

**DOWNTOWN REDEVELOPMENT
AGREEMENT
(5th and Jerry Street Apartments)**

DATE: October 3, 2017.

PARTIES: **TOWN OF CASTLE ROCK**, a home rule municipal corporation, 100 N. Wilcox Street, Castle Rock, Colorado 80104 (Town).

CASTLE ROCK DOWNTOWN DEVELOPMENT AUTHORITY, a downtown development authority duly organized and existing under Part 8 of Article 25, Title 31, C.R.S., 18 South Wilcox Street, Suite 202, Castle Rock, Colorado 80104 (DDA).

5TH AVENUE APARTMENTS "LLC", a Colorado limited liability company, 367 Sandy Hollow Trail, Franktown, Colorado 80116 (Owner).

RECITALS:

A. Owner proposes to redevelop a parcel within the Downtown into a 65-unit apartment and office building, as further described in the body of this Agreement ("Project"). The Project furthers several of the core priorities for Downtown redevelopment outlined in the 2008 Plan of Development for the DDA, including more intensive physical development at an urban scale encompassing employment, retail, restaurants, entertainment and additional options for residing in the Downtown.

B. The Town, DDA and their consultants have reviewed financial projections for the Project and have determined that, absent the financial assistance authorized by this Agreement, it is not feasible for the Project to be developed at the scale proposed. This determination is based on the greater investment attendant with a more intensive development and the commercial and residential rents that the Downtown sub-area market can support.

C. The Project will generate additional property taxes, a portion of which will be utilized to mitigate the disparity between the development cost of the Project and a commercially reasonable return on investment in the Project. Development of the Project will likely serve to accelerate other development in the Downtown, which in turn will enhance sales and property tax increment within the DDA, thereby allowing additional investment by the Town and DDA in other projects within the Downtown.

D. Owner has committed to enhanced architectural and design elements in the Project that will add to the appeal and interest in the Downtown experience for the public at large. In addition, development of the Project will entail incurrence of certain extraordinary site development costs.

E. The Town and DDA are parties to "Intergovernmental Agreement Concerning the Selection and Funding of Downtown Development and Redevelopment Projects and Programs"

dated May 5, 2015 (“DDA IGA”). The Project has been approved by the Town and DDA as an eligible “DDA Project” suitable for support with “DDA Increment” as those terms are defined in the DDA IGA.

THEREFORE, in reliance on the matters set forth above and in consideration of the mutual promises contained in this Agreement, the Parties agree and covenant as follows:

COVENANTS:

**ARTICLE I
DEFINITIONS**

1.01 Defined Terms. The following words when capitalized in the text shall have the meanings indicated below.

Agreement: this Downtown Redevelopment Agreement.

Bonds: any note, bond, loan agreement, certificate or other instrument which is payable from revenues of the Town deposited in a special fund pursuant to 31-25-107(3)(a)(II), C.R.S., and which evidences a loan made to the Town.

Code: the Castle Rock Municipal Code, as amended.

Financial Obligation: means any agreement, including this Agreement, entered into by the Town which obligates the Town to pay monies deposited in a special fund pursuant to 31-25-107(3)(a)(II), C.R.S. and which is not a Bond.

Net DDA Property Tax Revenue: the total annual *ad valorem* property tax increment received by the Town within the DDA pursuant to 31-25-107(3)(a)(II), C.R.S. in a calendar year, less that portion of such funds which must be paid out or held in reserve to meet the requirements of any Bond under the terms of the applicable debt instrument(s).

Owner: 5th Avenue Apartments, “LLC”, the record owner of the Property, and developer of the Project. A grantee or other legal successor in interest to the Property upon assumption of title to the Property shall prospectively thereafter be considered the Owner and shall be exclusively entitled to compliance with and the benefit of this Agreement.

Project: a six-story, approximately 105,000 square foot building to be constructed on the Property which is designed for office and residential use. Key project elements are described in the attached *Exhibit 1*.

Project Approvals: the development and construction permits and approvals required under the Town Regulations for the Project, inclusive of applicable Public Works permits, building permits and certificates of occupancy.

Project Features: the enhanced design, architecture and building and construction materials incorporated into the Project, as reviewed and approved by the Design Review Board on September 13, 2017 and the Town Council concurrently with the approval of this Agreement, as more particularly described in the attached *Exhibit 1*.

Property: the legal description of the real property upon which the Project is developed described and/or depicted in the attached *Exhibit 2*.

Property Tax: the *per annum ad valorem* real property tax on the Property (inclusive of the improvements constituting the Project) paid by Owner, as adjusted for any protest, appeal, rebate or other adjustment under law.

Property Tax Base: the Property Tax assessed for tax year 2017, payable and collected in 2018.

Property Tax Increment: the *per annum* Property Tax in excess of the Property Tax Base.

Reimbursement Cap: \$850,000, the limit on total payments that may be paid under this Agreement

Town Regulations: the Town Charter, ordinances, resolutions, rules and regulations of the Town, including the Code, and other provisions of all zoning, subdivision and building codes, as the same may be amended from time to time.

Certain other terms are defined in the text of the Agreement and shall have the meaning indicated.

1.02 Cross- reference. Any reference to a section or article number, without further description, shall mean such section or article in the Agreement.

ARTICLE II APPLICATION AND EFFECT

2.01 Applicability. This Agreement and the financial commitments extended hereunder are exclusive to Owner, as Owner is defined in 1.01. No Property ground lessor, or Project tenant, business or occupant shall have any claim to the financial assistance under this Article II or any other provision of this Agreement. Accordingly, Owner shall indemnify and defend the Town and DDA against any claims to amounts paid to Owner asserted by third parties with interests in the Project. Such indemnification shall extend to the reasonable attorney's fees incurred by the Town and DDA.

2.02 Project Qualifications.

A. Owner shall construct the Project in compliance with the Project Features. Owner shall demonstrate compliance with the requirements for Project Features at the time of issuance of the

building permit for the Project. In addition, prior to start of the building façade construction, Owner shall demonstrate to Town and DDA that the actual construction materials to be utilized are as specified in the Project Features.

B. Concurrently with the application for the Project CO, as defined in 3.01.A, Owner shall submit to Town an itemization of the Project Features incorporated into the Project. Such submission shall contain supporting documentation as Town reasonably determines necessary to verify the inclusion of the Project Features.

C. Any material deviation from these Project Features shall require the approval of the Town and DDA, and shall be requested only in the event of material unavailability or the infeasibility of construction due to conditions unknown to the Parties at the time of execution of this Agreement. Approval of such modifications shall require the written concurrence of the Town Manager and DDA Executive Director. Owner may appeal an adverse decision of the Town Manager to the Town Council, whose determination shall be final and binding.

2.03 Project Maintenance. Owner shall maintain the Project building including the Project Features, and other elements of the Project in a fully functional and attractive condition during the term of this Agreement. Owner shall promptly make necessary repairs to the Project.

2.04 Town Regulations. Town Regulations shall apply to the development and construction of the Project and the use and occupancy of the Project. All necessary Project Approvals shall be obtained and maintained in good standing.

2.05 Not Exclusive. This Agreement does not restrict the Town or DDA from extending financial assistance incentives to any other project or enterprise, including projects that may contain similar attributes to those of the Project.

ARTICLE III FINANCIAL ASSISTANCE

3.01 Compliance Benchmarks.

A. All financial assistance contained in this Article III is conditioned on issuance by the Town of: (i) a building permit for the Project not later than July 1, 2018, and (ii) a certificate of occupancy for the Project ("Project CO") not later than August 1, 2019 ("Compliance Benchmarks"). Town shall not unreasonably delay or withhold the issuance of such permits. If either of the Compliance Benchmarks are not met, then at the option of the Town, this Agreement may be terminated, in which event it shall thereafter have no force or effect.

B. Alternatively, Town, at its sole option and discretion, may extend the Compliance Benchmarks by an additional six months. Any action taken by the Town under this Section shall be effected by written notice to the Owner by the Town Manager, and shall become effective and irrevocable as of the date of the notice. The cure rights afforded Owner under Section 4.03 shall not be applicable to notice given pursuant to this Section 3.01.

3.02 Property Tax Reimbursement.

A. Provided the Compliance Benchmarks have been met, annually, beginning with tax year 2019, payable and collected in 2020, Town shall reimburse Owner for 40% of the Property Tax Increment (“Tax Payment”), provided that payment of such Tax Payment shall be subject to the further limitation of subsection B. The Tax Payments shall expire on the first to occur of the following two events: (i) the Tax Payment for tax year 2037 payable in 2038 is made, or (ii) when the Reimbursement Cap is reached. The annual Tax Payments shall be made to Owner within 60 days of the Town’s receipt of the Property Tax Increment from Douglas County, Colorado.

B. In the event the Net DDA Property Tax Revenue in any year is less than the sum of (i) the Tax Payment and (ii) all other pledges of property tax increment by the Town and DDA under any other Financial Obligations in effect at that time ((i) and (ii) collectively, “DDA Tax Increment Pledge”), then this subsection (B) shall be operative. In that event, the Tax Payment shall be made for that year in the percentage derived by dividing the Net DDA Property Tax Revenue by the DDA Tax Increment Pledge. To illustrate, if in a year the DDA Tax Increment Pledge is \$100,000, but the Net DDA Property Tax Revenue is \$70,000, the Tax Payment to Owner shall be 70% of the amount otherwise required under this Agreement (the “Adjusted Tax Payment”).

C. The difference between the financially unconstrained Tax Payment and the Adjusted Tax Payment shall carry forward and shall be paid to Owner, in whole or in part, (proportionate to other deferred DDA Tax Increment Pledges) in subsequent year(s) when there is available Net DDA Property Tax Revenue. However, such carry-forward obligation shall expire when the right to Tax Payments lapses under Subsection A, above.

3.03 Subordination. The Town’s obligation to make the Tax Increment Payment is subordinate to the Town’s obligation to pay any current or future Bonds. The Bonds outstanding as of the date of this Agreement are listed on the attached *Exhibit 3*. Owner hereby agrees to execute and deliver within fifteen (15) days of request from the Town, an agreement and acknowledgement that: (i) such pledge, security interest in, or lien on the Tax Increment Payment is subordinate to the pledge, security interest or lien on the Incremental Revenues contained in any Bond document, and (ii) the lender under any Bond is a third-party beneficiary of this Agreement.

3.04 Limitation. Irrespective of any other provision in this Agreement, in no event shall the aggregate financial obligation of the Town or DDA under this Agreement exceed the Reimbursement Cap.

3.05 Damage or Destruction. In the event of the Project suffers a catastrophic loss or damage such that it is not habitable, the Tax Payments shall be suspended until such time as the Project is rebuilt or repaired to a functional condition. Such suspension in Tax Payments shall not extend the dates of lapse of the Property Tax Reimbursement as provided in 3.02. Owner shall at all times maintain casualty insurance coverage on the Project sufficient to support the repair or reconstruction of the Project in the event of such loss or damage.

**ARTICLE IV
OTHER PROVISIONS**

4.01 Event of Default. Failure of the Town or Owner to perform any covenant, agreement, obligation or provision of this Agreement, shall constitute an event of default under this Agreement.

4.02 Default Notice. In the event a party alleges that the other is in default, the non-defaulting party shall first notify the defaulting party(ies) in writing of such default, and specify the exact nature of the default in such notice. The defaulting party shall have twenty (20) working days from receipt of such notice within which to cure such default before the non-defaulting party may exercise any of its remedies.

4.03 Remedies. Upon default of this Agreement and failure to timely cure, the non-defaulting party shall have the right to take whatever action at law or in equity appears necessary or desirable to enforce performance and compliance with this Agreement, or to collect the monies then due and thereafter to become due. However, in the event of a default without cure by Owner, the Town's sole remedy shall be to deny payments under Article III which become due to Owner after the event of default. To the extent necessary, and only to such extent, Town waives any immunity provided by law to permit enforcement of this Agreement pursuant to the terms hereof by Owner.

4.04 Assignment. Owner may assign to any single entity the existing rights and obligations under this Agreement to a grantee of the Property, provided such entity expressly assumes all of Owner's then existing obligations under this Agreement, pursuant to a written agreement recorded in the public records of Douglas County, Colorado. At no time shall more than one entity be subject to the rights and obligations as Owner under this Agreement.

4.05 Governing Law. This Agreement shall be governed and construed in accordance with Colorado law and Douglas County shall be the proper venue for the commencement of any claims in state court.

4.06 Amendment. Any and all changes to this Agreement, in order to be mutually effective and binding upon the parties and their successors, must be in writing.

4.07 Notice. The addresses of the parties to this Agreement are listed below. Any and all notices allowed or required to be given in accordance with this Agreement are deemed to have been given when delivered to the other parties or three (3) days following the date the same is deposited in the United States mail, registered or certified, postage prepaid, return receipt requested, addressed to the other parties at the addresses noted; or such address as is subsequently endorsed in writing, or in the event of transfer of the Property to the address of such grantee as indicated in the recorded instrument whereby such grantee acquired an interest in the Property.

Town: Town Attorney
Town of Castle Rock
100 N. Wilcox Street
Castle Rock, CO 80104

DDA: Castle Rock Downtown Development Authority
18 S. Wilcox Street
Castle Rock, CO 80104

Owner: 5th Avenue Apartments “LLC”
367 Sandy Hollow Trail
Franktown, Colorado 80116

4.08 No Third Party Beneficiaries. It is expressly understood and agreed that enforcement of the terms and conditions of this Agreement, and all rights of action relating to such enforcement, shall be strictly reserved to Town and Owner, and nothing contained in this Agreement shall give or allow any such claim or right of action by any other third party on such Agreement. It is the express intention of the parties that any person other than Town or Owner receiving services or benefits under this Agreement shall be deemed to be an incidental beneficiary only.

4.09 Additional Documents. The parties agree to execute any additional documents or take any additional action that is necessary to carry out this Agreement.

4.10 Waiver. A waiver by any party to this Agreement of the breach of any term or provision of this Agreement shall not operate or be construed as a waiver of any subsequent breach by either party.

4.11 Entire Agreement. This instrument embodies the whole agreement of the parties. There are no promises, terms, conditions or obligations other than those contained herein, and this Agreement shall supersede all previous communications, representations, or agreements, either verbal or written.

4.12 Recordation. This Redevelopment Agreement and any amendments thereto shall be recorded in the public records of Douglas County, Colorado.

TOWN:

ATTEST:

TOWN OF CASTLE ROCK

Lisa Anderson
Lisa Anderson, Town Clerk

Jennifer Green
Jennifer Green, Mayor

Approved as to form:

Robert J. Slentz
Robert J. Slentz, Town Attorney

STATE OF COLORADO)
) ss.
COUNTY OF DOUGLAS)

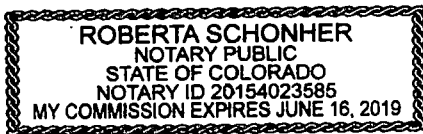
The foregoing instrument was acknowledged before me this 3 day of October, 2017 by Lisa Anderson as Town Clerk and Jennifer Green as Mayor of the Town of the Town of Castle Rock, Colorado.

Witness my official hand and seal.

My commission expires: 6-16-19

[SEAL]

Roberta Schonher
Notary Public



DDA:

**CASTLE ROCK DOWNTOWN
DEVELOPMENT AUTHORITY**

By: *Gregory Boman*

Its: *Chairman*

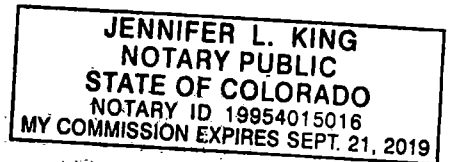
STATE OF COLORADO)
) ss.
COUNTY OF DOUGLAS)

The foregoing instrument was acknowledged before me this 15th day of November, 2017 by Gregory Boman as Chairman for the Castle Rock Downtown Development Authority.

Witness my official hand and seal.
My commission expires: 7-21-2019

[SEAL]

Jennifer King
Notary Public



Approved as to form:

Corey Hoffman, General Counsel

DDA:

**CASTLE ROCK DOWNTOWN
DEVELOPMENT AUTHORITY**

By: *Gregory B Boman*

Its: *Chairman*

STATE OF COLORADO)
) ss.
COUNTY OF DOUGLAS)

The foregoing instrument was acknowledged before me this 1st day of November, 2017 by Gregory Boman as Chairman for the Castle Rock Downtown Development Authority.

Witness my official hand and seal.
My commission expires: 7-21-2019

[SEAL]

Jennifer L King
Notary Public

JENNIFER L. KING
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 19954015016
MY COMMISSION EXPIRES SEPT. 21, 2019

Approved as to form:

Corey Hoffman
Corey Hoffman, General Counsel

OWNER:

5TH AVENUE APARTMENTS "LLC"
a Colorado limited liability company.

By: [Signature]

Its: Member/Manager

STATE OF COLORADO)
) ss.
COUNTY OF DOUGLAS)

The foregoing instrument was acknowledged before me this 10TH day of OCTOBER, 2015 ~~2017~~ by TIM EVANS as MEMBER/ MANAGER for 5th Avenue Apartments "LLC", a Colorado limited liability company.

Witness my official hand and seal.
My commission expires: 12/12/2020

[SEAL]

[Signature]
Notary Public

Brenda K Young-Weber
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20124080396
MY COMMISSION EXPIRES 12/12/20

EXHIBIT 1
PROJECT DESCRIPTION AND FEATURES

Project Name: 5th Street Apartments
Developer: Gene Gregory
Location: 505 Jerry Street, Castle Rock, CO 80104

Legal Description:

Project Description:

The proposed re-development proposes redevelopment of two sites adjacent to the Downtown Core at 5th Street and Jerry Street. This project is consistent with the DDA Plan of Development bringing largely residential space to Downtown Castle Rock, and a small amount of office.

The 5th Street Apartments building will be a 6 story mixed use (largely residential) building which will be comprised of two floors of parking (1 below grade) and 5 floors of residential. The project will provide a total of 78 on site parking spaces and enter and exit the parking garage on 5th Street for the upper parking and enter and exit on Jerry Street for the underground.

The building will consist of 50 one bedroom units and 15 two bedroom units and 5 offices of 515 square feet. The corner will be built to look like it is a storefront design.

On the 5th floor deck, there will be a hot tub, swimming tub, fire pits and mushroom heaters and barbeques.

This largely residential project increases density in Downtown Castle Rock and a creates a stronger customer base for Downtown small businesses. This project provides for-rent space to the community for young professionals, small families and empty nesters who desire to live in a walkable, vibrant place.

Floor plans and renderings are included below and show the square feet per use.

Project Enhancements:

The Project will represent a professional design using high quality materials that are consistent with similar high quality mixed-use projects, as determined by the Town. The design and construction shall be compatible with the vision of Downtown Castle Rock, while incorporating design elements that both represent contemporary materials and design, that are currently being used in high quality development projects, and that blend the Project into the traditional design of the existing downtown. The Project has proposed and will be required to design, fabricate and install a blade mounted sign on the corner of the façade. This design shall be reviewed and approved by the Town prior to design and

installation to ensure the quality design and compatibility. All future enhancements proposed for the Project that may not be shown shall require Town approval and adherence to described design and quality. .

Building materials include the following:

Brick: Acme Company "Chama Valley King Size"
Stucco: Small and Company – Nexux Construction 5th Avenue "427 Oatmeal"
(SNLTIC Fine Medium)

Building Elevations, Architectural Features and Floor Plans:

Elevations and floor plans are included below, as approved by the Design Review Board, Downtown Development Authority Board and Town Council and as further depicted on the approved Site Development Plan.



5TH STREET APARTMENTS

5TH & JERRY STREET
CASTLE ROCK, COLORADO 80104

Copyright 2017
Wong Strategic Architects
300 South Main Street
Suite 200
Denver, Colorado 80202
(303) 733-0355
www.wongstrategic.com

WONG STRATEGIC
architects

ABBREVIATIONS

CODE AUTHORITIES

JURISDICTION

PROJECT TEAM

4	1	IT1	E	L	L	S	S			
L	Angle	EA	E	East	LAB	Laboratory	S	S	Stair	
C	Circle	LA	L	Light	LAV	Lavatory	LS	LS	Square Foot	
CA	Center of Round	E	East	EQ	Equation	JMB	Joint Material	D	D	D
#	Count or Number	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
ACT	Accommodating	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
AD	Area Drain	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
ADL	Adjacent	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
AFF	Area Finished Floor	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
ACR	Apartment	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
AL	Aluminum	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
ALL	All	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
APPROX	Approximate	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
ARCA	Architectural	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
AS	As	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
BS	Beam	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
BT	Bottom	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
BUT	Butt	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
BUT	Butt	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
CALL	Callout	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
CA	Center of Area	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
CA	Center of Area	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
CA	Center of Area	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
CA	Center of Area	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
CA	Center of Area	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
CA	Center of Area	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
CA	Center of Area	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
CA	Center of Area	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
CA	Center of Area	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
CA	Center of Area	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet
CA	Center of Area	E	East	EB	Elevation	PH	Plumbing	SR	SR	Square Feet

BUILDING CODE	2015 INTERNATIONAL BUILDING CODE
MECHANICAL CODE	2015 INTERNATIONAL MECHANICAL CODE
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE
PLUMBING CODE	2012 NATIONAL PLUMBING CODE
WATER SUPPLY CODE	2012 INTERNATIONAL WATER SUPPLY CODE
DOMESTIC SEWER AND WASTE CODE	2012 INTERNATIONAL DOMESTIC SEWER AND WASTE CODE
SOIL REMEDIATION AND POLLUTION CONTROL CODE	2012 INTERNATIONAL SOIL REMEDIATION AND POLLUTION CONTROL CODE

TOWN OF CASTLE ROCK	CASTLE ROCK FIRE DEPARTMENT
300 PERMIT ST CASTLE ROCK, CO 80104 (303) 733-5555	701 W. HOLCOMB ST CASTLE ROCK, CO 80104 (303) 955-1568

OWNER: 5TH STREET APARTMENTS, LLC 500 WEST WASHINGTON AVE FRANKFORD, CO 80146 733-200-0000 CONTRACT MANAGER: RICHARD WEINGARDT R. Weingardt@wca.com	ARCHITECT: WONG STRAUSS ARCHITECTS 820 SOUTH PERMUT DENVER, COLORADO 80202 RICHARD STRAUSS, AIA CONTRACT MANAGER: RICHARD WEINGARDT R. Weingardt@wca.com
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CODE SUMMARY

NOTE: FOR PURPOSES OF LABELING FLOORS, THE NAMING OF ALL LEVELS ARE REFERENCED FROM THE SAME GRADE. THE CODE ANALYSIS FOR THE BUILDING IS BASED ON DESIGNATING THE SEPARATE BUILDING BASED ON HORIZONTAL SEPARATION BETWEEN PARTS 5-2 "POODUM" A-2 ABOVE TO REPRESENTATIVE COMPARISON OF STORIES ALLOWED.

BEFORE THE EXISTING FLOOR IS TOTAL STORIES OF THE BUILDING FROM GRADE, BUT IS ACTUALLY THE STORY ABOVE THE RATED HORIZONTAL SEPARATION PER CODE ALLOWANCE.

BUILDING AREA CALCULATIONS NET (DASHED INSIDE FACE OF EXTERIOR WALLS)

FLOOR	AREA (SQ FT)
PARKING LEVEL #3	12,596
FIRST FLOOR	12,596 (15,000 NET)
SECOND FLOOR	12,596
THIRD FLOOR	12,596
FOURTH FLOOR	12,596
FIFTH FLOOR	12,596
SIXTH FLOOR	12,596
TOTAL PARKING AREA	36,800
TOTAL FLOOR AREA	75,184
NET FLOOR AREA	62,588

ACCESSIBLE DWELLING UNITS REQUIRED PER COLORADO REVISED STATUTE 8-1-101

Point values	5 points required	10 points required
Point values	5 points required	10 points required
Point values	5 points required	10 points required

APARTMENT UNIT TYPES

Unit Type	Count
1-BR	2
2-BR	8
3-BR	12
4-BR	18
5-BR	25
6-BR	35
7-BR	45
8-BR	55
9-BR	65
10-BR	75
11-BR	85
12-BR	95

STRUCTURE:
RICHARD WEINGARDT CONSULTANTS
705 EAST HAMPDEN AVE, SUITE 220
DENVER, COLORADO
(303) 733-2233
JOHN DAVIS & BOEY
630 W. WASHINGTON ST
CONTACT: TOM HAYES
T.Hayes@wca.com

MEP:
EER LLC
1001 BEECH ST
CENTRAL CITY, CO 81111
CONTACT: LARRY PIERCE
L.Pierce@eer.com

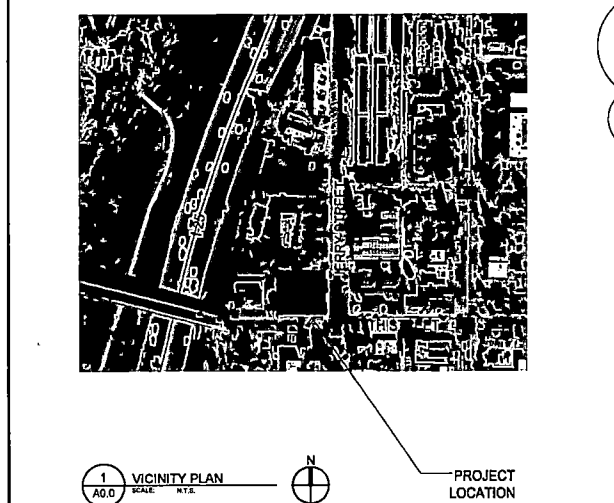
ELECTRICAL:
ELECTRICAL SERVICE UNIT
CONTACT: STEVE BENTLEY
E.Stebentley@esu.com

SCOPE OF WORK

PROJECT IS A NEW 12 LEVEL PARKING GARAGE WITH 5-STORY MIXED USE BUILDING ABOVE FOR APARTMENTS AND OFFICES LOCATED IN THE TOWN OF CASTLE ROCK. PRIMARY CONSTRUCTION: STEEL FRAME, CONCRETE. INCLUDES COMMON AREAS, OFFICE, OFFICE RESTROOMS, JANITOR, MECHANICAL, ELECTRICAL, ROOMS AND STORAGE UNITS.

TENANT SPACE TO BE SPECIFIED AND SUBMITTED SEPARATELY FOR ANY BUILDOUT OF THESE AREAS.

THERE ARE 15 RECREATIONAL APARTMENT UNITS ON EACH FLOOR, 3 (3) BEDROOM UNITS & 12 (12) ONE-BEDROOM WITH A COMMON LAUNDRY AND FITNESS FACILITIES. THE TOP FLOOR WILL HAVE OPEN OUTDOOR PATIO, INCLUDING BIODOMES, VEGGIE PATIO AND SPA.



101 Occupancy: The amount in Section 510.2 through 510.4 shall permit the use of listed conditions that are not listed in Table 510.1. The amount in Section 510.2 through 510.4 shall permit the use of listed conditions that are not listed in Table 510.1. The amount in Section 510.2 through 510.4 shall permit the use of listed conditions that are not listed in Table 510.1.

510.2 International Building Code provisions. A building that is intended to be occupied by one or more persons who are not family members, including a temporary occupancy, shall comply with the provisions of one or more of the following sections:

1. The building shall be designed to accommodate the maximum occupancy of not less than 3 hours.
2. The building shall be designed to accommodate the maximum occupancy of not less than 2 hours.
3. The building shall be designed to accommodate the maximum occupancy of not less than 1 hour.

(2) The existing floor is total stories of the building from grade, but is actually the story above the rated horizontal separation per code allowance.

BUILDING AREA CALCULATIONS NET (DASHED INSIDE FACE OF EXTERIOR WALLS)

FLOOR	AREA (SQ FT)
PARKING LEVEL #3	12,596
FIRST FLOOR	12,596 (15,000 NET)
SECOND FLOOR	12,596
THIRD FLOOR	12,596
FOURTH FLOOR	12,596
FIFTH FLOOR	12,596
SIXTH FLOOR	12,596
TOTAL PARKING AREA	36,800
TOTAL FLOOR AREA	75,184
NET FLOOR AREA	62,588

DRAWING INDEX

CIVIL	ARCHITECTURAL	MECHANICAL/ELECTRICAL/PLUMBING
UNDER SEPARATE COVER	AS1 CODE INFORMATION	ME31 MECHANICAL SPECIFICATIONS
LANDSCAPE	AS2 CODE PLAN ORGANIZATION	ME32 MECHANICAL LEGEND
UNDER SEPARATE COVER	AS3 CODE PLAN ORGANIZATION	ME33 LOWER GARAGE MECHANICAL PLAN
	AS4 CODE PLAN ORGANIZATION	ME34 UPPER LEVEL GARAGE MECHANICAL PLAN
	AS5 WALL/CEILING ASSEMBLIES	ME35 SECOND FLOOR FIFTH FLOOR MECHANICAL PLAN
ADD PROJECT INFORMATION PAGE	AS6 WALL/CEILING ASSEMBLIES	ME36 MECHANICAL ROOF PLAN
	AS7 WALL/CEILING ASSEMBLIES	ME37 MECHANICAL UNIT PLAN
	AS8 WALL/CEILING ASSEMBLIES	ME38 MECHANICAL DETAILS
	AS9 WALL/CEILING ASSEMBLIES	ME39 MECHANICAL CONNECTION
	AS10 WALL/CEILING ASSEMBLIES	
	AS11 WALL/CEILING ASSEMBLIES	
	AS12 WALL/CEILING ASSEMBLIES	
	AS13 WALL/CEILING ASSEMBLIES	
	AS14 WALL/CEILING ASSEMBLIES	
	AS15 WALL/CEILING ASSEMBLIES	
	AS16 WALL/CEILING ASSEMBLIES	
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	AS78 WALL/CEILING ASSEMBLIES	
	AS79 WALL/CEILING ASSEMBLIES	
	AS80 WALL/CEILING ASSEMBLIES	

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architects

5TH STREET APARTMENTS
5th & Jerry Street
Castle Rock, CO 80104

DATE: 06/17/2017
DRAWN BY: [Signature]
CHECKED BY: [Signature]
PROJECT NO.: 150345
DRAWING TITLE: PROJECT INFORMATION
DRAWING NUMBER: A0.0

DATE: 06/17/2017
DRAWN BY: [Signature]
CHECKED BY: [Signature]
PROJECT NO.: 150345
DRAWING TITLE: PROJECT INFORMATION
DRAWING NUMBER: A0.0

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5TH STREET APARTMENTS
5th & Jerry Street
Castle Rock, CO 80104



DATE:	06/24/2017
ISSUE:	06/23/2017
DESIGN:	R.J.P./A.P.
CHECKED:	R.J.P.
PROJECT NO.:	1501018
DRAWING TITLE:	PARKING LEVEL 2
DRAWING NUMBER:	G1.2

PLAN GENERAL NOTES:

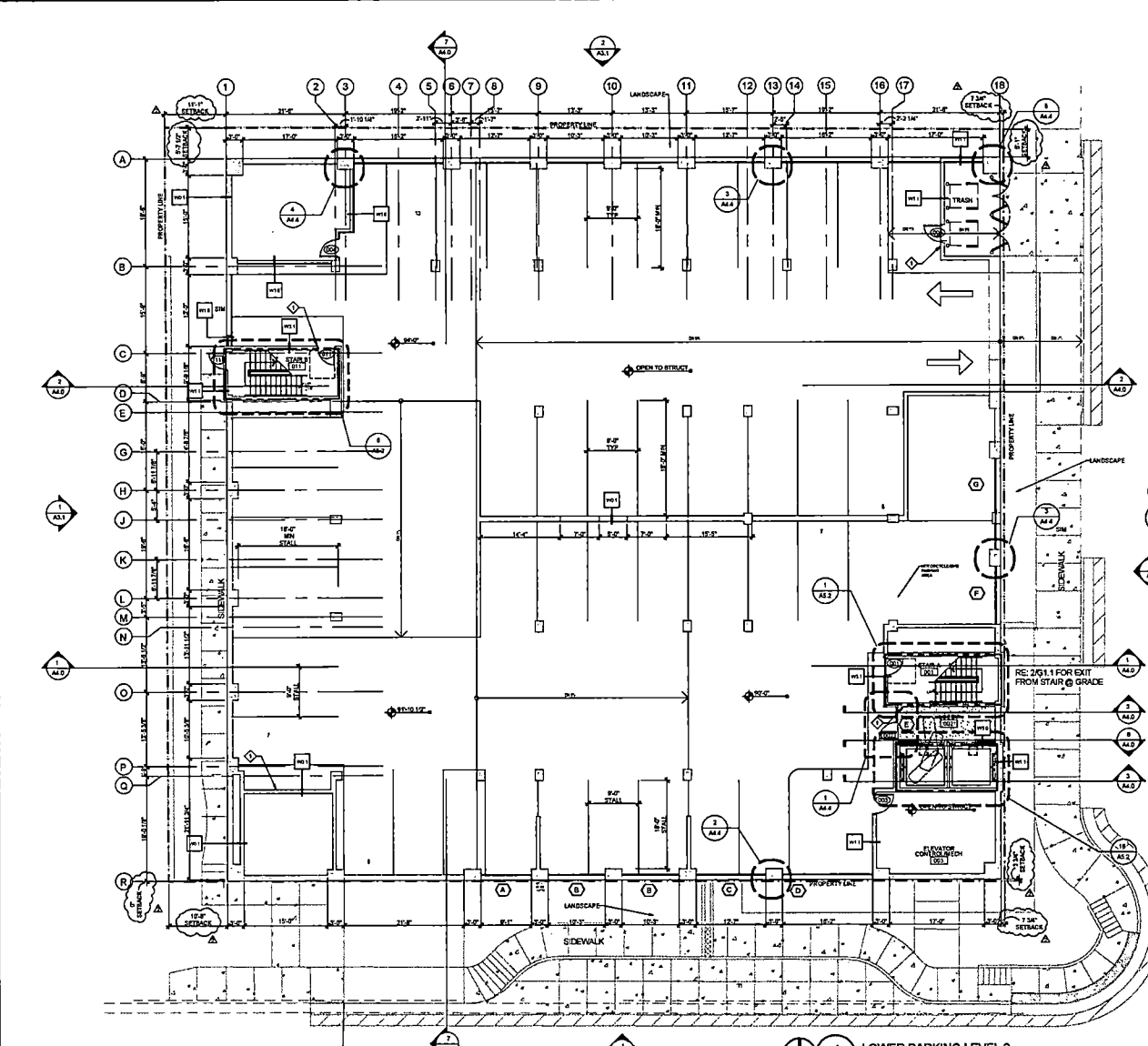
- INTERIOR WALLS ARE 2" WOOD UNLESS NOTED OTHERWISE. CONSTRUCTION NOTED BY WALL TYPE OR FINISH.
- FINISHES SHALL BE TO MATCH THE FINISHES OF ADJACENT WALLS UNLESS NOTED OTHERWISE.
- FINISHES SHALL BE TO MATCH THE FINISHES OF ADJACENT WALLS UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING CONDITIONS AND IS TO PROVIDE AREAS FOR ACCOMMODATING ANY SYSTEMS AFFECTED BY WORK. ALL WALLS SHALL BE FINISHED TO THE FACE OF FINISHES.
- CONTRACTOR TO PROVIDE PERMANENT REGULATORY SIGNAGE AS REQUIRED BY THE BUILDING DEPARTMENT AND FIRE DEPARTMENT.
- ALL WALL STUD SPACING TO BE 16" O.C. UNLESS NOTED OTHERWISE.
- PROVIDE CONCRETE FOOTING TO PROVIDE ANCHORAGE FOR EXTERIOR WALLS OR OTHER WALLS THAT EXCEED THE HEIGHTS OF EXISTING WALLS.
- PROVIDE AND INSTALL THE EXTERIOR CURB PER FIRE DEPARTMENT REQUIREMENTS.
- DOORWAYS BEYOND FLOORS WITH DOOR OPENING TO BE 48" MIN. CLEARANCE.

FLOOR PLAN KEY NOTES:

- FIRE EXTINGUISHER: LOCATE AND INSTALL PER FIRE DEPARTMENT REQUIREMENTS.
- PROVIDE AND INSTALL PER FIRE DEPT.
- UNFINISHED TO MATCH FINISHES OF ADJACENT WALLS UNLESS NOTED OTHERWISE.

WALL TYPES LEGEND:

- W01 2" INTERIOR CONCRETE WALL, C/P CONCRETE
- W02 2" INTERIOR CONCRETE WALL, C/P CONCRETE WITH BRICK VENEER
- W03 2" INTERIOR CONCRETE WALL, C/P CONCRETE
- W04 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W05 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W06 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W07 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W08 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W09 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W10 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W11 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W12 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W13 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W14 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W15 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W16 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W17 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W18 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W19 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W20 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W21 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W22 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W23 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W24 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W25 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W26 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W27 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W28 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W29 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W30 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W31 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W32 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W33 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W34 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W35 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W36 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W37 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W38 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W39 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W40 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W41 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W42 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W43 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W44 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W45 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W46 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W47 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W48 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W49 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.
- W50 2" EXTERIOR WALL, 2" EPS INSULATION, TREATED 1" WOOD STUDS WITH 2" RIGID INSULATION ON 2" EXTERIOR AND 1" WOOD STUDS WITH 2" RIGID INSULATION ON 1" INTERIOR.



PARKING SPACES PROVIDED:
UPPER LEVEL
33 SPACES
4 ACCESSIBLE INCLUDING 1 VAN
37 TOTAL

LOWER LEVEL:
41 SPACES

TOTAL PROVIDED 78 SPACES

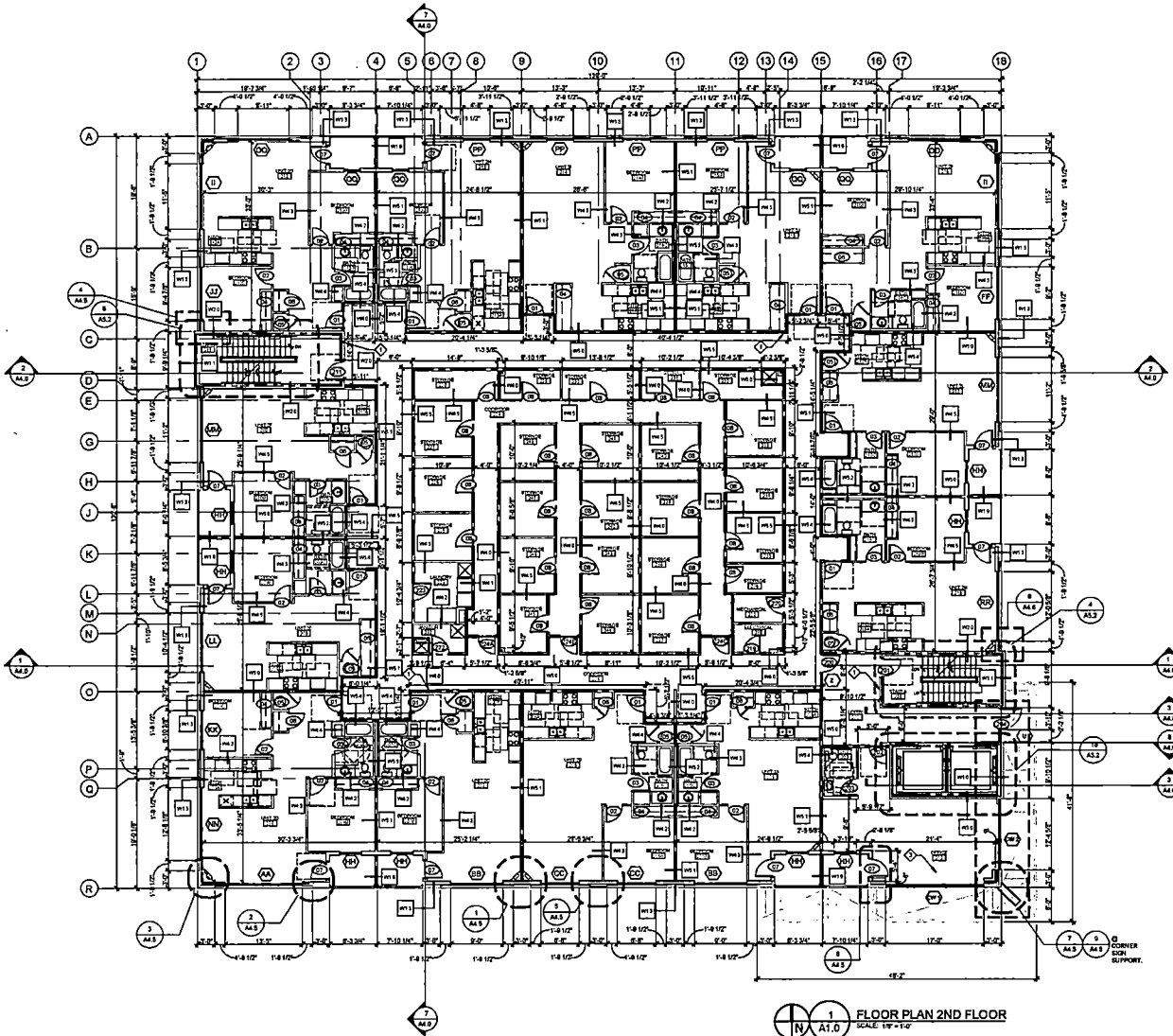
5TH STREET
(80 FEET PUBLIC RIGHT OF WAY)

LOWER PARKING LEVEL 2
SCALE: 1/8" = 1'-0"

NOTE: SITE PLAN INCLUDED FOR INFORMATION ONLY. CIVIL/LANDSCAPING DOCUMENTS PROVIDED UNDER SEPARATE SUBMITTAL.

ACCESSIBLE ROUTE

JERRY STREET
(80 FEET PUBLIC RIGHT OF WAY)



PLAN GENERAL NOTES:

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND IS RESPONSIBLE FOR ACCOMMODATING ANY SYSTEMS INTERFERING WITH THE WALLS AND PARTITIONS AS SHOWN.
2. CONSTRUCTION TO PROVIDE PERMANENT REGULATOR STORAGE AS REQUIRED BY THE BUILDING DEPARTMENT AND THE DEPARTMENT.
3. ALL WALL STUD SPACING TO BE 16" O.C. UNLESS NOTED OTHERWISE.
4. PROVIDE COPING ON BOTTOM FLATE TO PROVIDE Airtight JOINT ON TOP OR BOTTOM OF ALL WALLS THE EXTERIOR TO THE INTERIOR OF STRUCTURE.
5. PROVIDE AND INSTALL FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENTS.
6. COORDINATE WITH ARCHITECT FOR ALL APPLICATIONS AND PERMITS.

FLOOR PLAN KEY NOTES:

- ◆ FIRE EXTINGUISHER, LOCATE AND INSTALL PER FIRE DEPT. REQUIREMENTS.
- ◆ PROVIDE AND INSTALL FIRE DEPT.
- ◆ SCHEDULE TOWARD SPACES FINISH LEVELS AND FINISHES TO BE DETERMINED BY GENERAL CONTRACTOR/OWNER.

WALL TYPES LEGEND:

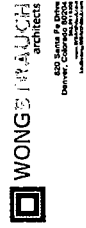
- RE: 3/4" FOR OTHER AGILITIES AND FINISHES
- W01 2" EXTERIOR CONCRETE WALL, C/P CONCRETE WITH BRICK VENEER
 - W02 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W03 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W04 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W05 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W06 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W07 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W08 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W09 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W10 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W11 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W12 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W13 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W14 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W15 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W16 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W17 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W18 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
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 - W21 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
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 - W23 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W24 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
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 - W26 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
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 - W31 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W32 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W33 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W34 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W35 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W36 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W37 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W38 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W39 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W40 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W41 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W42 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W43 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W44 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W45 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W46 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W47 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W48 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W49 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 - W50 2" EXTERIOR CONCRETE WALL, C/P CONCRETE

NOTE: PROVIDE FIRE SAFETY EQUIPMENT IN ROOMS AND CORRIDORS AS SHOWN. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPT. REQUIREMENTS. PROVIDE AND INSTALL FIRE DEPT. SCHEDULE TOWARD SPACES FINISH LEVELS AND FINISHES TO BE DETERMINED BY GENERAL CONTRACTOR/OWNER.

1" - 1/8" WALL
2" - 1/4" WALL

NOTE: ENLARGED UNIT PLANS ON SHEET A5.0/A5.1

5TH STREET APARTMENTS
5th & Jerry Street
Castle Rock, CO 80104

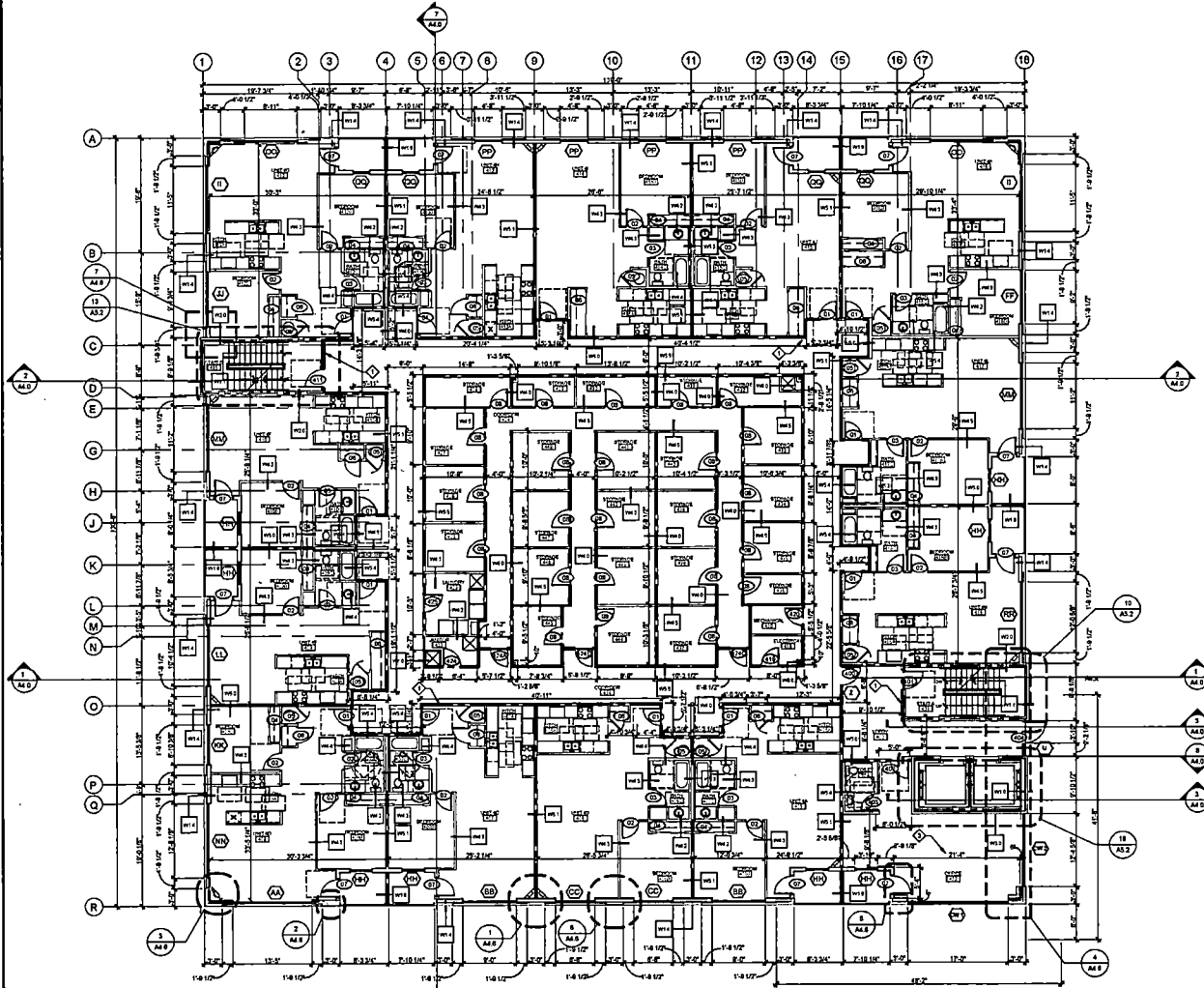


5TH STREET APARTMENTS
5th & Jerry Street
Castle Rock, CO 80104



DATE: 04/24/2017
ISSUE NO: 03/13/2017
REVISED: 06/11/2017

DATE: 06/11/2017
DRAWN: BJK/JP
CHECKED: BJK
PROJECT NO: 120216
DRAWING TITLE: FLOOR PLAN 2ND FLOOR
DRAWING NUMBER:



FLOOR PLAN 4TH FLOOR
SCALE 1/4" = 1'-0"

PLAN GENERAL NOTES:
 NOTES BELOW REFER TO PLAN A5.0/1 UNLESS REPORTED OR ENLARGED PLANS FOR WALL TYPES & WOOD DIMENSIONS ARE SHOWN.
 1 INTERIOR STUD WALLS ARE 2" WOOD UNLESS NOTED OTHERWISE. CONSTRUCTION IS NOTED BY WALL TYPE ON PLAN.
 2 EXTERIOR WALLS ARE 2" WOOD UNLESS NOTED OTHERWISE. CONSTRUCTION IS NOTED BY WALL TYPE ON PLAN.
 3 FLOOR/CEILING ALL OVERLAYS WITH CLEARANCE AS NOTED.
 4 GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH OTHER CONTRACTORS AND PROVIDING FOR ACCOMMODATING ALL SYSTEMS INTERFERED BY THIS WALL TYPE. ALL CODE REQUIREMENTS ARE TO BE MET.
 5 CONTRACTOR TO PROVIDE PERMANENT REGULATORY SIGNAGE AS REQUIRED BY THE PLANNING DEPARTMENT AND FIRE DEPARTMENT.
 6 ALL WALL STUD SPACING TO BE 16" O.C. UNLESS NOTED OTHERWISE.
 7 PROVIDE CONNECTION BOTTOM FLUTE TO PROVIDE AIR PROTECTION AS PER CODE OF ALL WALLS THE EXISTING TO THE LARGEST OF STRUCTURE.
 8 PROVIDE AND INSTALL FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENTS.
 9 COORDINATE FINISH WALLS WITH DOOR APPLICATIONS AND FINISH BOX LOCATION.

FLOOR PLAN KEY NOTES:

- ◆ FIRE EXTINGUISHER - LOCATE AND INSTALL PER DEPT REQUIREMENTS
- ◆ PROVIDE AND INSTALL FIRE DEPT
- ◆ UNFINISHED TENSILE SPACES FINAL LAYOUT AND FINISHES TO BE DETERMINED BY GENERAL CONTRACTOR/OWNER

WALL TYPES LEGEND:
 W1 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W2 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W3 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W4 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W5 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W6 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W7 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W8 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W9 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W10 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W11 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W12 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W13 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W14 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W15 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
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 W94 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W95 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
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 W97 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W98 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W99 2" EXTERIOR CONCRETE WALL, C/P CONCRETE
 W100 2" EXTERIOR CONCRETE WALL, C/P CONCRETE

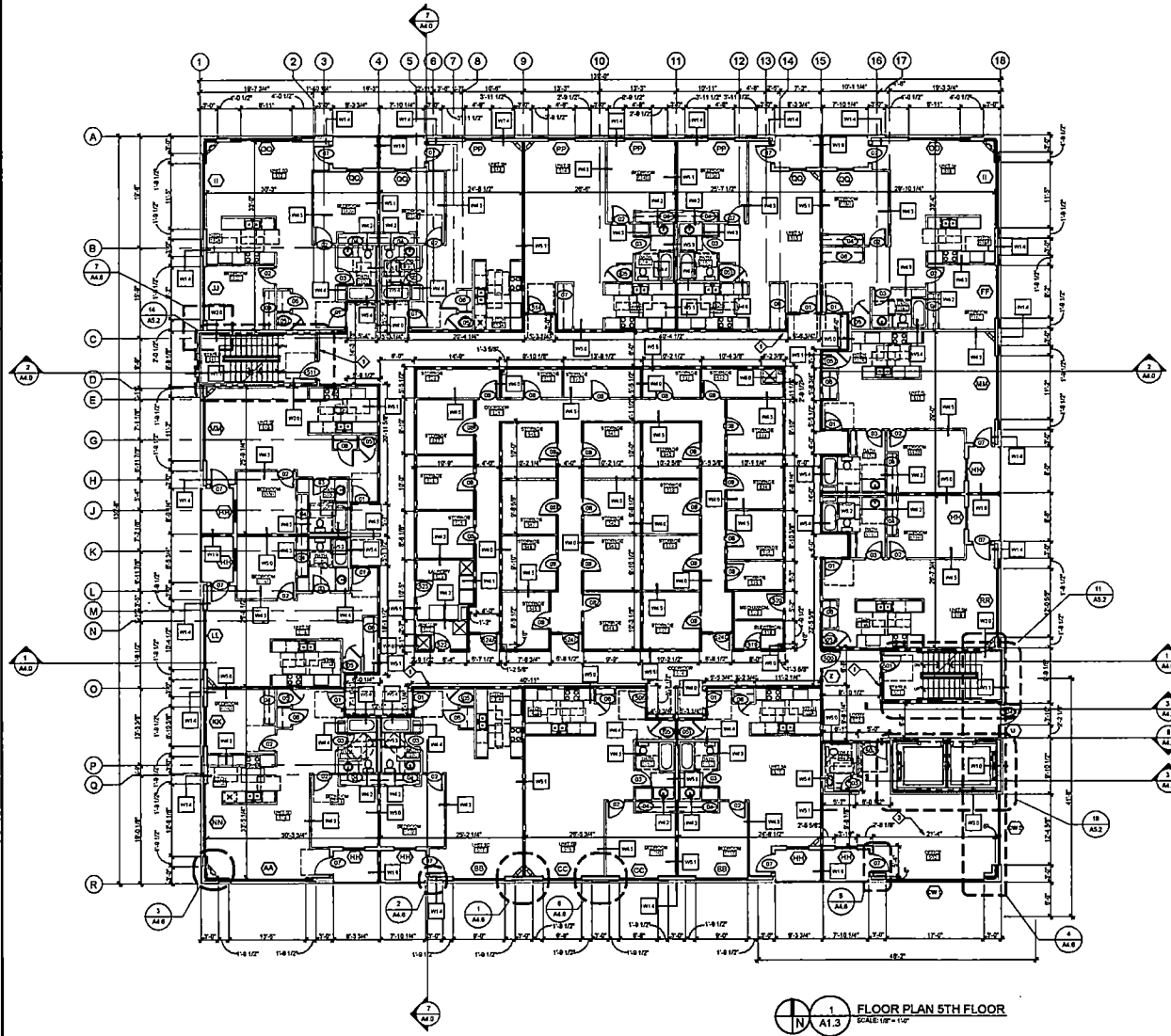
NOTE: ENLARGED UNIT PLANS ON SHEET A5.0/A5.1

5TH STREET APARTMENTS
 5th & Jerry Street
 Castle Rock, CO 80104

DATE: 04/24/2017
 DRAWN: R.J.P./J.P.
 CHECKED: R.J.P.
 PROJECT NO: 1201016
 DRAWING TITLE: 4TH FLOOR PLAN
 DRAWING NUMBER: A1.2

WONGS ARCHITECTS
 4000 SOUTH PINE AVENUE
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CITY OF CASTLE ROCK
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 CASTLE ROCK, CO 80104
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A1.3
N
FLOOR PLAN 5TH FLOOR
SCALE 1/8" = 1'-0"

PLAN GENERAL NOTES:

- 1 INTERIOR STUD WALLS ARE 2" WOOD UNLESS NOTED OTHERWISE. CONSTRUCTION IS NOTED BY WALL TYPE IN PLAN.
- 2 DIMENSIONS RELATIVE TO WALLS ARE THIRTYTHIRD PART OF STUD TO FACE OF STUD OR DIMENSIONS WALLS PROJECT FACE OF STUD TO FACE OF STUD OR DIMENSION.
- 3 FIELD SPACING ALL DIMENSIONS WITH TOLERANCES AS NOTED IN PLAN.
- 4 GENERAL CONTRACTOR IS RESPONSIBLE FOR LOCATION AND VERIFYING CONDITIONS AND IS RESPONSIBLE FOR ACCOMMODATING ANY SYSTEMS AFFECTED TO WORK AS NOTED. ALL ABOVE REQUIREMENTS ARE TO BE ADHERED TO.
- 5 CONTRACTOR TO PROVIDE PERMANENT REGULATORS EQUIVALENT AS REQUIRED BY THE BUILDING DEPARTMENT AND FIRE DEPARTMENT.
- 6 ALL WALL STUD SPACING TO BE 16" O.C. UNLESS NOTED OTHERWISE.
- 7 PROVIDE CONSTRUCTION DETAIL TO PROVIDE MINIMUM PROTECTION OF TOP OF ALL WALLS TO EXCEED TO THE EXTERIOR OF STRUCTURE AS NOTED.
- 8 PROVIDE AND INSTALL WALL TYPE EXPANSION PER FIRE DEPARTMENT REQUIREMENTS.
- 9 LOCATIONS OF VENTS & LOOPS WITH WALL APPLICATIONS AND PROVISION LOCATION.

FLOOR PLAN KEY NOTES:

- ◆ FIRE DETECTOR: LOCATE AND NOTAL FIRE DEPT. REQUIREMENTS
- ◆ PROVIDE AND NOTAL PER FIRE DEPT.
- ◆ VENT HOOKS TO BE DETERMINED BY GENERAL CONTRACTOR OWNER

WALL TYPES LEGEND:

- W1 3/4" EXTERIOR CONCRETE WALL 8" C/P CONCRETE
- W2 3/4" EXTERIOR CONCRETE WALL 8" C/P CONCRETE WITH REINFORCER
- W3 1/2" EXTERIOR CONCRETE WALL 8" C/P CONCRETE
- W4 2" EXTERIOR WALL 2" FIRE RATED MASONRY TREATED FIBER WOOD STUDS WITH 3/8" BATT INSULATION 2 LAYERS OF 1/2" GYP BOARD INTERIOR AND 1/2" LAYER OF 5/8" GYP BOARD EXTERIOR ON 16" O.C. FIBER WOOD STUDS WITH 1/2" BATT INSULATION
- W5 2" EXTERIOR WALL 2" FIRE RATED MASONRY TREATED FIBER WOOD STUDS WITH 3/8" BATT INSULATION 2 LAYERS OF 1/2" GYP BOARD INTERIOR AND 1/2" LAYER OF 5/8" GYP BOARD EXTERIOR ON 16" O.C. FIBER WOOD STUDS WITH 1/2" BATT INSULATION
- W6 1 1/2" EXTERIOR WALL 1 1/2" FIRE RATED MASONRY TREATED FIBER WOOD STUDS WITH 3/8" BATT INSULATION 2 LAYERS OF 1/2" GYP BOARD INTERIOR AND 1/2" LAYER OF 5/8" GYP BOARD EXTERIOR ON 16" O.C. FIBER WOOD STUDS WITH 1/2" BATT INSULATION
- W7 1 1/4" EXTERIOR STUD WALL 1 1/4" COAT STUDS ON WOOD BEAMS ON 16" O.C. STUDS WITH 3/8" BATT INSULATION
- W8 EXTERIOR STUD WALL 1 1/2" COAT STUDS ON WOOD BEAMS ON 16" O.C. STUDS WITH 3/8" BATT INSULATION W/RT 1" O/P REVISIONS
- W9 2 1/4" EXTERIOR WALL 2 1/4" FIRE RATED MASONRY TREATED FIBER WOOD STUDS WITH 3/8" BATT INSULATION 2 LAYERS OF 1/2" GYP BOARD INTERIOR AND 1/2" LAYER OF 5/8" GYP BOARD EXTERIOR ON 16" O.C. FIBER WOOD STUDS WITH 1/2" BATT INSULATION
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- W93 1 1/4" EXTERIOR WALL 1 1/4" COAT STUDS ON WOOD BEAMS ON 16" O.C. STUDS WITH 3/8" BATT INSULATION
- W94 1 1/4" EXTERIOR WALL 1 1/4" COAT STUDS ON WOOD BEAMS ON 16" O.C. STUDS WITH 3/8" BATT INSULATION
- W95 1 1/4" EXTERIOR WALL 1 1/4" COAT STUDS ON WOOD BEAMS ON 16" O.C. STUDS WITH 3/8" BATT INSULATION
- W96 1 1/4" EXTERIOR WALL 1 1/4" COAT STUDS ON WOOD BEAMS ON 16" O.C. STUDS WITH 3/8" BATT INSULATION
- W97 1 1/4" EXTERIOR WALL 1 1/4" COAT STUDS ON WOOD BEAMS ON 16" O.C. STUDS WITH 3/8" BATT INSULATION
- W98 1 1/4" EXTERIOR WALL 1 1/4" COAT STUDS ON WOOD BEAMS ON 16" O.C. STUDS WITH 3/8" BATT INSULATION
- W99 1 1/4" EXTERIOR WALL 1 1/4" COAT STUDS ON WOOD BEAMS ON 16" O.C. STUDS WITH 3/8" BATT INSULATION
- W100 1 1/4" EXTERIOR WALL 1 1/4" COAT STUDS ON WOOD BEAMS ON 16" O.C. STUDS WITH 3/8" BATT INSULATION

NOTE: ENLARGED UNIT PLANS ON SHEET A5.01A.1

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architects

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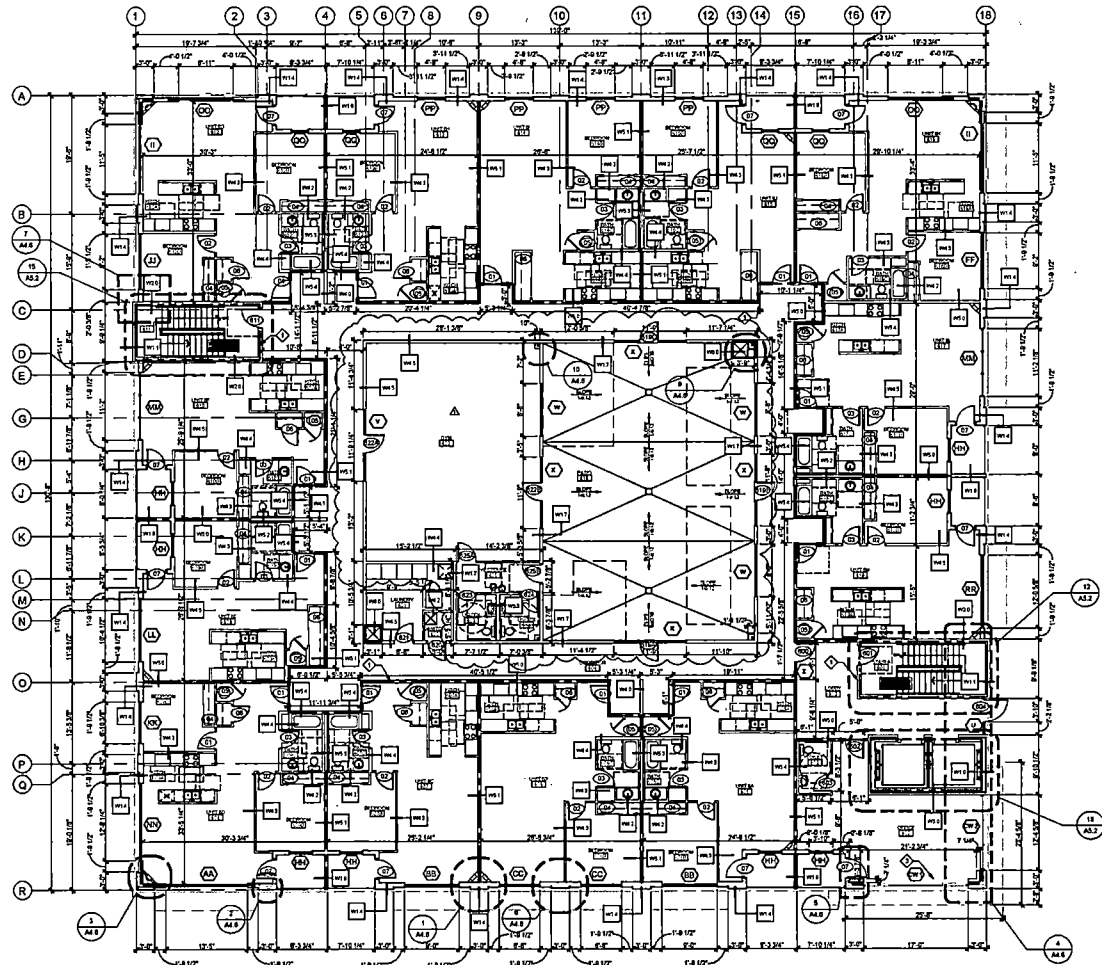
5TH STREET APARTMENTS

5th & Jerry Street
Castle Rock, CO 80104

DATE: 06/29/2017
DRAWN: B.J.K./P
CHECKED: B.P.
PROJECT NO.: 1501010
DRAWING TITLE:
5TH FLOOR PLAN
DRAWING NUMBER:
A1.3

REVISIONS:
NO. DATE BY
1 06/29/2017 B.J.K./P

CITY OF CASTLE ROCK
PLANNING DEPARTMENT
APPROVED: [Signature]
DATE: 06/29/2017



1 FLOOR PLAN 6TH FLOOR
SCALE: 1/8" = 1'-0"

PLAN GENERAL NOTES:
 1. INTERIOR WALLS ARE 2" WOOD LATHS NOTED OTHERWISE. CONSTRUCTION NOTED BY WALL TYPE.
 2. DIMENSIONS RELATE TO WALLS AND THE FINISH FACE OF STUDS OR DAMPING WALLS REFLECT FACE OF STUDS TO FACE OF STUDS.
 3. FIELD CENTER LINE DIMENSIONS WITH CLEARANCES AND EQUIPMENT.
 4. GENERAL CONTRACTOR IS RESPONSIBLE FOR LOCATION AND SETTING OF COORDINATE AND RESPONSIBLE FOR ACCORDANCE WITH ALL CITY AND STATE REGULATIONS AND ALL CODE REQUIREMENTS.
 5. CONTRACTOR TO PROVIDE PERMANENT REGULATION SIGNAGE AS REQUIRED BY THE BUILDING DEPARTMENT AND FIRE DEPARTMENT.
 6. ALL WALL STUDS SPACING TO BE 16" O.C. UNLESS NOTED OTHERWISE.
 7. PROVIDE FINISH ON BOTTOM WALLS TO PROVIDE AN IMPROVED SP OR DOWN OF ALL WALLS FROM EXTERIOR TO THE INTERIOR OF STRUCTURE.
 8. PROVIDE AND INSTALL FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENTS.
 9. COORDINATE WITH ALL ROOMS WITH DOOR APPLICATING AND HANG DOOR LOCATION.

FLOOR PLAN KEY NOTES:

- ◆ FIRE EXTINGUISHER LOCATION AND INSTALL PER DEPT. REQUIREMENTS
- ◆ PROVIDE HANGERS FOR FIRE EXTINGUISHERS
- ◆ UNFINISHED TENSILE SPACES FINAL DESIGN LAYOUT AND FINISHES TO BE DETERMINED BY GENERAL CONTRACTOR/OWNER

WALL TYPES LEGEND:

- W01 2" EXTERIOR CONCRETE WALL, 1" O.P. CONCRETE
- W02 2" EXTERIOR CONCRETE WALL, 1" O.P. CONCRETE WITH BRICK VENEER
- W03 2" EXTERIOR CONCRETE WALL, 1" O.P. CONCRETE
- W04 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W05 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W06 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W07 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W08 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W09 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W10 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W11 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W12 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W13 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W14 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W15 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W16 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W17 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W18 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W19 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER
- W20 2" EXTERIOR WALL, 2" PRECAST CONCRETE WITH 2" WOOD STUDS WITH 2" BRICK VENEER, 2" LAYERS OF TYPE "X" GYP. BOARD INTERIOR AND LEAVES TYPE "X" GYP. BOARD ON 12" (8") WOOD STUDS WITH 2" BRICK VENEER

NOTE: PROVIDE FIRE RATED BLOCKING AND WOOD STUDS TO BE SPACED AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE FINISH ON BOTTOM WALLS TO PROVIDE AN IMPROVED SP OR DOWN OF ALL WALLS FROM EXTERIOR TO THE INTERIOR OF STRUCTURE. PROVIDE AND INSTALL FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENTS. COORDINATE WITH ALL ROOMS WITH DOOR APPLICATING AND HANG DOOR LOCATION.

NOTE: ENLARGED UNIT PLANS ON SHEET A5.0/A5.1

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 Denver, Colorado 80202
 Telephone: 333-1111



5TH STREET APARTMENTS
 5th & Jerry Street
 Castle Rock, CO 80104



NO. CD 04/24/2017
 ISSUE CD 05/17/2017
 REVISED 05/17/2017

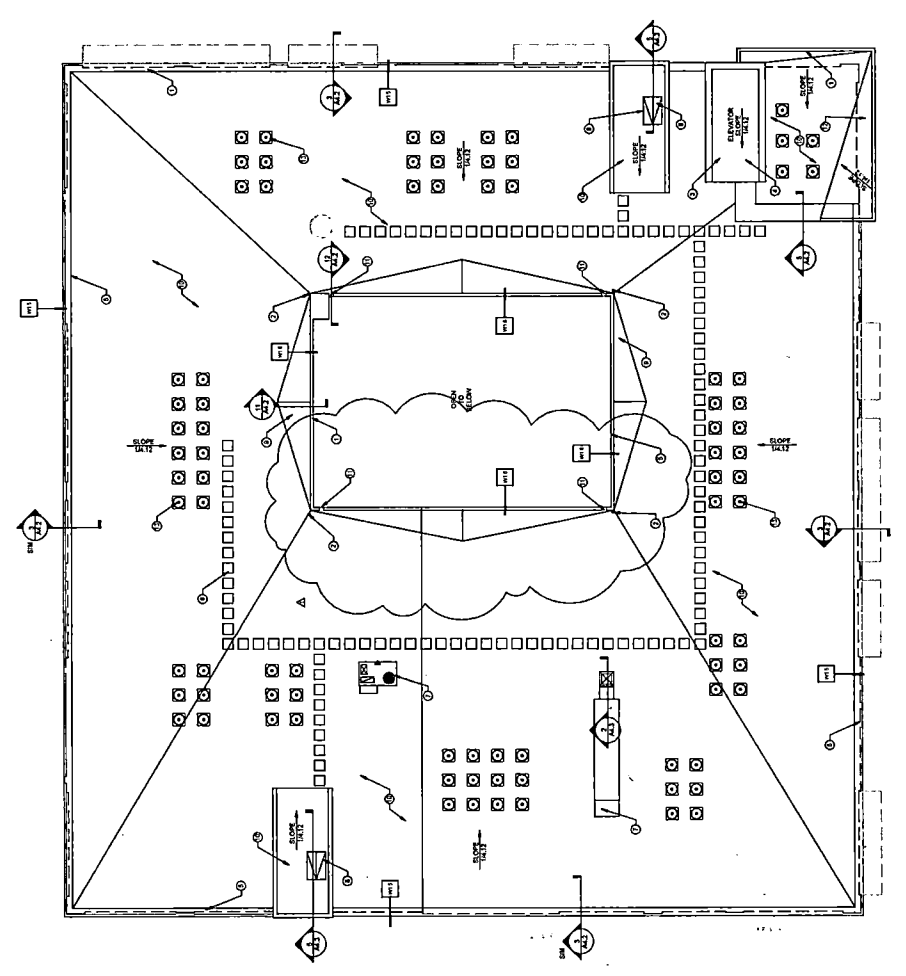
DATE: 05/17/2017
 DRAWN BY: JLP/JP
 CHECKED BY: JLP
 PROJECT NO.: 1501016
 DRAWING TITLE: 6TH FLOOR PLAN
 DRAWING NUMBER:

A1.4

ROOF PLAN GENERAL NOTES:

1. VERIFY ALL DIMENSIONS AND LOCATIONS WITH CONTRACTOR.
2. GENERAL CONTRACTOR TO VERIFY THE LOCATION OF EXISTING AND NEW ROOF STRUCTURE AND TO VERIFY THE LOCATION OF ALL EXISTING AND NEW ROOF STRUCTURE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING AND NEW ROOF STRUCTURE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING AND NEW ROOF STRUCTURE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING AND NEW ROOF STRUCTURE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING AND NEW ROOF STRUCTURE.
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9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING AND NEW ROOF STRUCTURE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING AND NEW ROOF STRUCTURE.

- ROOF PLAN KEYNOTES (THIS SHEET):**
- 1. PARAPETS: SEE ARCHITECT DRAWINGS.
 - 2. ROOF DRAIN: SEE ARCHITECT DRAWINGS.
 - 3. MECHANICAL ROOM: SEE ARCHITECT DRAWINGS.
 - 4. MECHANICAL ROOM: SEE ARCHITECT DRAWINGS.
 - 5. MECHANICAL ROOM: SEE ARCHITECT DRAWINGS.
 - 6. MECHANICAL ROOM: SEE ARCHITECT DRAWINGS.
 - 7. MECHANICAL ROOM: SEE ARCHITECT DRAWINGS.
 - 8. MECHANICAL ROOM: SEE ARCHITECT DRAWINGS.
 - 9. MECHANICAL ROOM: SEE ARCHITECT DRAWINGS.
 - 10. MECHANICAL ROOM: SEE ARCHITECT DRAWINGS.



1 ROOF PLAN
 A1.5

EXHIBIT 2

Property Description:

The South 36 feet of Lot 4 and all of Lot 5 and Lot 6, Block 7, Town of Castle Rock, together with that portion of the vacated alley adjoining subject property.

Town of Castle Rock
County of Douglas
State of Colorado

EXHIBIT 3
OUTSTANDING BONDS

FirstBank

- \$2,500,000 principal balance
- Interest paid quarterly
- Principal paid annually (\$125,000)
- Maturity date 9/15/2026

FirstBank

- Line of Credit – varies but not more than \$1,000,000 at any time
- Maturity date – varies