERAL NOTES ON WALL SECTION SHEETS AND DETAIL SHEETS FOR MORE INFORMATION.

ELEVATION KEYED NOTES

- 60 MIL GAF EVERGLARD TPO ROOF MEMBRANE FULLY ADHERED TO TAPERED CONTINUOUS R-25 RIGID INSULATION (SLOPE 1/4" PER FOOT TO DRAIN) ON 2" OSB SHEATHING ON PRE-ENGINEERED WOOD TRUSSES AT 24" O.C. (PROVIDE UPLIFT RESISTANT CONNECTIONS AT EACH END OF EACH TRUSS - REFER TO STRUCTURAL)
- STANDING SEAM ROOF SYSTEM PROFILE: 20"X12" CLIP ON 2X6 R/FT OVER ROOF SHEATHING ON CEDAR RAFTERS AND TRIM REFER TO STRUCTURAL, COLOR: GALVALUME
- 2X4 WOOD STUDS SELECT CEDAR MILL CO. E27 R/FT EXPOSURE WOOD GRAIN INSTALLED W/ FLASHING & BUTT JOINTS PER MANUFACTURER RECOMMENDATIONS. 5/8" KESCI DOWNING STONE.
- NOT USED
- 2X4 BOARD AND BATTEN: HARDPAINT, (SMOOTH W/ VERTICAL 1/4" HORIZONTAL BATTENS) (SMOOTH AT 90°), COORDINATE PANEL SEAMS WITH BATTEN LOCATIONS. COLOR: BR #348 ROYCEPORT BRONZE GREEN.
- HARDPANEL (SMOOTH) AT FRIZES, RAKE, WINDOWS, DOORS, AND CORNER DETAILS (W/ FINISHED METAL FLASHING) (FINISH REQUIRED). INSTALLED PER MANUFACTURER RECOMMENDATIONS. COLOR: BR #348 ROYCEPORT BRONZE GREEN.
- PRE-FINISHED METAL SLOPE OVER 2X4 FASCIA BOARD WRAPPED IN ALUMINUM. COLOR TO MATCH GUTTER.
- CORONADO STONE, LEDGESTONE QUICK STACKED STONE. INSTALL PER MANUFACTURER RECOMMENDATIONS. INSTALL PRECAST STONE CAPS FOR COLUMN BASES. STONE SILL FOR EXTERIOR WALL. COLOR: CAVE CODE GREY MORTAR COLOR TO MATCH STONE.
- VENTED VINYL SOFFIT: CERTAINTEED (ON APP. 82) STYLE TRIPLE 3x10" INVERTED VINYL, COLOR: HERRINGBONE.
- NOT USED
- NON-INSULATED METAL OVERHEAD DOOR TRACK, DOOR IS INSULATED AT MAINTENANCE AREA WEATHER STOPPING & AUTO OPENER ASSEMBLY. STYLE: CARRIAGE HOUSE. GARAGE DOOR COLOR: BR #348 ROYCEPORT BRONZE GREEN. PROVIDE INSULATED OVERHEAD DOOR AT MAINTENANCE AREA ONLY.
- METAL PRE-FINISHED ALUMINUM R/FT GUTTER AND 2"X4" DOWNPOUT, THE DOWNPOUT INTO STORM SYSTEM. STYLE: K. COLOR: ALMOND.

PLAN KEYED NOTES

- CAR CARE VACUUM AIDS BY J.E. ADAMS INDUSTRIES.
- NOT USED
- PROVIDE HOT WATER HEATER W/ WALL MOUNTED SUPPORT BRACKET AND SELF ASSEMBLY - PROVIDE IN WOOD BLOCKS IN WALL.
- PROVIDE PLUMBING SINK AND METAL TOILET. GC TO SUPPLY SINK AND MIRROR. PER OWNER SPECIFICATIONS. EXACT LOCATIONS TO BE COORDINATED IN FIELD.
- PROVIDE MOP SINK W/ SHELVE AND MOP HOOKS.
- SLOPE SLAB EDGE 1/2" AT GARAGE DOOR.
- SWIVEL RACK BY OWNER FOR PRESSURE WASHER.
- SEWER INLET W/ SAND/COL. SEPARATOR. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- 3/4" HOSE BIB - REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- PRESSURE CLEANER - PROVIDE WATER CONNECTION. INSTALL PER MANUFACTURER RECOMMENDATIONS.
- GOLF CART CHARGING STATION. COORDINATE LOCATION IN FIELD - SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.
- DAIRED LINE INDICATES ROOF OVERHANG.
- 2X6W INSULATED ATTIC ACCESS PANEL WITH LOCK. COORDINATE LOCATION IN FIELD.
- CONCRETE SToop IF BROOM FINISH SEALS.
- POST TENSION SLAB - PROVIDE CONTROL JOINTS AS REQUIRED. SEAL OR STAIN FINISH AS SELECTED BY OWNER.
- HARDPANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM - COLUMN WRAP SQUARE CAP AND BASE OVER W/ TREATMENT. COLOR: PPG PAINT 1058-T "STONES THROW". INSTALLED PER MFR. RECOMMENDATIONS.
- PAC CLAD STANDING METAL BEAM ROOF. REFER TO STRUCTURAL. COLOR: GALVALUME.
- PRE-FINISHED IF ALUMINUM GUTTER W/ 2" DOWNPOUT. PROVIDE DIVERTERS AND SPLASH GUARDS AT CORNERS AND WALLS.
- PROVIDE (2) - 1 3/4" x 1 1/4" LVJ HEAD, CLAD W/ FIBER CEMENT TRIM.
- PRE-FINISHED CONTINUOUS PERFORATED VINYL SOFFIT VENT AROUND PERIMETER OF ROOF.
- DOOR VENTS, STYLE/COLOR AS SELECTED BY OWNER. COLOR TO MATCH WEATHERED WOOD.
- CARPENT METAL STRUCTURE: REFER TO STRUCTURAL DWGS. POWDER COATED TO MATCH COLOR. PPG # 1058-T STONES THROW.
- TOILET ROOM WALLS: 2x4 WOOD STUD FRAMING AT 16" OC WITH MOISTURE RESISTANT GYP/SAB BOARD ON TOILET ROOM SIDE OF WALL AND OSB SHEATHING ON MAINTENANCE AREA SIDE OF WALL. PROVIDE MOISTURE RESISTANT GYP/SAB BOARD ON TOILET ROOM SIDE OF OSB SHEATHING.
- PET SHEDDING STATION - (SHEDDING BEST 4" WALK-THE-TUB W/ PULL OUT RAMP - THE DRAIN TO BULDOZING SANITARY SYSTEM).
- COORDINATE GOMP LOCATIONS W/ HOSE BIB LOCATIONS.
- MIRROR ABOVE SINK.



ISSUE & REVISION RECORD

#	DATE	DESCRIPTION

CONTINENTAL
410 FUND
W34 18875 EXECUTIVE PARWAY
MENOMONEE FALLS, WI 53002
262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER: 1733103
ISSUE DATE: 07/19/17
DRAWN BY/CHECKED BY: JMB/ATL
DRAWING TITLE:
6GTS GARAGE BUILDING PLANS, ELEVATIONS, AND SECTIONS
SHEET NUMBER

24

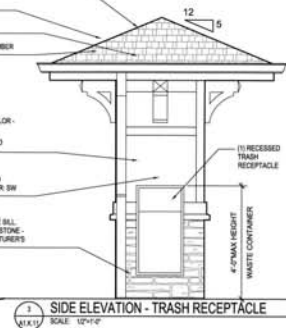
5901 PEACHTREE DUNWOODY RD
BUILDING A, SUITE 400
ATLANTA, GEORGIA 30328
770.241.4400

**SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
AMENDMENT NO. 15**

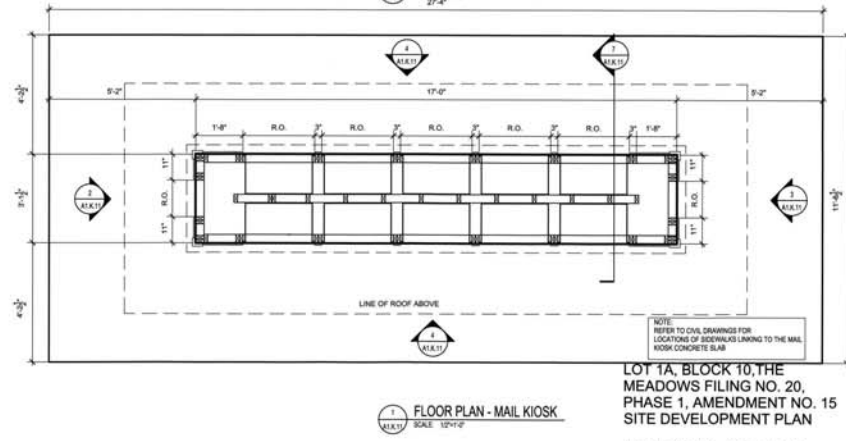
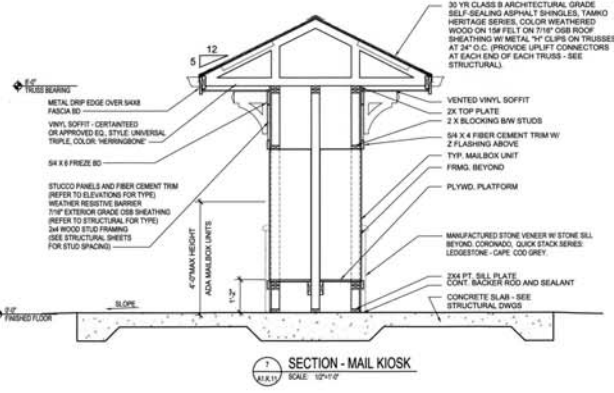
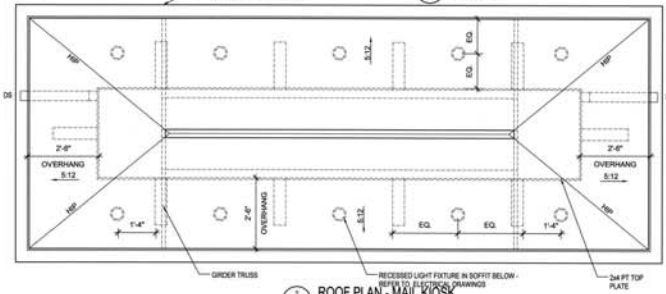
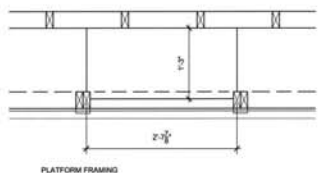
LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, COLORADO
WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

ATTIC VENTILATION SCHEDULE					
AREA	ATTIC AREA (SQ FT)	TOTAL NET FREE VENTED AREA (SQ IN)	RIDGE (50%) (SQ IN)	SOFFIT (50%) (SQ IN)	PROVIDED
ATTIC AREA	181	87	44	3 LINEAL FT	44
					8 LINEAL FT

NOTE:
 1. REQUIRED NET FREE VENTED AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL ATTIC AREA (SQ FT) BY .183 AND MULTIPLYING SAME BY .44 SQ IN/SQ FT. 8% OF TOTAL NET FREE VENTED AREA IS REQUIRED AT THE RIDGE (HIGH) AND 50% IS REQUIRED THE SOFFIT (S.O.).
 2. MIN. REQUIRED LINEAL FEET OF VENTED RIDGE PROVIDED (HIGH AREAS) IS CALCULATED BY DIVIDING THE REQUIRED NET FREE AREA BY THE MANUFACTURERS STATED ACTUAL VENTED NET FREE AREA (BASED ON 18 SQ IN MIN NET FREE AREA PER FT). TORTLEBACK VENTS BASED ON 30 SQ IN MIN. EACH TO BE USED TO SUPPLEMENT RIDGE (HIGH) VENTING AS REQUIRED. PLACE TORTLEBACK VENTS ON REAR OF BUILDING, TYPICAL.
 3. MIN. REQUIRED NET FREE VENTED SOFFIT PROVIDED (LOW AREAS) CALCULATED BY DIVING THE REQUIRED NET FREE AREA OF SOFFIT CONTINUOUS VENT BY THE MANUFACTURERS STATED ACTUAL VENTED NET FREE AREA (BASED ON 6.9 SQ IN MIN NET FREE AREA PER FT). SOFFIT VENTING SHALL BE EVENLY DISTRIBUTED BETWEEN ENDS.



RESIDENTIAL UNITS	MAIL DOORS	TRASH DOORS	PARCEL LOCKERS
MAIL KIOSK	204	204	11



ISSUE & REVISION RECORD

#	DATE	DESCRIPTION

CONTINENTAL
 CONTINENTAL 410 FUND
 W134 N875 EXECUTIVE PARKWAY
 MENOMONEE FALLS, WI 53052
 262.502.5500 • FAX 262.502.5522

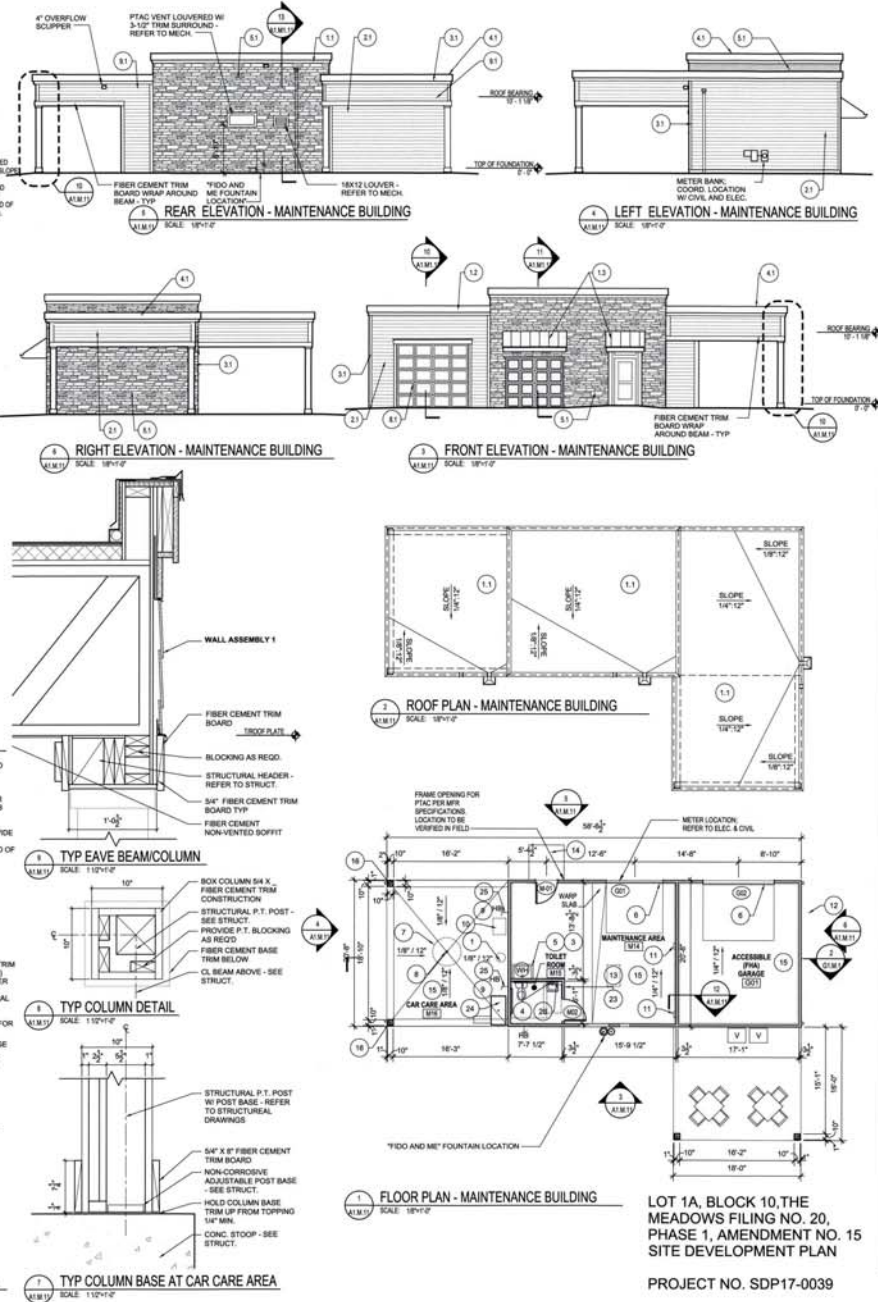
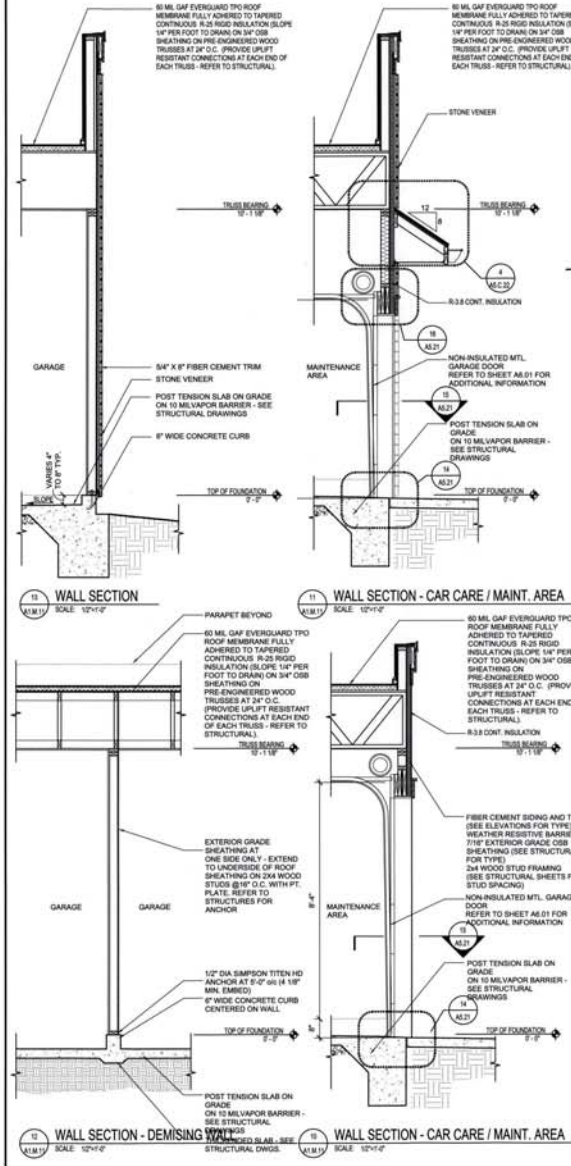
PHILLIPS JOB NUMBER: 1733103
 ISSUE DATE: 07/10/17
 DRAWN BY/CHECKED BY: JMM/WHJTL
 DRAWING TITLE: MAIL KIOSK PLANS, ELEVATIONS, AND SECTIONS
 SHEET NUMBER: **25**

LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT NO. 15 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP17-0039

5901 PEACHTREE DUNWOODY RD.
 BUILDING A, SUITE 400
 ATLANTA, GEORGIA 30328
 PH: 404.875.0000

SITE DEVELOPMENT PLAN
 LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
 AMENDMENT NO. 15

LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67
 WEST OF THE 56TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



- LEGEND**
- ⦿ FFC FIRE EXTINGUISHER & BRACKET
 - ☐ DOWNPOUT ASSEMBLY
 - H8 HOSE BIB
 - ELEVATION KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION
- GENERAL NOTES**
1. PROVIDE DRIP CAPS AT ALL WINDOWS AND DOOR HEADS.
 2. REFER TO FLOOR PLAN & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.
 3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.
 4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERHANGING TO PROVIDE VENTILATION.
 5. SEE GENERAL NOTES ON WALL SECTION SHEETS AND DETAIL SHEETS FOR MORE INFORMATION.
- ELEVATION KEYED NOTES**
1. 80 ML GAF EVERGUARD TPO ROOF MEMBRANE FULLY ADHERED TO TYPED CONTINUOUS R-25 RIGID INSULATION (SLOPE 1/4\"/>
 2. STANDING BEAM ROOF SYSTEM PROFILE 18MP CLAY 25-GA ON 2IN FELT OVER ROOF SHEATHING ON CEDAR RAFTERS AND TRIM (REFER TO STRUCTURAL) COLOR: GALVALUME.
 3. SIDING 1A - HORIZONTAL SIDING: HANDPICK SELECT CEDAR SH-8, 8/16\"/>
 4. NOT USED.
 5. SIDING 2 - BOARD AND BATTEN: HANDPANEL (SMOOTH) BY VERTICAL 1/2\"/>
 6. PRE-FINISHED METAL DRIP EDGE OVER 24 FABRICA BOARD WRAPPED IN ALUMINUM COLOR TO MATCH GUTTER.
 7. CORONAHD STONE - LEDGESTONE QUARRY STACKED STONE. METAL PER MANUFACTURER'S RECOMMENDATIONS. INSTALL PRECAST STONE CAPS FOR COLUMN BASES. EGRESS STONE FOR TOILET WALL - COLOR: CAPS: CODE RHYE; MORTAR COLOR TO MATCH STONE.
 8. VENTED VINYL SOFFIT: CERTAINTEED DRAPP. EQ. STYLE TRIPLE 3-1/2\"/>
 9. NOT USED.
 10. NON-INSULATED METAL OVERHEAD DOOR TRACK. DOOR IS INSTALLED AT MAINTENANCE AREA. HEADERS: EPDMFLA. AUTO OPERATOR ASSEMBLY: STYLE: CARRIAGE HOUSE; GARAGE DOOR COLOR: 8H. 80M. RICHWOOD BRONZE GREEN. PROVIDE INSULATED OVERHEAD DOOR AT MAINTENANCE AREA ONLY.
 11. METRIC PRE-FINISHED ALUMINUM 6\"/>
- PLAN KEYED NOTES**
1. CAR CARE VACUUM RIGS BY J.E. ADAMS INDUSTRIES.
 2. NOT USED.
 3. PROVIDE HOT WATER HEATER BY WALL MOUNTED SUPPORT BRACKET AND SHELF ASSEMBLY - PROVIDE PLYWOOD BLOCKING IN WALL.
 4. PROVIDE PLUMBING ROUGH-IN AND INSTALL TOILET. GO TO SUPPLY BIN AND MINOR PER OWNER SPECIFICATIONS. EXACT LOCATIONS TO BE COORDINATED IN-FIELD.
 5. PROVIDE MOP BAY IN SHELF AND MOP HOODS.
 6. FLOOR SLAB EDGE 1\"/>
 7. SIBREL RACK BY OWNER FOR PRESSURE WASHER.
 8. SEWER ALLEY & SANITARY SEPARATOR. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
 9. 3/4\"/>
 10. PRESSURE CLEANER. PROVIDE WATER CONNECTION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 11. GOLF CART CHARGING STATION. COORDINATE LOCATION IN FIELD. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.
 12. DASHED LINE INDICATES ROOF OVERHANGS.
 13. 20\"/>
 14. CONCRETE STOPUP BY BRIMCO. FINISH: BLENDED.
 15. 18\"/>
 16. PRE-FINISHED ALUMINUM 6\"/>
 17. SIDING (BY 1 3/4\"/>
 18. HANDPANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM - COLUMN BY SQUARE CAP AND BASE OVER 8H TREATED POST. COLOR: PPG PANT 8354A STONE; FINISH: INSTALLED PER RECOMMENDATIONS.
 19. PAC-CLOD STANDING METAL BEAM ROOF. REFER TO STRUCTURAL. COLOR: GALVALUME.
 20. PRE-FINISHED ALUMINUM GUTTER BY 7\"/>
 21. SEAL JOINTS AND SPASH FLASHING AS SELECTED BY OWNER.
 22. HANDPANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM - COLUMN BY SQUARE CAP AND BASE OVER 8H TREATED POST. COLOR: PPG PANT 8354A STONE; FINISH: INSTALLED PER RECOMMENDATIONS.
 23. PAC-CLOD STANDING METAL BEAM ROOF. REFER TO STRUCTURAL. COLOR: GALVALUME.
 24. CARPORT METAL STRUCTURE. REFER TO STRUCTURAL DWGS. POWDER COATED TO MATCH COLOR. PRE-FINISHED 2\"/>
 25. TOILET ROOM WALLS - 24\"/>
 26. HOLD COLUMN BASE TRIM UP FROM TOPPING 1/4\"/>
 27. CONIC STOPUP - SEE STRUCT.
 28. PET GROOMING STATION - GROOMERS BEST 48\"/>
 29. HOLD TUB WITH FULL OUT RAMP. TRIM TO BUILDING SANITARY SYSTEM.
 30. COORDINATE ABOVE WORK BY HOSE BIB LOCATIONS.
 31. MINOR CORV. SIGN.

LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT NO. 15 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP17-0039



PHILLIPS
 CONSULTANT

ISSUE & REVISION RECORD

#	DATE	DESCRIPTION

PROJECT

CLIENT

CONTINENTAL
 410 FUND
 W154 ARISTO EXECUTIVE PARKWAY
 MENOMONEE FALLS, WI 53052
 262.502.5500 * FAX 262.502.5522

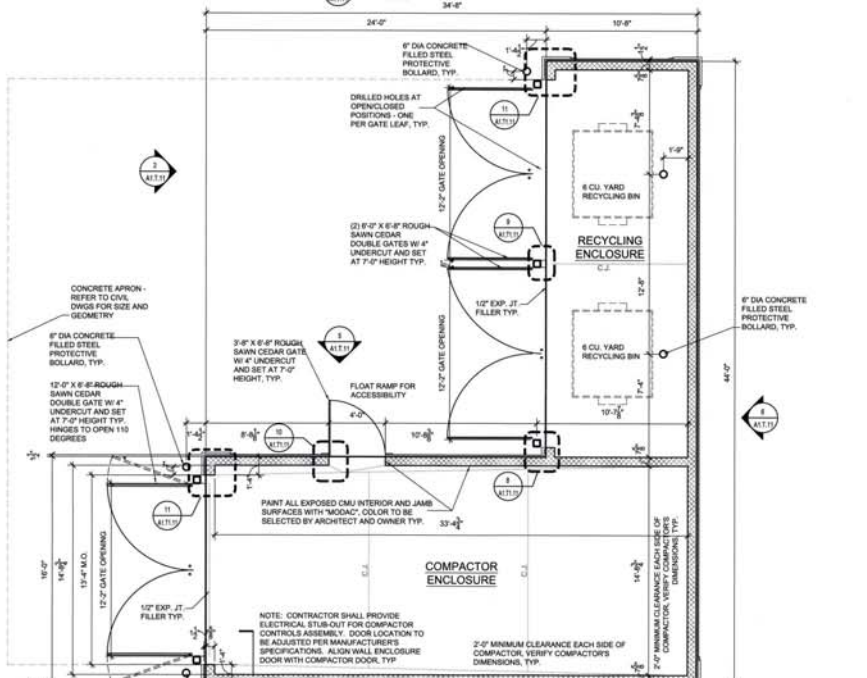
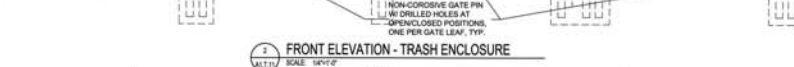
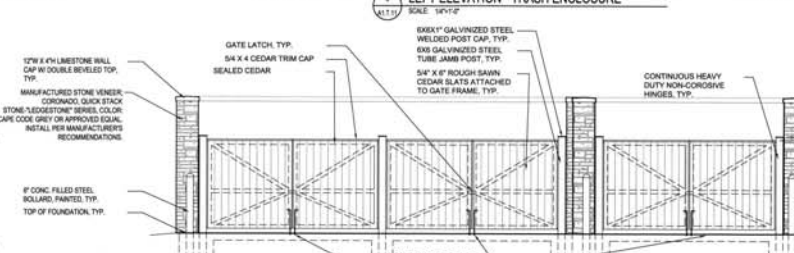
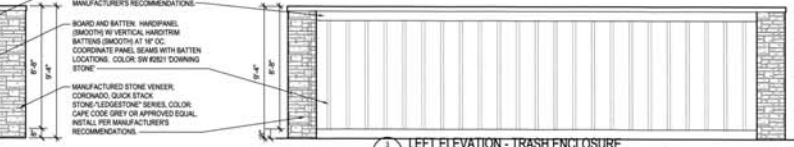
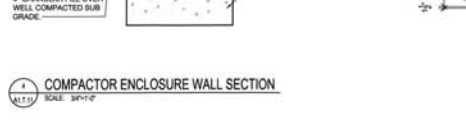
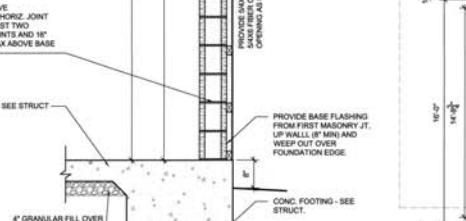
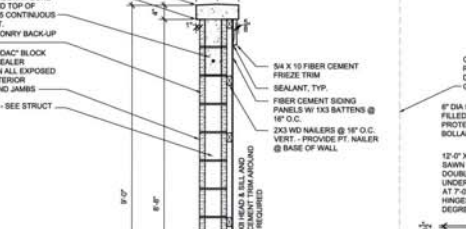
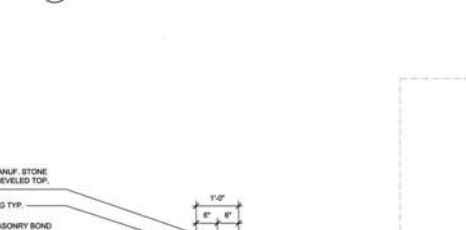
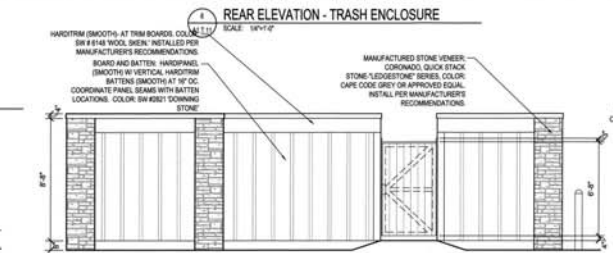
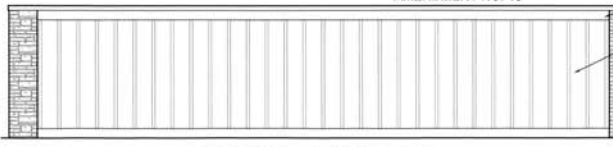
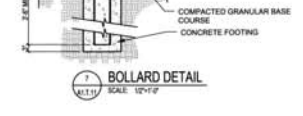
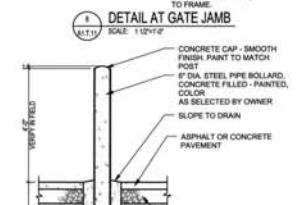
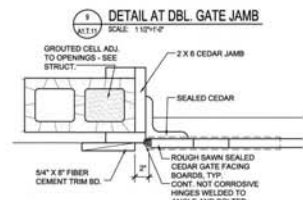
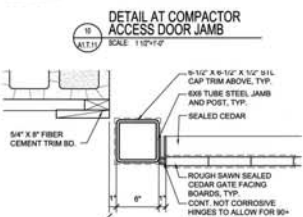
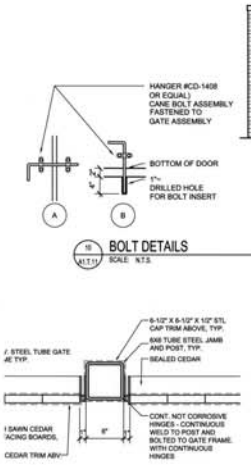
PHILLIPS JOB NUMBER: 1733103
 ISSUE DATE: 07/10/17
 DRAWN BY/CHECKED BY: JMM/ATL
 DRAWING TITLE: MAINTENANCE BUILDING PLANS, ELEVATIONS, AND SECTIONS
 SHEET NUMBER:

26

9001 PEACHTREE DUNWOODY RD.
 SUITE 200
 ATLANTA, GEORGIA 30350
 (404) 487-8770

SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
AMENDMENT NO. 15

LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67
 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



PHILLIPS
 CONSULTANT

SCALE: 1/4"
 1/4"

ISSUE & REVISION RECORD

#	DATE	DESCRIPTION

PROJECT

CLIENT

CONTINENTAL
 CONTINENTAL 410 FUND
 W134 NB675 EXECUTIVE PARKWAY
 MENCHOMERIE FALLS, WI 53052
 262.502.5500 • FAX 262.502.5522

PHILLIPS JOB NUMBER: 1733103
 ISSUE DATE: 07/10/17
 DRAWN BY/CHECKED BY: JMM/KATL
 DRAWING TITLE: TRASH ENCLOSURE PLANS, ELEVATIONS, AND SECTIONS
 SHEET NUMBER: 27

LOT 1A, BLOCK 10, THE MEADOWS FILING NO. 20, PHASE 1, AMENDMENT NO. 15
 SITE DEVELOPMENT PLAN


PROJECT NO. SDP17-0039

5601 PEACHTREE DUNWOODY RD
 BUILDING A, SUITE 450
 ATLANTA, GEORGIA 30328
 PH: 404.477.2250

SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
AMENDMENT NO. 15
 LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67

WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

CSXW LED
LED Wall Luminare

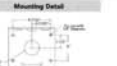


Introduction
The Continuum Series luminaires offer traditional square fixtures with enhanced edges for a recessed look that complements many applications. The CSXW LED combines the best in LED technology with the familiar aesthetics of the Continuum Series for a high performance illumination that lets it be used for replacing T8, T12, and T5 fluorescent fixtures in most applications with typical energy savings of 80% and equivalent service life of over 50,000 hours.

Specifications
 Height: 5 1/2"
 Width: 10 1/2"
 Depth: 3 1/2"
 Weight: 10 lbs
 Finish: White


Ordering Information
 EXAMPLE: CSXW LED 300 700 40K T1M MVOLT D02D0

Order Code	Height	Width	Depth	Color	Beam Spread	Mounting	Voltage	Temp	Notes
CSXW	5 1/2"	10 1/2"	3 1/2"	4000K	40°	Recessed	120V	100°	Standard

Mounting Detail


Accessories
 CSXW-100: 100' of 1/2" x 1/2" x 1/2" aluminum channel
 CSXW-200: 200' of 1/2" x 1/2" x 1/2" aluminum channel
 CSXW-300: 300' of 1/2" x 1/2" x 1/2" aluminum channel
 CSXW-400: 400' of 1/2" x 1/2" x 1/2" aluminum channel
 CSXW-500: 500' of 1/2" x 1/2" x 1/2" aluminum channel
 CSXW-600: 600' of 1/2" x 1/2" x 1/2" aluminum channel
 CSXW-700: 700' of 1/2" x 1/2" x 1/2" aluminum channel
 CSXW-800: 800' of 1/2" x 1/2" x 1/2" aluminum channel
 CSXW-900: 900' of 1/2" x 1/2" x 1/2" aluminum channel
 CSXW-1000: 1000' of 1/2" x 1/2" x 1/2" aluminum channel

WST LED
Architectural Wall Source



Specifications
 Luminaire: WSP1, WSP2
 Optional Back Box (BWB)

Introduction
The WST LED is designed with the specific in mind. The traditional, recessed shape offers a wide, non-directed light source for end-user visual comfort. For emergency egress lighting, the WST LED offers many options, including remote. For additional code compliance and energy savings, there is also a Bi-level model center option. With its many optional and additional features, three luminaire packages and high IP70s, the WST LED is your "go-to" luminaire for most any application.

Ordering Information
 EXAMPLE: WST LED P1 40K V1 MVOLT D02D0

Order Code	Height	Width	Depth	Color	Beam Spread	Mounting	Voltage	Temp	Notes
WST	5 1/2"	10 1/2"	3 1/2"	4000K	40°	Recessed	120V	100°	Standard

Accessories
 WST-100: 100' of 1/2" x 1/2" x 1/2" aluminum channel
 WST-200: 200' of 1/2" x 1/2" x 1/2" aluminum channel
 WST-300: 300' of 1/2" x 1/2" x 1/2" aluminum channel
 WST-400: 400' of 1/2" x 1/2" x 1/2" aluminum channel
 WST-500: 500' of 1/2" x 1/2" x 1/2" aluminum channel
 WST-600: 600' of 1/2" x 1/2" x 1/2" aluminum channel
 WST-700: 700' of 1/2" x 1/2" x 1/2" aluminum channel
 WST-800: 800' of 1/2" x 1/2" x 1/2" aluminum channel
 WST-900: 900' of 1/2" x 1/2" x 1/2" aluminum channel
 WST-1000: 1000' of 1/2" x 1/2" x 1/2" aluminum channel

KICHLER
LED Accent Light 8.5W



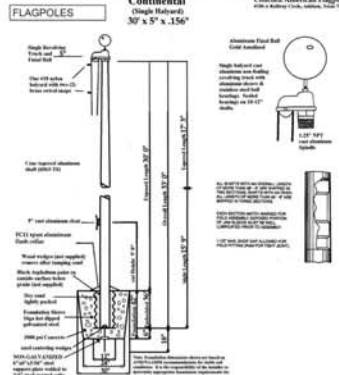
Introduction
The KICHLER LED Accent Light 8.5W is a recessed ceiling light fixture that provides a wide, non-directed light source for end-user visual comfort. For emergency egress lighting, the KICHLER LED offers many options, including remote. For additional code compliance and energy savings, there is also a Bi-level model center option. With its many optional and additional features, three luminaire packages and high IP70s, the KICHLER LED is your "go-to" luminaire for most any application.

Ordering Information
 EXAMPLE: KICHLER P1 40K V1 MVOLT D02D0

Order Code	Height	Width	Depth	Color	Beam Spread	Mounting	Voltage	Temp	Notes
KICHLER	5 1/2"	10 1/2"	3 1/2"	4000K	40°	Recessed	120V	100°	Standard

Accessories
 KICHLER-100: 100' of 1/2" x 1/2" x 1/2" aluminum channel
 KICHLER-200: 200' of 1/2" x 1/2" x 1/2" aluminum channel
 KICHLER-300: 300' of 1/2" x 1/2" x 1/2" aluminum channel
 KICHLER-400: 400' of 1/2" x 1/2" x 1/2" aluminum channel
 KICHLER-500: 500' of 1/2" x 1/2" x 1/2" aluminum channel
 KICHLER-600: 600' of 1/2" x 1/2" x 1/2" aluminum channel
 KICHLER-700: 700' of 1/2" x 1/2" x 1/2" aluminum channel
 KICHLER-800: 800' of 1/2" x 1/2" x 1/2" aluminum channel
 KICHLER-900: 900' of 1/2" x 1/2" x 1/2" aluminum channel
 KICHLER-1000: 1000' of 1/2" x 1/2" x 1/2" aluminum channel

FLAGPOLES
Continental
Flag Pole
30' x 5" x 1.56"



Introduction
The Continental Flag Pole is a high quality, heavy duty flag pole that provides a wide, non-directed light source for end-user visual comfort. For emergency egress lighting, the Continental Flag Pole offers many options, including remote. For additional code compliance and energy savings, there is also a Bi-level model center option. With its many optional and additional features, three luminaire packages and high IP70s, the Continental Flag Pole is your "go-to" luminaire for most any application.

Ordering Information
 EXAMPLE: CONTINENTAL P1 40K V1 MVOLT D02D0

Order Code	Height	Width	Depth	Color	Beam Spread	Mounting	Voltage	Temp	Notes
CONTINENTAL	30'	5"	1.56"	4000K	40°	Recessed	120V	100°	Standard

Accessories
 CONTINENTAL-100: 100' of 1/2" x 1/2" x 1/2" aluminum channel
 CONTINENTAL-200: 200' of 1/2" x 1/2" x 1/2" aluminum channel
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BULLET12NB




Introduction
The BULLET12NB is a high quality, heavy duty bullet-style luminaire that provides a wide, non-directed light source for end-user visual comfort. For emergency egress lighting, the BULLET12NB offers many options, including remote. For additional code compliance and energy savings, there is also a Bi-level model center option. With its many optional and additional features, three luminaire packages and high IP70s, the BULLET12NB is your "go-to" luminaire for most any application.

Ordering Information
 EXAMPLE: BULLET12NB P1 40K V1 MVOLT D02D0

Order Code	Height	Width	Depth	Color	Beam Spread	Mounting	Voltage	Temp	Notes
BULLET12NB	5 1/2"	10 1/2"	3 1/2"	4000K	40°	Recessed	120V	100°	Standard

Accessories
 BULLET12NB-100: 100' of 1/2" x 1/2" x 1/2" aluminum channel
 BULLET12NB-200: 200' of 1/2" x 1/2" x 1/2" aluminum channel
 BULLET12NB-300: 300' of 1/2" x 1/2" x 1/2" aluminum channel
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PROGRESS LIGHTING
SEL

P800005 7W LED Edge Lit Recessed Downlight



Introduction
The P800005 7W LED Edge Lit Recessed Downlight is a high quality, heavy duty recessed luminaire that provides a wide, non-directed light source for end-user visual comfort. For emergency egress lighting, the P800005 offers many options, including remote. For additional code compliance and energy savings, there is also a Bi-level model center option. With its many optional and additional features, three luminaire packages and high IP70s, the P800005 is your "go-to" luminaire for most any application.


Ordering Information
 EXAMPLE: P800005 P1 40K V1 MVOLT D02D0

Order Code	Height	Width	Depth	Color	Beam Spread	Mounting	Voltage	Temp	Notes
P800005	5 1/2"	10 1/2"	3 1/2"	4000K	40°	Recessed	120V	100°	Standard

Accessories
 P800005-100: 100' of 1/2" x 1/2" x 1/2" aluminum channel
 P800005-200: 200' of 1/2" x 1/2" x 1/2" aluminum channel
 P800005-300: 300' of 1/2" x 1/2" x 1/2" aluminum channel
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PROGRESS LIGHTING
SEL

P800005 7W LED Edge Lit Recessed Downlight



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 EXAMPLE: P800005 P1 40K V1 MVOLT D02D0

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 P800005-1000: 1000' of 1/2" x 1/2" x 1/2" aluminum channel

LOT 1A, BLOCK 10, THE MEADOWS
 FILING NO. 20, PHASE 1,
 AMENDMENT NO. 15
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP17-0039



SAVANT
Engineering, LLC
 5564 Rowell Road, Suite D-301
 Nash Springs GA 30542 770.378.7400
 Project 17051 02017

ISSUE & REVISION RECORD

#	DATE	DESCRIPTION

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CONTINENTAL
 CONTINENTAL 410 FUND
 W134 N81875 EXECUTIVE PARKWAY
 MEMPHIS FALLS, WI 53052
 262.502.5500 • FAX 262.502.5522

PHILLIPS JOB NUMBER 1733103
 ISSUE DATE 07/10/17
 DRAWN BY/CHECKED BY JMK
 DRAWING TITLE ELECTRICAL SITE LIGHTING
 SHEET NUMBER

29

9001 PEACHTREE DUNWOODY RD
 BLDG DING A, SUITE 100
 ATLANTA, GEORGIA 30320

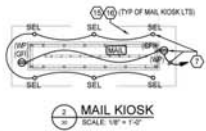
LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67
WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
AMENDMENT NO. 15



NOTE
ALL EXTERIOR LIGHTING SHALL BE CONTROLLED BY EXTERIOR BUILDING MOUNTED PHOTOCELLS AND/OR AUTOMATIC DIMMING CONTROLS UNLESS NOTED OTHERWISE.

NOTE
ALL LIGHTING MOUNTED ON BUILDINGS OR POLES SHALL BE DOWNCAST (FULL CUTOFF) AND WITHOUT DROP LENSES.



GENERAL LIGHTING PLAN STANDARD NOTES

- THE OBJECTIVES FOR LIGHTING THE SITE ARE TO PROVIDE AN EVEN DISTRIBUTION OF LIGHT WHILE MAINTAINING A SAFE AND SECURE AREA. THE FRONT AND SIDES OF THE CLUBHOUSE WILL BE LIT WITH DOWNCAST (STAKE) MOUNTED UPLIGHTING TO ILLUMINATE THE FACADE OF THE BUILDING AT NIGHT. THE REAR OF THE CLUBHOUSE WILL BE LIT UNDER THE CANOPY FOR RESIDENTS. THE COVERED MAIL KIOSK WILL BE LIT TO PROVIDE A SAFE ENVIRONMENT FOR THE RESIDENTS. ALL WALLPACKS ON APARTMENT BUILDINGS, GARAGES, AND MAINTENANCE BUILDINGS ARE DESIGNED TO ILLUMINATE THE SURFACE AND WALKWAYS SURROUNDING THE BUILDING.
- HOURS OF OPERATION ARE DEFINED IN THE LIGHTING CONTROL SCHEDULE.
- LIGHTING TRUSSES WILL BE MITIGATED TO NEIGHBORHOODS ADJACENT PRIORITIES BY ONE OF MORE OF THE FOLLOWING DESIGN CONSIDERATIONS: LOWERING THE HEIGHT OF THE FIXTURES NEAR THE PERIMETER, DECREASING THE WATTAGE, INSTALLING HOUSE-SIDE SHIELDS, FACING THE FIXTURES AWAY FROM THE SITE LINE.
- THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION; POLE MOUNTED LIGHTS AIM AT A BUILDING'S FACADE; AND UNSHIELDED WALLPACKS.

	POLE LIGHTS COMMERCIAL/PARKING AREAS (VIA PHOTOCELL)	POLE LIGHTS RESIDENTIAL/PARKING AREAS (VIA PHOTOCELL)	BUILDING LIGHTS RESIDENTIAL BUILDINGS (VIA PHOTOCELL)	BUILDING LIGHTS COMMERCIAL BUILDINGS (VIA PHOTOCELL)	LANDSCAPE/ FACADE LIGHTS (VIA PHOTOCELL)
ON	DUSK	DUSK	DUSK	DUSK	DUSK
DIMMING TO 50%	NOTE 1	NONE	NONE	NOTES 2, 3	NONE
OFF	DAWN	DAWN	DAWN	DAWN	DAWN

NOTES

- BEGINNING (1) HOUR AFTER THE CLOSE OF BUSINESS (8PM), POLE LIGHTS AROUND THE CLUBHOUSE PARKING LOT SHALL DIM TO 50% UNTIL DAWN OR UPON SENSING MOTION. UPON SENSING MOTION, THE POLE LIGHTS SHALL RETURN TO FULL BRIGHTNESS AND REMAIN AT THAT LEVEL UNTIL MOTION IS NO LONGER SENSED FOR A PERIOD OF 30 MINUTES. AFTER 30 MINUTES, THE LIGHTS SHALL REDUCE POWER BACK TO 50% OF TOTAL OUTPUT.
- BEGINNING (1) HOUR AFTER THE CLOSE OF BUSINESS (8PM), CLUBHOUSE BUILDING MOUNTED LIGHTS UNDER THE CANOPY AND MOUNTED TO THE BUILDING FACADE COLUMNS SHALL DIM TO 50% UNTIL DAWN OR UPON SENSING MOTION. UPON SENSING MOTION, THE LIGHTS SHALL RETURN TO FULL BRIGHTNESS AND REMAIN AT THAT LEVEL UNTIL MOTION IS NO LONGER SENSED FOR A PERIOD OF 30 MINUTES. AFTER 30 MINUTES, THE LIGHTS SHALL REDUCE POWER BACK TO 50% OF TOTAL OUTPUT.
- BEGINNING AT DUSK, RECESSED LIGHTS MOUNTED TO THE UNDERSIDE OF THE MAIL KIOSK CANOPY SHALL DIM TO 50% UNTIL DAWN OR UPON SENSING MOTION. UPON SENSING MOTION, THE POLE LIGHTS SHALL RETURN TO FULL BRIGHTNESS AND REMAIN AT THAT LEVEL UNTIL MOTION IS NO LONGER SENSED FOR A PERIOD OF 30 MINUTES. AFTER 30 MINUTES, THE LIGHTS SHALL REDUCE POWER BACK TO 50% OF TOTAL OUTPUT.
- HOURS OF OPERATION FOR THE BUILDING ARE FROM 8AM TO 6PM.

SITE LIGHT FIXTURE SCHEDULE

SYMBOL	TAG	ARRANGEMENT	LAMPING	TOTAL LAMP LUMENS	LLF	MANUFACTURER CATALOG NUMBER	DESCRIPTION	DISTRIBUTION	ACCESSORIES	MOUNTING LOCATION	MOUNTING HEIGHT	CUT-OFF	CONTROL	WATTS	VOLTS	REMARKS	QUANTITY
□	CS	SINGLE WALL MOUNT	(2) 28W CFL G244	3600	1.00	PROGRESS LIGHTING P5919-20	"PARKER" EXTERIOR SCIENCE WET LOCATION LISTED, ANTIQUE BRONZE	N/A	NONE	WALL - SURFACE EXTERIOR DOORS AND PATIO AREA	8'-0"	NONE	PHOTOCELL	52	120		6
□	SBLL	SINGLE WALL MOUNT	(1) 69W LED	7961	1.00	LITHONIA CS80W-LED-300-700-40K-T3M MVOLT-T-DOBKD	LED BUILDING MOUNTED LUMINAIRE WITH FULL CUTOFF	TYPE II	NONE	BUILDING MOUNTED APARTMENTS	21'-0"	FULL CUTOFF	PHOTOCELL	69	MVOLT	1.3,5	63
□	SBLLW	SINGLE WALL MOUNT	(1) 69W LED	7961	1.00	LITHONIA CS80W-LED-300-700-40K-T2M MVOLT-T-DOBKD	LED BUILDING MOUNTED LUMINAIRE WITH FULL CUTOFF	TYPE II	NONE	BUILDING MOUNTED APARTMENTS	21'-0"	FULL CUTOFF	PHOTOCELL	69	MVOLT	1.3,5	2
□	SCL	SINGLE WALL MOUNT	(1) 17W LED	1308	1.00	LITHONIA W67M-LED-2A-40K-120-DOBKD	LED BUILDING MOUNTED LUMINAIRE WITH FULL CUTOFF	WIDE	NONE	BUILDING MOUNTED GARAGES/ MAINTENANCE	10'-0"	FULL CUTOFF	PHOTOCELL	17	120	1.8,7	8
○	SEL	SINGLE RECESSED	(1) 12W LED	799	1.00	PROGRESS PRO8009-031-30	LED F EXTERIOR DOWNLIGHT, WHITE TRIM, INTEGRAL LENS	WDE	WHITE TRIM INTEGRAL LENS	RECESSED MOUNTED MAIL KIOSK	8'-0"	FULL CUTOFF	PHOTOCELL + DIMMING	12	120	1.9	6
□	P2L	SINGLE POLE MOUNT	(1) 72W LED	7846	1.00	LITHONIA OSK4LED-P3-40K-T3M-MVOLT-RFA-DMG-PRH1FCV-DOBKD	LED POLE MOUNTED LUMINAIRE WITH FULL CUTOFF REFLECTOR TYPE II	TYPE II	NONE	POLE MOUNTED THROUGHOUT SITE	20'-0"	FULL CUTOFF	PHOTOCELL + DIMMING	72	MVOLT	1.3,4,5,6,9	6
□	P3HL	SINGLE POLE MOUNT	(1) 72W LED	7617	1.00	LITHONIA OSK4LED-P3-40K-T3M-MVOLT-T-RFA-DMG-PRH1FCV-DOBKD	LED POLE MOUNTED LUMINAIRE WITH FULL CUTOFF REFLECTOR TYPE II AND HOUSE-SIDE SHIELD	TYPE II	HOUSE-SIDE SHIELD	POLE MOUNTED THROUGHOUT SITE	20'-0"	FULL CUTOFF	PHOTOCELL + DIMMING	72	MVOLT	1.3,4,5,6,9	18
□	P3LH1	SINGLE POLE MOUNT	(1) 38W LED	4378	1.00	LITHONIA OSK4LED-P1-40K-T3M-MVOLT-T-RFA-DMG-PRH1FCV-HS-DOBKD	LED POLE MOUNTED LUMINAIRE WITH FULL CUTOFF REFLECTOR TYPE II AND HOUSE-SIDE SHIELD	TYPE II	HOUSE-SIDE SHIELD	POLE MOUNTED THROUGHOUT SITE	12'-0"	FULL CUTOFF	PHOTOCELL + DIMMING	38	MVOLT	1.3,4,5,6,9	2
□	P3L	SINGLE POLE MOUNT	(1) 72W LED	5789	1.00	LITHONIA OSK4LED-P3-40K-T3M-MVOLT-RFA-DMG-PRH1FCV-DOBKD	LED POLE MOUNTED LUMINAIRE WITH FULL CUTOFF REFLECTOR TYPE V	TYPE V	NONE	POLE MOUNTED THROUGHOUT SITE	20'-0"	FULL CUTOFF	PHOTOCELL + DIMMING	72	MVOLT	1.3,4,5,6,9	7
□	WP1	SINGLE WALL MOUNT	(1) 12W LED	8141	1.00	LITHONIA W67M-LED-P1-40K-WW-MVOLT-T-DOBKD	LED BUILDING MOUNTED LUMINAIRE WITH FULL CUTOFF WITH WIDE-THROW REFLECTOR	WDE	NONE	BUILDING MOUNTED APARTMENTS	21'-0"	FULL CUTOFF	PHOTOCELL	14	MVOLT	1.3,5	24
□	WP2	SINGLE WALL MOUNT	(1) 25W LED	3202	1.00	LITHONIA W67M-LED-P2-40K-WW-MVOLT-T-DOBKD	LED BUILDING MOUNTED LUMINAIRE WITH FULL CUTOFF WITH WIDE-THROW REFLECTOR	WDE	NONE	BUILDING MOUNTED APARTMENTS	15 TO 21" (SEE PLAN)	FULL CUTOFF	PHOTOCELL	26	MVOLT	1.3,5	5
○	A4	SINGLE RECESSED	(1) 14.5W LED	1100	1.00	PROGRESS PR803-EB-GA (HOUSING) PR801-21A-40K-G4 (TRIM)	LED F EXTERIOR DOWNLIGHT, CLEAR TRIM	WDE	CLEAR TRIM	RECESSED MOUNTED POOL AREA	13'-8"	FULL CUTOFF	PHOTOCELL + DIMMING	14.5	120	1.9	8
□	LP	SINGLE STAKE MOUNT	(1) 8.5W LED	620	1.00	KICHLER LIGHTING K1741-6R1	LED SPOTLIGHT FOR EXTERIOR FLAG POLE(S), BLACK	10' SPOT	HOOD	STAKE MOUNTED CLUBHOUSE - AROUND CLUB POLE	8" TO 1'-0"	N/A	PHOTOCELL	8	12	1.2	2
□	LF	SINGLE STAKE MOUNT	(1) 12W LED	832	1.00	NAS LIGHTING BULLET12NA	LED LANDSCAPE FLOODLIGHT, WET LOCATION LISTED, BLACK	WIDE	NONE (HOOD INCLUDED)	STAKE MOUNTED CLUBHOUSE - AROUND BUILDING FACADE	8" TO 1'-0"	N/A	PHOTOCELL	13	120	1, 1, 10	11

REMARKS:

- FIXTURE SHALL BE UL WET LOCATION RATED.
- PROVIDE WITH SHORT SNAP-ON BLACK HOOD #13701BKTP
- FIXTURE SHALL BE MOUNTED AT 12'-0" A.F.F. UNLESS NOTED OTHERWISE.
- MUST ORDER MATCHING COLOR COMPATIBLE DIRECT BURIAL POLES.
- COLOR SHALL BE DARK BRONZE.
- SITE LIGHTING POLES SHALL BE ROUND FIBERGLASS DIRECT BURIAL TYPE WHERE PERMITTED; LITHONIA #RT20B OR EQUAL.
- FIXTURE SHALL BE MOUNTED AT 10'-0" A.F.F. UNLESS NOTED OTHERWISE.
- REFER TO TRASH COMPACTOR SHEET(S) FOR LOCATIONS.
- ***DIMMING OPTIONS SHALL BE PROVIDED ON FIXTURES WHERE REQUIRED. SEE SITE PLAN CODED NOTES FOR MORE INFORMATION.

LOT 1A, BLOCK 10, THE MEADOWS
FILING NO. 20, PHASE 1,
AMENDMENT NO. 15
SITE DEVELOPMENT PLAN
PROJECT NO. SDP17-0039



PHILLIPS
CONSULTANT



ISSUE & REVISION RECORD	DATE	DESCRIPTION

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CONTINENTAL

CONTINENTAL 410 FUND
W134 N875 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53052
262.502.5500 • FAX 262.502.5522

PHILLIPS JOB NUMBER 1733103

ISSUE DATE 07/19/17

DRAWN BY/CHECKED BY MAM

DRAWING TITLE ELECTRICAL SITE PLAN

SHEET NUMBER **30**

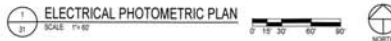
PHILLIPS PERINETICS, PC
BUILDING A SUITE 400
ATLANTA, GEORGIA 30309

SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, OF THE MEADOWS FILING NO. 20, PHASE 1
AMENDMENT NO. 15

LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67
 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



PHOTOMETRIC STATISTICS							
ZONE	SYMBOLS	AVERAGE (FC)	MAXIMUM (FC)	MINIMUM (FC)	MAX/ MIN	AVG/ MIN	LLF
ENTIRE SITE	• □ ◊ ○	1.6	8.9	N/A	N/A	N/A	1.00
CLUBHOUSE	◊ ◊ ◊ ◊	2.0	3.1	0.4	7.8 : 1	5.0 : 1	1.00
PARKING AREAS AND DRIVES	□ ◊ ◊ ◊ ◊	2.0	5.0	0.3	16.7 : 1	6.7 : 1	1.00



LOT 1A, BLOCK 10, THE MEADOWS
FILING NO. 20, PHASE 1,
AMENDMENT NO. 15
SITE DEVELOPMENT PLAN
 PROJECT NO. SDP17-0039



PHILLIPS
 CONSULTANT

SAVANT
 Engineering, LLC
 1644 Roswell Road, Suite D3-301
 Sandy Springs, GA 30341 770.319.7400
 Project 17011

SEAL _____

ISSUE & REVISION RECORD

#	DATE	DESCRIPTION

PROJECT _____

CLIENT _____

CONTINENTAL
 PAPER INDUSTRIES

CONTINENTAL 410 FUND
 W134 NB675 EXECUTIVE PARKWAY
 MENOMONEE FALLS, WI 53052
 262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER 1733103
 ISSUE DATE 07/19/17
 DRAWN BY/CHECKED BY KMK
 DRAWING TITLE

ELECTRICAL
PHOTOMETRIC PLAN

SHEET NUMBER _____

31

300 N. FRIIGHTREE DRIVE, WOODY BLDG.
 BURLINGAME, CALIF. 94010
 ATLANTA, GEORGIA 30328
 WWW.PHILLIPSINC.COM