Surveyor's Certification

, DEREK BROWN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

| DEREK BROWN | REG. # | DATE |
|---------------|----------|------|
| AZTEC CONULTA | NTS, INC | |

Civil Engineer's Certificate

BRYAN M. FRANTZ, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

| YAN M. FRANTZ | PE. # 0037362 | DATE |
|------------------|---------------|------|
| S Consultina Gra | מעי | |

Ownership Certificate

THE UNDERSIGNED ARE ALL OF THE OWNERS OF THE PROPERTY DESCRIBED HEREON.

| SW Greens | Plum | Creek, | LLC. | Α | Colorado | Limited | Liabiltiy | Compan |
|-----------|------|--------|------|---|----------|---------|-----------|--------|
| | | | | | | | | |

| SIGNED | THIS | DA | $^{\lambda}$ | 0F | 20 |
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| | |

SUBSCRIBED AND SWORN TO BEFORE ME THIS

_____ DAY OF _____ $_$ of SW Greens Plum Creek, LLC.

WITNESS MY HAND AND OFFICIAL SEAL

| NOTARY PUBLIC | |
|-----------------------|---|
| MY COMMISSION EXPIRES | · |

Title Certification

AN AUTHORIZED REPRESENTATIVE , A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE SATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIEN HOLDERS SUBORDINATION

| AUTHORIZED REPRESENTATIVE |
|---------------------------|
| |

CERTIFICATE.

| TITLE INSURANCE COMPANY | |
|-------------------------|--|
| | |

| SIGNED THIS DAY OF _ | _ |
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| BYAS REPRESENTATIVE | AUTHORIZED |
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WITNESS MY HAND AND OFFICIAL SEAL.

| NOTARY PUBLIC | |
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| MY COMMISSION EXPIRES | |

Douglas County Clerk and Recorder's Certificate

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 20____ AT RECEPTION NO. DOUGLAS COUNTY CLERK AND RECORDER

| טטט | حرات | 7 | _ | _ |
|-----|------|---|---|---|
| BY: | | | | |

TOWN CLERK

Town Council Approval

| THIS SITE DEVELOPMENT PLAN V THE TOWN OF CASTLE ROCK, CO | NAS APPROVED BY THE TOWN COUNCIL PLORADO, | . OF |
|---|--|------|
| ON THE DAY OF | , 20 | |
| MAYOR | DATE | |
| ATTEST: | | |

DATE

Planning Commission Recomendation

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS RECOMMENDED BY THE PLANNING COMMISION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE _____ DAY OF ____

| CHAIR | DATE |
|----------------------------------|----------|
| ATTEST: | |
| DIRECTOR OF DEVELOPMENT SERVICES | DATE |

Site Development Plan

General Notes:

. The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property, unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 25% fee.

2. Pursuant to Section 4.7 and 9.3.2 of the Town of Castle Rock 2021 Landscape Criteria Manual the Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowner/Property Owner Association, as applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town, the Owner will have 45 days to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper

3. The provided landscape counts in the Site Development Plan are minimum required counts. Any changes to the provided landscape counts shall require an SDP amendment. The locataion of plant material is subject to change due to field condition with reiew of the Construction

4. This property is located within the unshaded Zone X as per FEMA FIRM Panel No. 08035003016 Dated 03/16/2016.

5. Any street signs, striping, street lights and curb ramps are conceptual only and subject to Town review with the Construction Documents. These items shall comply with the Town of Castle Rock's regulations, standards

6. The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy", as amended from time to

7. Approval of this Site Development Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval.

8. No solid object (excluding fire hydrants, traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flowline elevations of the adjacent street, including but not limited to buildings utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms shall be placed within sight distance lines and sight distance

9. All Utility, Drainage, Emergency Access, Sight Distance and Public Access/Trail Easements as shown on the Site Development Plan shall be granted to the Town of Castle Rock with the Plat.

10. This Site is Zoned Plum Creek Amended.

II. Unless otherwise noted, all lots shall have a 10-foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have 5-foot Utility Easements along each side lot line. These Utility Easements are for the installation, maintenance and operation of utilities and drainage facilities including, but not limited to street lights, electric lines, qas lines, cable televisión lines, fiber optic lines and telephone lines, as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines.

12. Retaining walls, sections of retaining walls 4-feet in height as measured from the bottom of the footing to the top of the wall, and retaining walls, regardless of height, which retain a surcharge or tiered walls must be designed by a Structural Engineer licensed in the State of Colorado and must receive a Building Permit from the Town of Castle

13. A sign permit for each sign must be obtained from the Town of Castle Rock Building Division prior to placing any sign on the property. All signs must comply with the provisions of Title 19 (Sign Code Regulations) of the

14. The number of parking spaces has been set based on the proposed uses on this Site Development Plan and Chapter 17.54 of the Castle Rock Municipal Code. A change of use to a more parking intensive use as identified in Chapter 17.54 of the Castle Rock Municipal Code will require an amendment to this Site Development Plan.

. If fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to vertical construction

2. Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of construction.

3. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into, or within the jurisdiction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

4. Dead-end fire access roads in excess of 150 feet shall provide an approved area for turning around fire apparatus.

5. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates and an unobstructed vertical clearance of not less than 13 feet, 6

6. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 75,000 pounds, and shall be surfaced so as to provide all-weather driving capabilities. The term "all-weather driving capabilities" has been interpreted to mean either concrete or asphalt, or other approved driving surface designed by an engineer and approved by the Fire

7. "No Parking Fire Lane" signs are required in areas that meet the following criteria and in areas designated by the Fire Prevention Bureau. Signs shall be posted on both sides of fire access roadways, public or private roadways and driveways less than 26 feet wide. Šigns shall be posted on one side only of fire access roadways, public or private roadways or driveways between 26 feet wide and 32 feet wide. No signage is réquired for fire access roadways, public or private roadways or driveways greater than or equal to 32 feet wide.

8. It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.

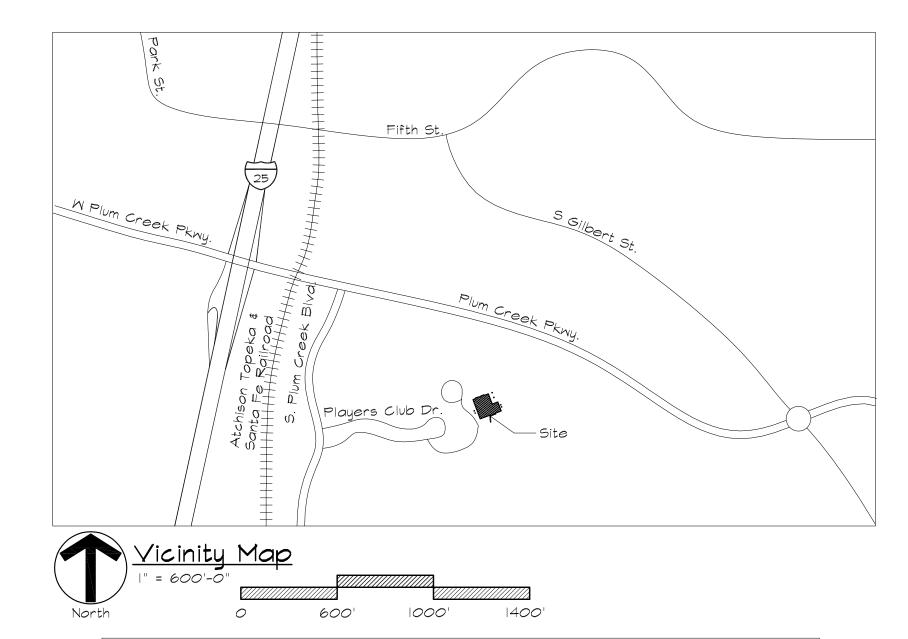
9. The developer understands that as the project develops there may be fire and life safety provisions of the Town of Castle Rock adopted International Fire Code (IFC) that may arise, and were not clearly visible during the initial reviews but may require corrective action. These items may include, but are not limited to: Fire flow requirements, fire hydrant placement, access, etc.

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

THE FIRST AMENDMENT TO THE TOURNAMENT PLAYERS CLUB AT PLUM CREEK, SUBDIVISION FILING NO. 1 FINAL SITE PLAN RECORDED UNDER RECEPTION NO. 305821

LOT 3 TOURNAMENT PLAYERS CLUB AT PLUM CREEK SUBDIVISION FILING NO. 1 AMENDMENT NO. 1 LOCATED IN THE QUARTER: SE; SECTION: 14; TOWNSHIP: 8; RANGE: 67 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS. STATE OF COLORADO

TOWN OF CASTLE ROCK PROJECT NO. SDP21-0018



Zoning Comparison And Development Standards

| Zoning: Plum Creek Amended | | |
|--------------------------------------|---|-----------|
| Use Area: Recreation | | |
| | | |
| Uses: | PD Zoning Allowance/Required | Proposed |
| Min Front Yard Setback | N/A (Note 1) 15'-0" From Property Line, 25'-0" If Abutting An Arterial Street | 90'-0" |
| Mr. Danie Vand Calland | | |
| Min Rear Yard Setback | N/A (Note I) 0'-0" | 65'-0" |
| Min Side Yard Setback | N/A (Note I) 0'-0" | 90'-0" |
| Min Side to Street Setback | N/A (Note I) 0'-0" | 90'-0" |
| Max Building Height | 35' | 21'-7" |
| Max Floor Area Ratio | | |
| Mln. Parking Spaces | | |
| Standard Parking Spaces (Dimensions) | 204 (8'x 8') | No Change |
| ADA Parking Spaces (Dimensions) | 4 (IO'xI8') | No Change |
| Single Family Equivalents (SFEs) | N/A | No Change |

Site Utilization (Show SF/Acreage and %)

| | SF/Acreage |
|------------------------------------|----------------------------|
| Total Lot Area | 162,783 SF/3.737 Acres |
| Lot Coverage | |
| Buildings | 3,910 SF / 2.4% |
| Internal Drives and Parking Lot | 49,200 SF / 30.2% |
| Sidewalks, Trash Enclosures, Misc. | 16,944 SF / 10.4% (Note 2) |
| Common Public Access Drives | N/A |
| ROW Coverage | N/A |
| Landscape/Open Space Coverage | 92,587 SF / 56.9% |
| Other Coverage | N/A |

No Propery Lines Within 200' Of Proposed Building. 2. Shared Trash Removal With Main Facility.

<u>Parkina</u> <u>Medding Venue</u> | Parking Space Per 3 Seats Maximum Occupancy: 182 People Required Parking Spaces = 182/3 61 Spaces Golf Course and Club House Parking Golf Course 4 Spaces Per Hole + 0.5 Per Employee on Max Shift Number of Holes 18 Holes Number of Employees 6 Employees Required Parking Spaces = 18x4+6x0.5 75 Spaces Clubhouse Restaurant 10 Spaces Per 1,000 sq. ft. of GFA Size of Restaurant Required Parking Spaces = 1700/1000x10 17 Spaces Total Parking Spaces Required 153 Spaces ADA (Included in Above) 6 Spaces Provided 205 Total Spaces Both Venues Parking Is Provided On Multiple Lots And Is Shared With The Wedding Venue. Each Venue Has Opposite Business Peak Usage Periods.

Lienholder Subordination Certificate THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED June 12, 2019 AT RECEPTION NO. 2019033465, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT Great Western Bank SIGNED THIS _____ DAY OF _____, 20_____ NOTARY BLOCK SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF_ _OF GREAT WESTERN BANK. WITNESS MY HAND AND OFFICIAL SEAL NOTARY PUBLIC MY COMMISSION EXPIRES:

Mater Rights Dedication Agreement

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE PLUM CREEK WATER RIGHTS DEDICATION AGREEMENT AND FIRST AMENDMENT TO THE DEVELOPMENT CONTRACT RECORDED IN BOOK 1283 AT PAT 136, AT RECEPTION NO. 9538927 OF THE DOUGLAS COUNTY, COLORADO RECORDS, AND ACCORDINGLY 1.67 SFE ARE DEBITED FROM THE WATER BANK.

Name & Addresses

SM Greens Plum Creek LLC 6630 Bear Dance Dr. Larkspur, CO 80118 PH:303-660-1015

<u> Plan Preparer:</u> DLH Architecture, LLC 200 Front Street Castle Rock, Colorado 80104 Contact: Dave Hieronymus PH: 303-688-5273 Email: dlh@dlharchitecture.com

<u>Civil Engineer:</u> Collins Engineers, INC. 455 Sherman, Suite 160

Denver, Colorado 80203 Contact: Bryan Frantz PH: 303-447-0090 Email: bfrantz@collinsengr.com

<u>Surveyor:</u> Aztec Consultants, INC 300 East Mineral Ave., Suite Littleton, Colorado 80122 Contact: Derek Brown PH: 303-713-1898

Electrical Engineer: JSH & Associates 11296 Random Valley Circle Parker, Colorado 80134 Contact: Scott Hass PH: 720-205-9774 Email: jshandassociates@msn.com

Landscape Architect: Natural Design Solutions 5539 Cold Drive Longmont, Colorado 80503 Contact: Neil McLane Email: neil@ndscolorado.com PH: 303-746-2159

Black Hills Energy: P.O. Box 6006 Rapid City, SD 57709 PH: 1-888-890-5554

5496 US-85 Sedalia, CO. 80135 PH:303-688-3100

Town of Castle Rock Public Morks: 4175 N. Castleton Court Castle Rock, Colorado 80104 PH: 720-733-2462

Castle Rock Water: 175 Kellogg Court Castle Rock, Colorado 80109 PH: 720-733-6000

Sheet Index

| 610 | General Cover Sheet | 1 | of. | Ш |
|--------------|---------------------------|----|------------|------|
| Al.0 | Exterior Elevations | 2 | of | ii |
| C2.0 | Site Plan | 3 | of | - ii |
| C3.0 | Grading Plan | 4 | 0f | Ш |
| C4.0 | Utility Plan | 5 | of | -11 |
| EP.I | Electrical Site Plan | 6 | 0f | - 11 |
| LI.O | Landscape Plan | 7 | 0f | П |
| ∟ 1.l | Landscape Plan | 8 | <i>o</i> f | -11 |
| L2.0 | Landscape Details & Notes | 9 | 0f | - 11 |
| IRI.O | Hydrozone Map | 10 | 0f | -11 |
| IRI.I | Hýdrozone Maþ | 11 | 0f | - 11 |

Legal Description

Lot 3 Tournament Players Club at Plum Creek | AMD | 3.737 AM/L Douglas County, Colorado

Building Location Summary

Town of Castle Rock Castle Rock, CO 80104

County: Douglas County

Town of Castle Rock Fire Department

Approved Variances

Φ

3 2 2

Date: RGB Drawn By: Checked By: DLH Scale: as noted

Sheet 1 of 11

Cover Sheet

Site Development Plan Lot 3 Tournament Players Club at Plum Creek 1 AMD 1 3.737 AM/L SDP21-0018

THE FIRST AMENDMENT TO THE TOURNAMENT PLAYERS CLUB AT PLUM CREEK, SUBDIVISION FILING NO. 1 FINAL SITE PLAN RECORDED UNDER RECEPTION NO. 305821

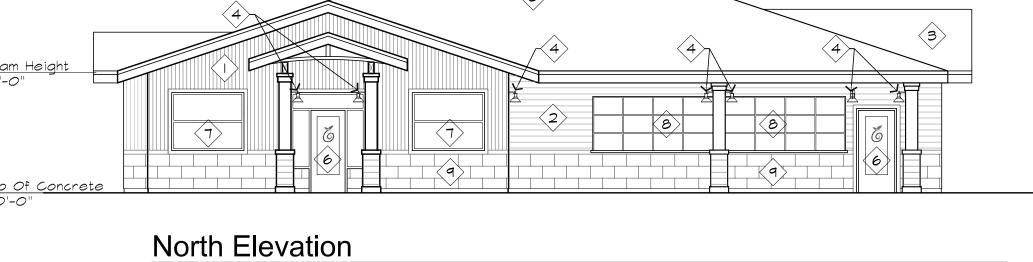
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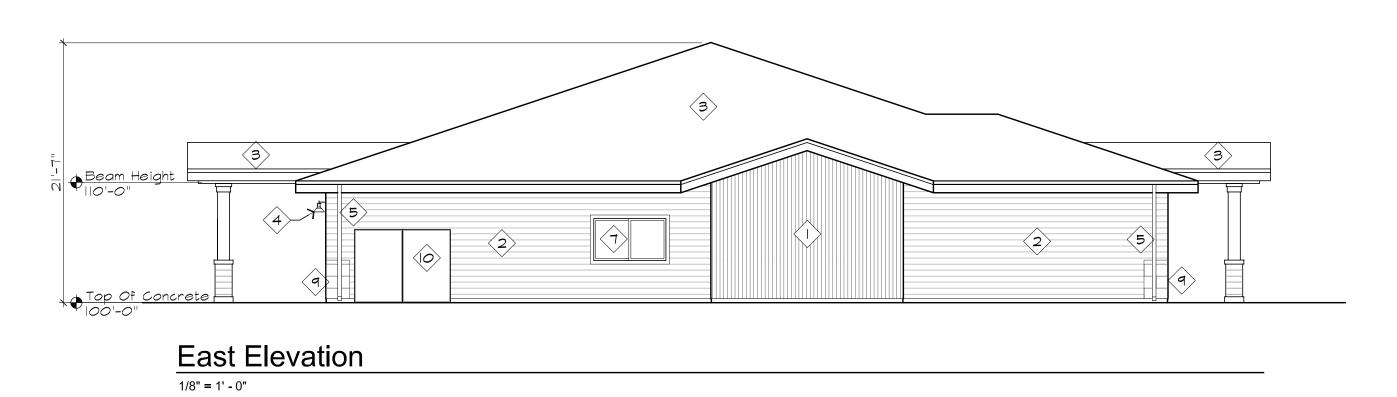
TOWN OF CASTLE ROCK PROJECT NO. SDP21-0018

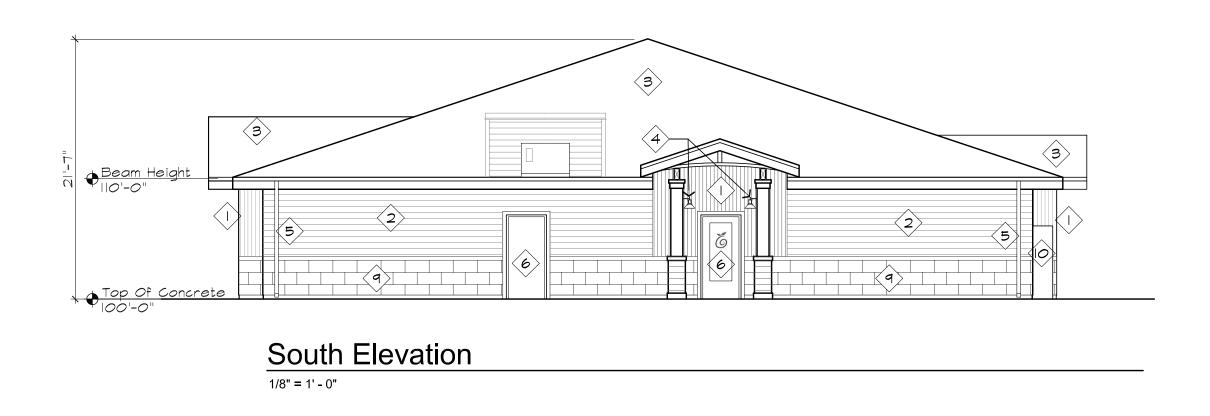


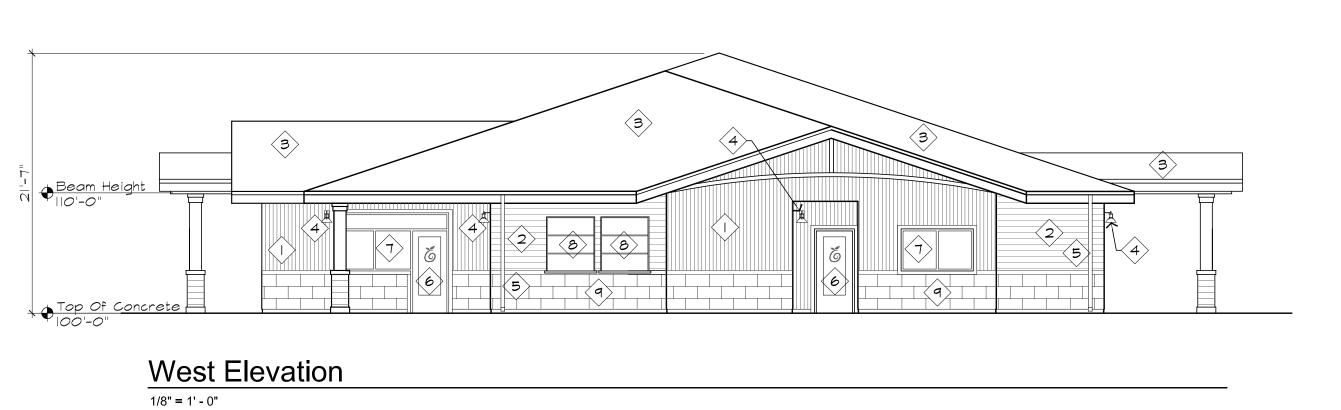


1/8" = 1' - 0"









 $|\omega| \sim |\omega|$ Club Drive c, CO 8010 PLUM CR 331 Players C Castle Rock,

80104

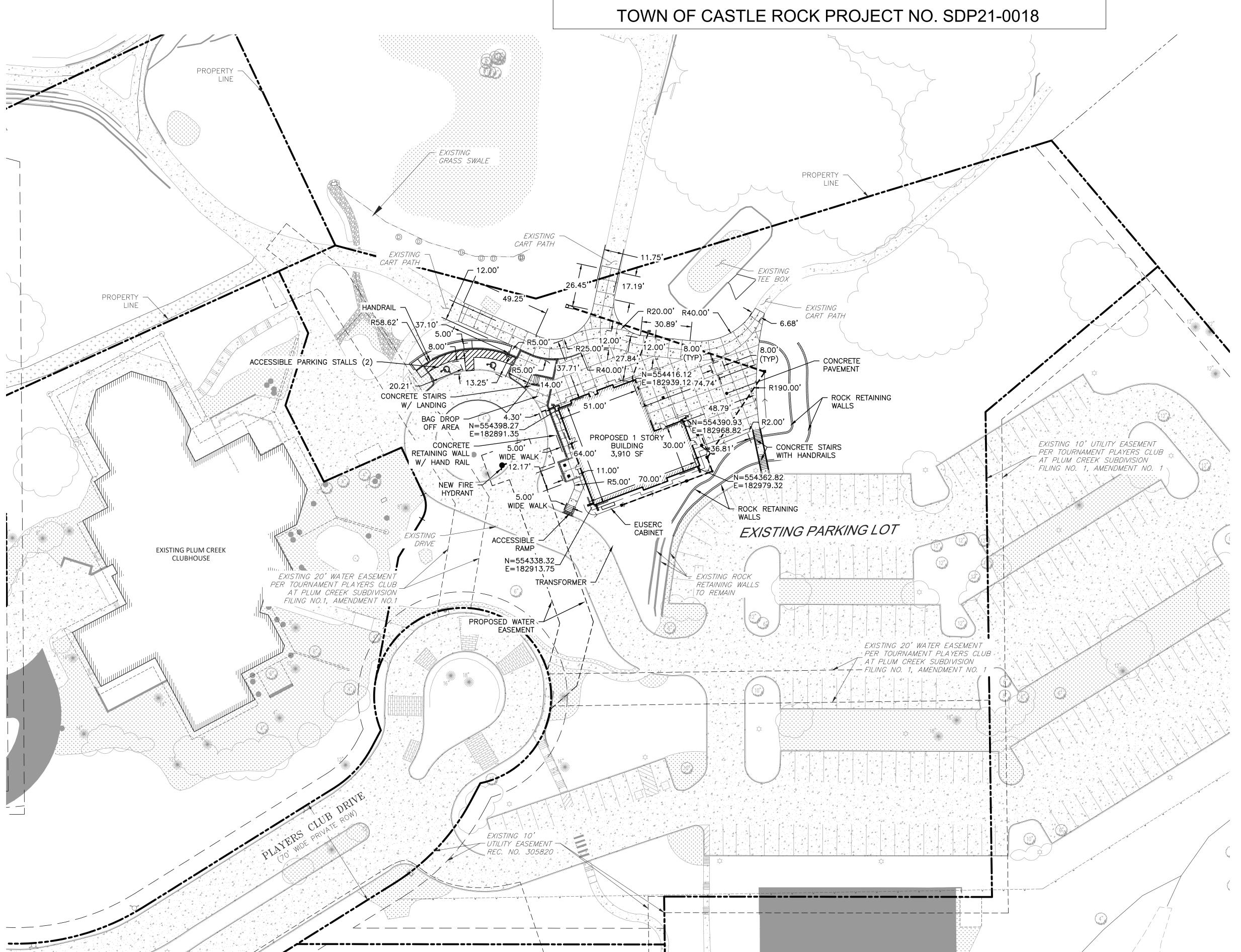
Project #: 2101
Date: 4/1/21
Drawn By: RGB
Checked By: DLH
Scale: as noted

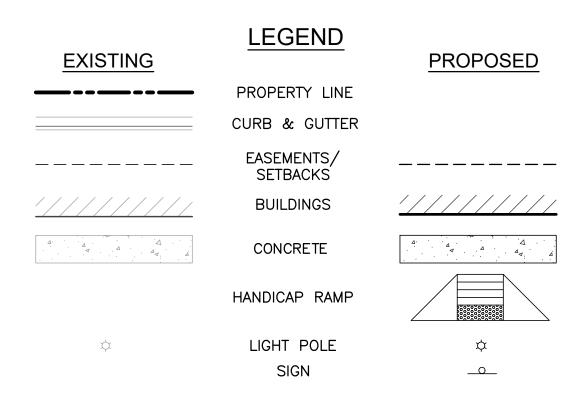
Sheet 2 of 11

Exterior Elevations Site Development Plan Lot 3 Tournament Players Club at Plum Creek 1 AMD 1 3.737 AM/L SDP21-0018

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PROJECT BENCHMARK:
PRIMARY SITE BENCHMARK IS DOUGLAS COUNTY GIS CONTROL POINT 3.030016. RECOVERED AN 3.25" ALUMINUM CAP ON INLET LOCATED ON WESTERLY SIDE OF THE KNUCKLE ON PLUM CREEK BLVD, 220' MORE OR LESS SOUTHEAST OF OCTOBER PLACE. ELEVATION = 6414.10 (NAVD 88).

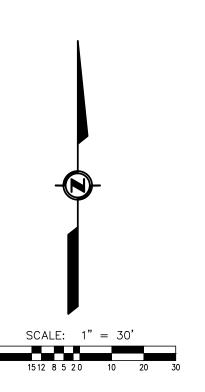
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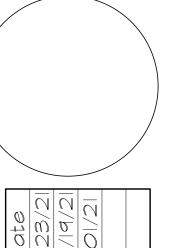
EXISTING UTILITY LOCATIONS:

COLLINS ENGINEERS INC. ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL OR VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTÉD FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

UTILITY NOTE:

CONTRACTOR SHALL PROVIDE A MINIMUM SEVENTY TWO (72) HOURS' NOTICE TO THE ON-SITE TCR CONSTRUCTION INSPECTOR, (720) 733-2200, PRIOR TO MAKING ANY CONNECTIONS OR TIE-INS TO EXISTING WATER, SANITARY SEWER, AND/OR STORM SEWER SYSTEMS PROVIDED THAT THE UTILITY TIE-IN DOES NOT DISRUPT SERVICE TO EXISTING CR WATER CUSTOMERS. IF THE TIE-IN WILL DISRUPT UTILITY SERVICE, THEN CONTRACTOR SHALL PROVIDE A MINIMUM OF THREE (3) WEEKS' NOTICE TO THE TCR CONSTRUCTION INSPECTOR TO ALLOW TIME FOR CR WATER TO PROVIDE WRITTEN NOTIFICATION TO EXISTING CUSTOMERS AFFECTED BY THE TIE-IN. ALL TOWN UTILITY TIE-INS MUST BE APPROVED BY CR WATER PRIOR TO COMMENCING WORK.





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| Response | Response | Response | |
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Club

Drawn By: Checked By: BMF Scale: as noted

Sheet 3 of 11

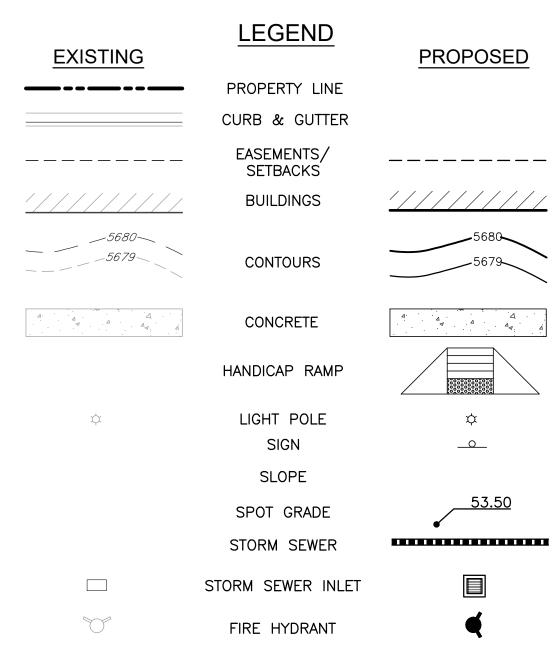
Site Plan

Lot 3 Tournament Players Club at Plum Creek 1 AMD 1 3.737 AM/L SDP21-0018

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LOCAL SITE BENCH MARK IS A NO. 5 REBAR WITH A 1.5" ALUMINUM CAP STAMPED AZTEC 51 SET FLUSH WITH GROUND IN THE CENTER OF THE ISLAND OF S. PLUM CREEK BLVD, 280 MORE OR LESS SOUTHEAST OF CHAMPIONS CIR. ELEVATION = 6362.21 (NAVD 88).

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NOTES:

1. ALL SPOT GRADES ARE TO FLOW LINE

UNLESS OTHERWISE NOTED. REFER TO THE UTILITY PLAN ON SHEET C4.0 FOR PERIMETER DRAIN AND ROOF DRAIN INFORMATION.

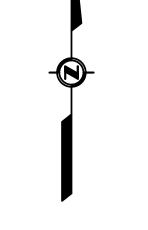
3. THE PROPOSED HAUL ROUTE MUST BE APPROVED BY THE TOCR STREET OPERATIONS AND MAINTENANCE DIVISION.

GRADING ABBREVIATIONS:

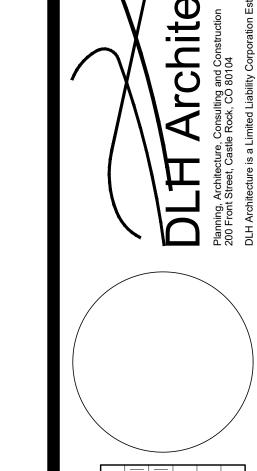
FINISHED GRADE GROUND TOW TOP GRADE AT WALL BOW BOTTOM GRADE AT WALL HIGH POINT LOW POINT MATCH EXISTING

CUT / FILL:

2,036 CY 393 CY FILL = NET-CUT = 1,643 CY



SCALE: 1" = 30'



| 7 | 6/23 | 0 /0 | 0/= | | |
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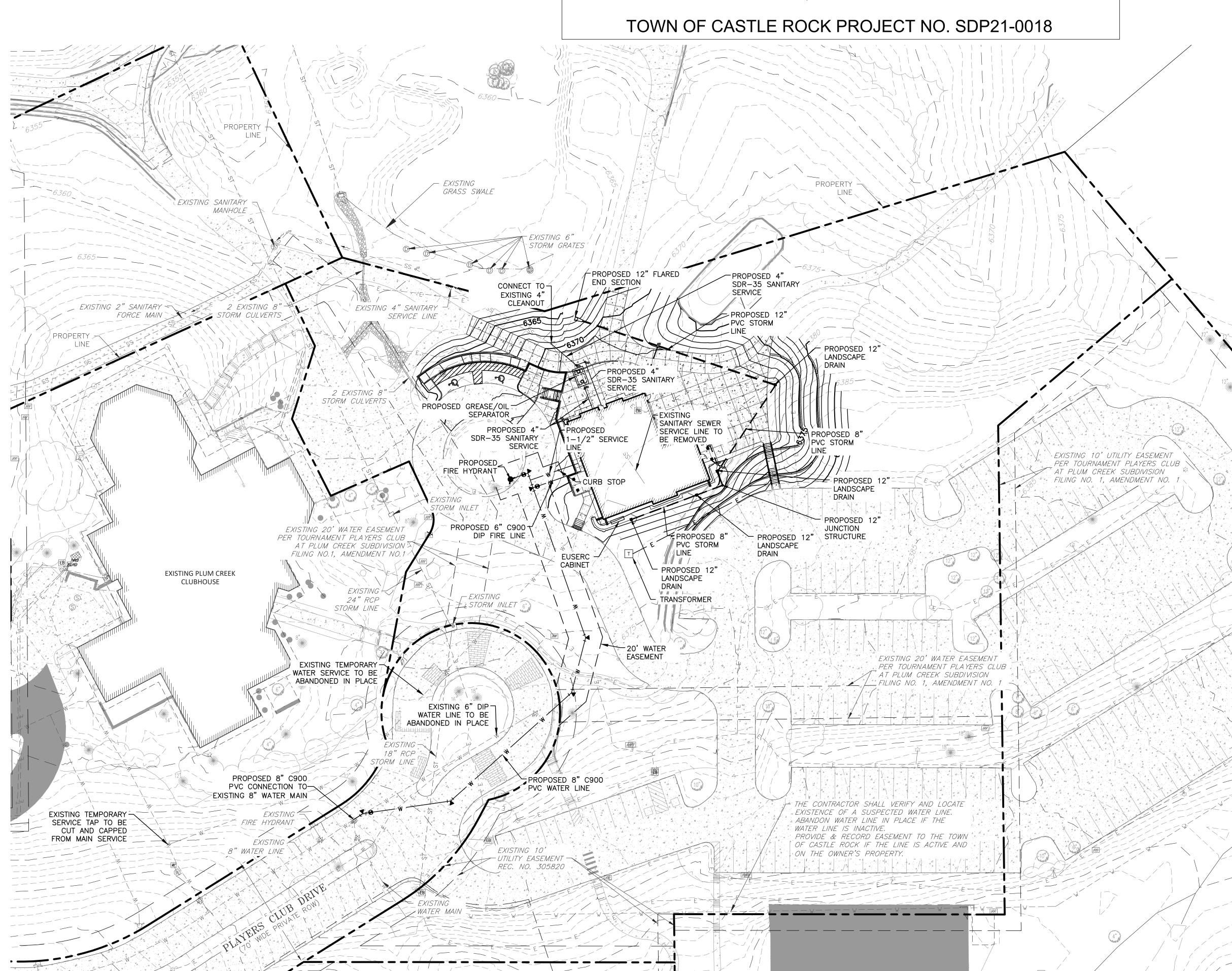
Sheet 4 of 11

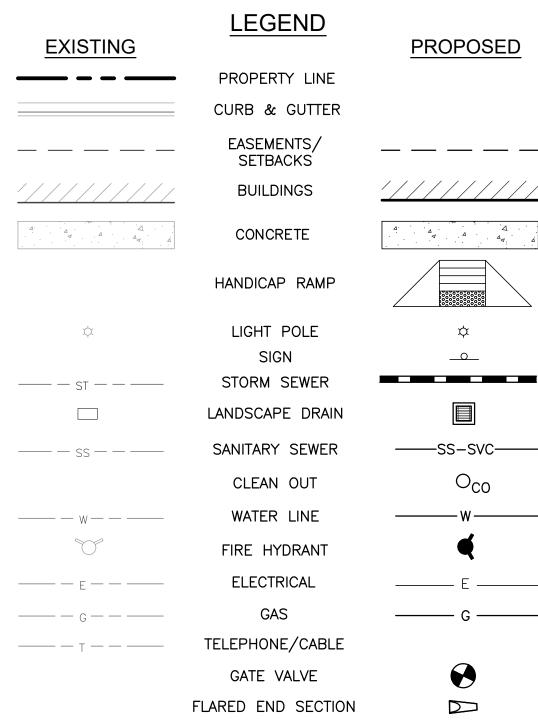
Grading Plan

Site Development Plan Lot 3 Tournament Players Club at Plum Creek 1 AMD 1 3.737 AM/L SDP21-0018

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INFORMATION. IT IS HOWEVER THE RESPONSIBILITY OF THE CONTRACTOR TO
FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE
COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

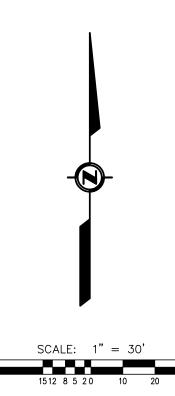
UTILITY NOTE

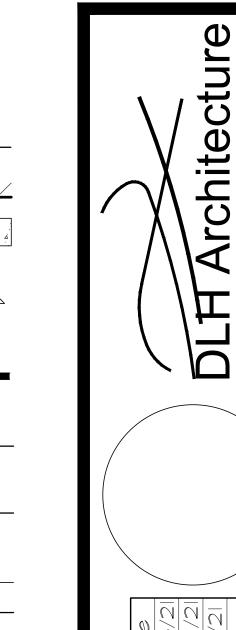
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.

- 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET
- 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET
- 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK CRYSTAL VALLEY RED WATER PRESSURE ZONE.

CONTRACTOR SHALL PROVIDE A MINIMUM SEVENTY TWO (72) HOURS' NOTICE TO THE ON-SITE TCR CONSTRUCTION INSPECTOR, (720) 733-2200, PRIOR TO MAKING ANY CONNECTIONS OR TIE-INS TO EXISTING WATER, SANITARY SEWER, AND/OR STORM SEWER SYSTEMS PROVIDED THAT THE UTILITY TIE-IN DOES NOT DISRUPT SERVICE TO EXISTING CR WATER CUSTOMERS. IF THE TIE-IN WILL DISRUPT UTILITY SERVICE, THEN CONTRACTOR SHALL PROVIDE A MINIMUM OF THREE (3) WEEKS' NOTICE TO THE TCR CONSTRUCTION INSPECTOR TO ALLOW TIME FOR CR WATER TO PROVIDE WRITTEN NOTIFICATION TO EXISTING CUSTOMERS AFFECTED BY THE TIE-IN. ALL TOWN UTILITY TIE-INS MUST BE APPROVED BY CR WATER PRIOR TO COMMENCING WORK.

THE FINAL SIZE AND DESIGN OF THE GREASE INTERCEPTOR SHALL BE IN ACCORDANCE WITH THE PLUM CREEK WATER RECLAMATION AUTHORITY CODE OF RULES AND REGULATIONS.





2 2 7

LUM CREEK CLUB H 31 Players Club Drive

Project #: 2102 Date: 04/22/2 Drawn By: JLS Checked By: BMF Scale: as noted

Sheet 5 of 11

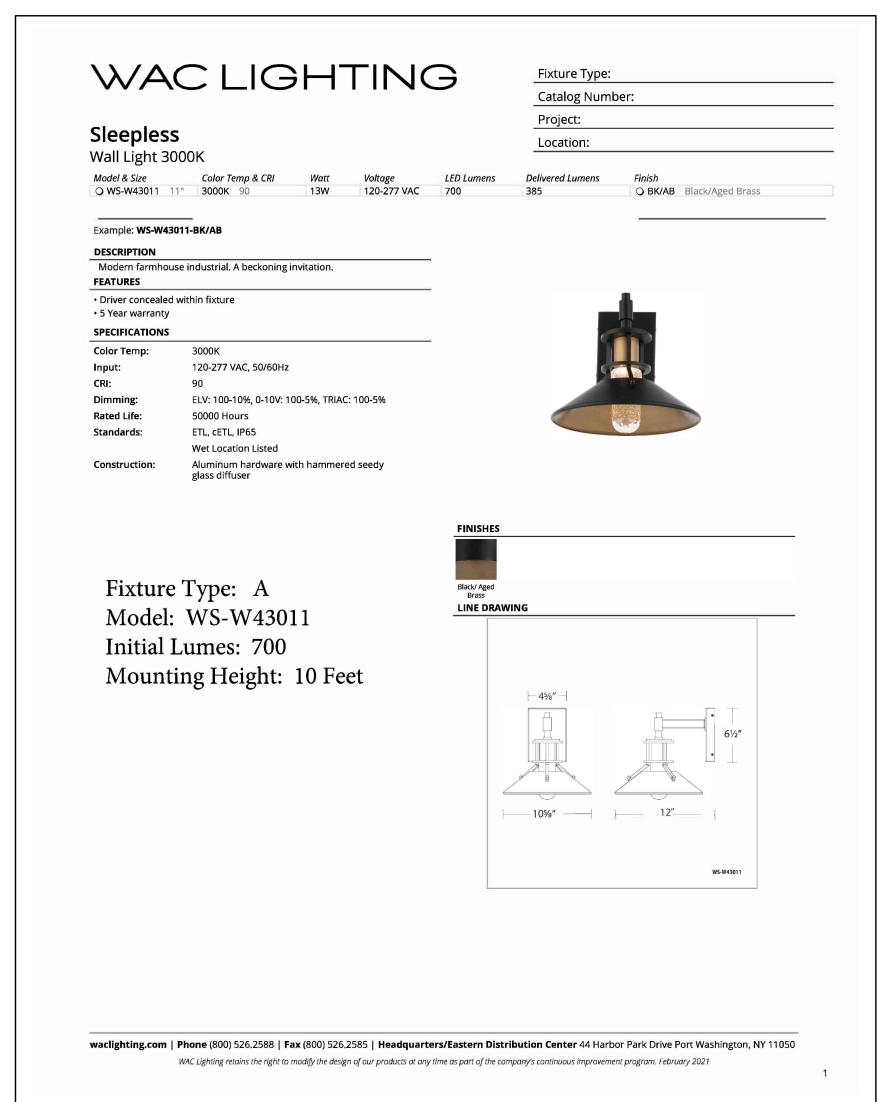
Utility Plan

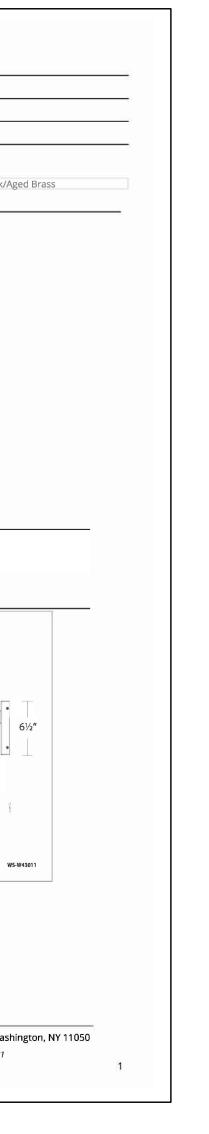
Site Development Plan
Lot 3 Tournament Players
Club at Plum Creek 1 AMD 1
3.737 AM/L
SDP21-0018

THE FIRST AMENDMENT TO THE TOURNAMENT PLAYERS CLUB AT PLUM CREEK, SUBDIVISION FILING NO. 1 FINAL SITE PLAN RECORDED UNDER RECEPTION NO. 305821

LOT 3 TOURNAMENT PLAYERS CLUB AT PLUM CREEK SUBDIVISION FILING NO. 1 AMENDMENT NO. 1 LOCATED IN THE QUARTER: SE; SECTION: 14; TOWNSHIP: 8; RANGE: 67 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

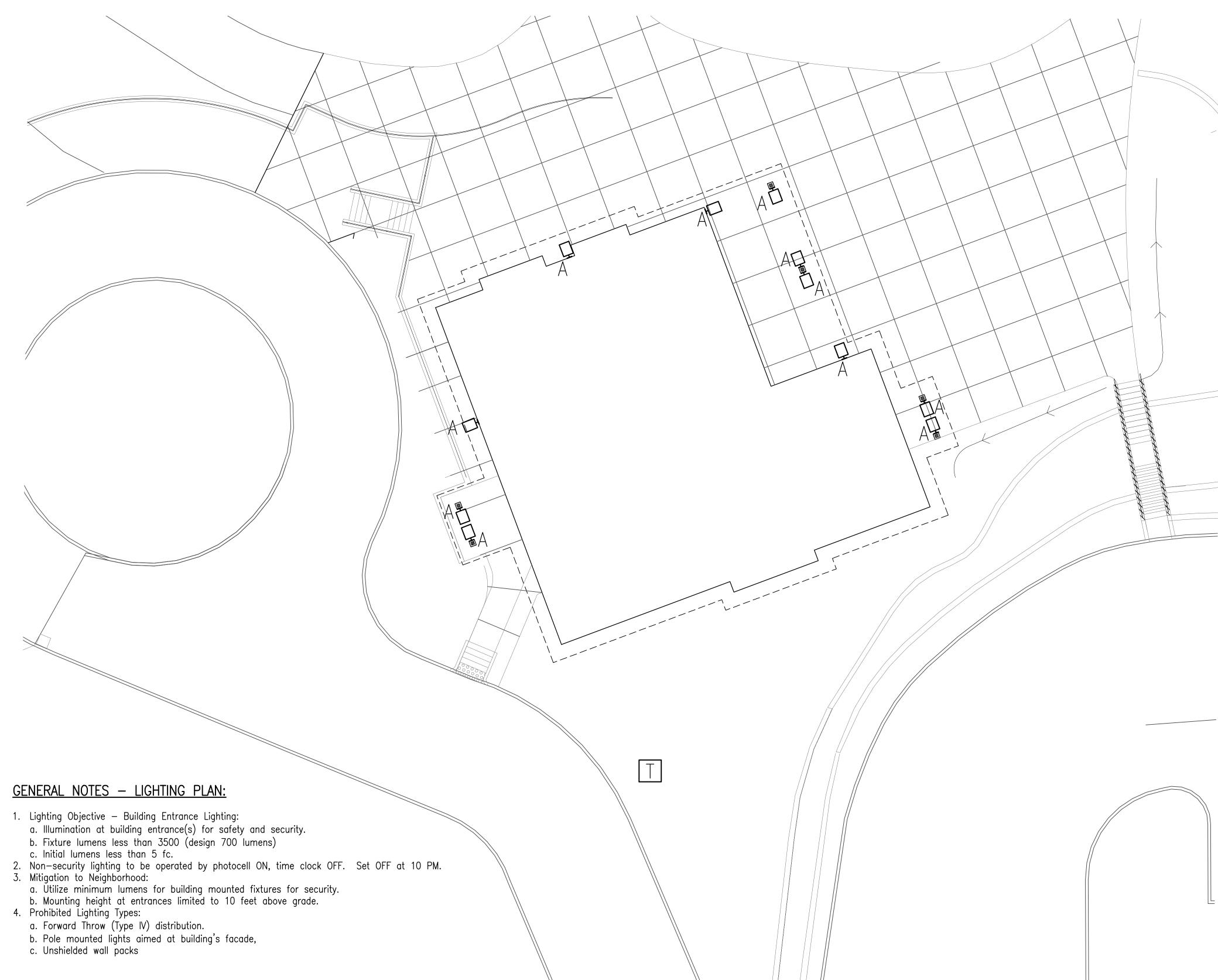
TOWN OF CASTLE ROCK PROJECT NO. SDP21-0018





| уре | Description | Catalog Number | Lamp | Lumens | LLF | Quantity | Mounting |
|-----|--------------------------------|--|------|--------|-----|----------|----------|
| 1 | Building Mounted Down Light | WAC Lighting Sleeples Wall Light: WS-W43011 | LED | 700 | 1 | 10 | 10 feet |

NOTE: Per Town of Castle Rock Municiple Code, Chapter 17 (17.58.050, Table 1), non-full cutoff building mounted light fixtures must be less than 3500 lumens / fixture.



Club

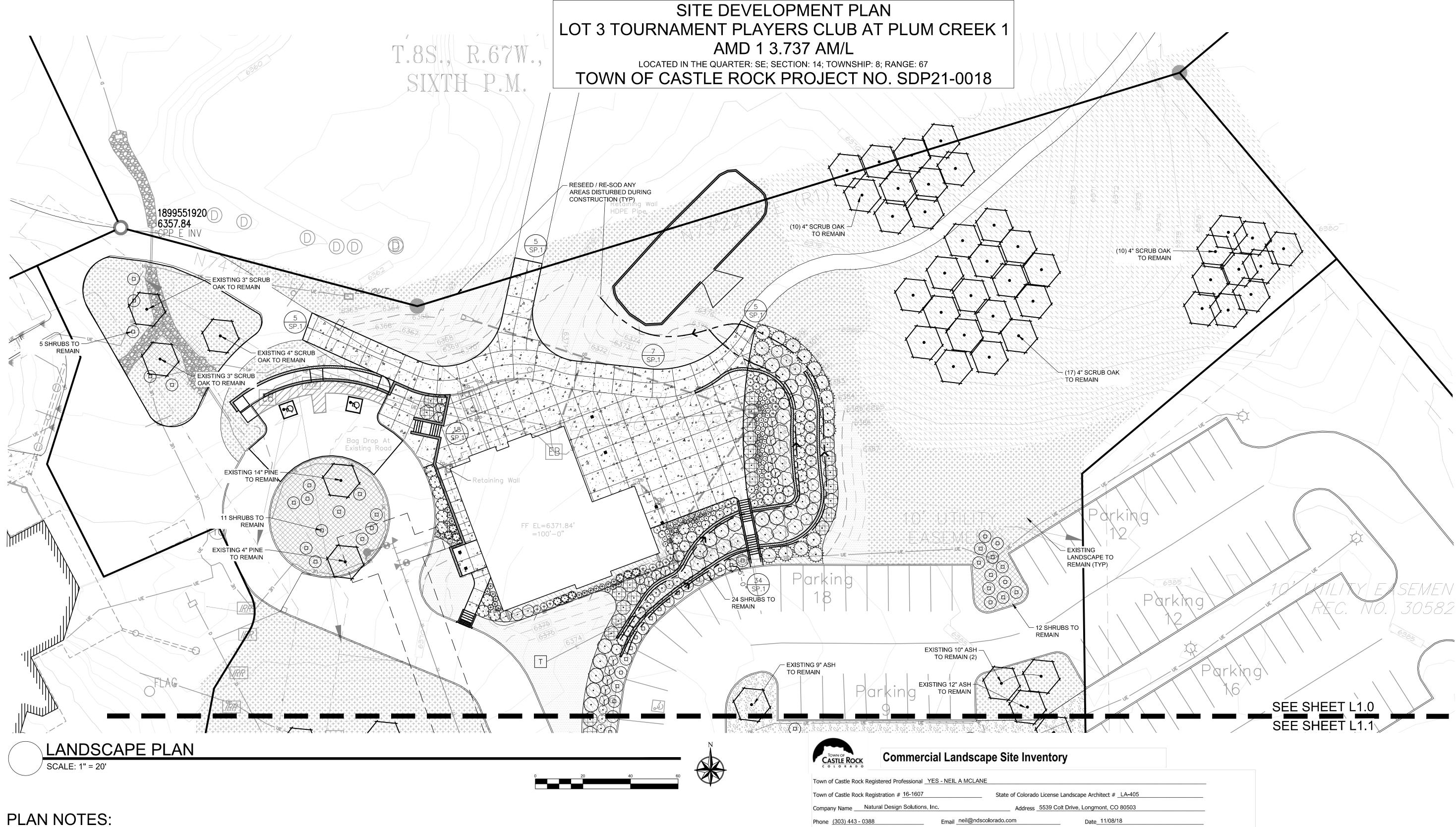
Drawn By: ICN Checked By: JSH Scale: as noted

Sheet 6 of 11

Elec. Site Plan

Site Development Plan Lot 3 Tournament Players Club at Plum Creek 1 AMD 1 3.737 AM/L

SDP21-00XX

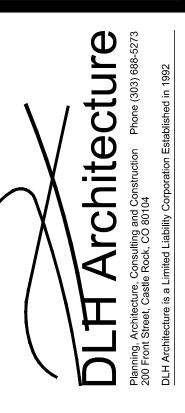


- 1. NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED DEVIATIONS FROM THIS PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE. THIS INCLUDES DEVIATIONS OF CULTIVARS FROM THOSE PROPOSED. SEE NOTE #11 FOR ID TAG RETENTION REQUIREMENTS.
- 2. THIS SITE HAS HEAVY CLAY SOIL. THE SOI SHALL BE AMENDED WITH THE MICRONUTRIENTS LISTED WITHIN THE SOILS ANALYSIS CHART ON SHEET L20. SQUEGEE ROCK SHALL BE APPLIED WITH THESE AMENDMENTS AND TILLED INTO THE TOP 8" OF THE SOIL.
- 3. CONTRACTOR TO PROVIDE ANALYSIS OF ANY AMENDMENTS PROPOSED FOR PLANTING AREAS PRIOR TO INSTALLATION OF SUCH MATERIALS.
- 4. CONTRACTOR TO PROVIDE RECEIPTS TO LANDSCAPE ARCHITECT FOR ALL SEEDING PROPOSED ON SITE, PRIOR TO INSTALLATION OF SEEDING MATERIALS.
- 5. NO FABRIC UNDER WOOD MULCH IN ANY AREAS. ALL PLANTS IN ROCK MULCH AREAS TO RECEIVE SHREDDED CEDAR MULCH RINGS. MASSING SHALL HAVE CONTINUOUS SHREDDED MULCH BANDS. **SEE DETAILS SHEET L2.0.**
- 6. DRIPLINE TO BE PLACED OVER WEED BARRIER FABRIC AND STAKED ON TOP OF WEED BARRIER.
- 7. WEED BARRIER CUTOUTS FOR PLANTS IN ROCK AREAS SHALL ACCOUNT FOR MATURE SIZE OF
- PLANTS AND EQUAL AT LEAST THE DIAMETER OF THE ROOTBALL. SEE DETAIL SHEET L2.0 8. ALL EMITTERS PER IRRIGATION PLAN.
- 9. ALL EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS.
- 10. SEE LANDSCAPE DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.
- 11. RETAIN 10% OF ALL PLANT TAGS PER SPECIES FOR DURATION OF WARRANTY PERIOD.

PROJECT NAME Plum Creek Golf Course Clubhouse

| Gross Site Area | Landscape Area in Sq.Ft. | Species (Area in Sq.Ft.) | (Area in Sq.Ft.) | No. of Trees Required | No. of Trees Provided | No. of Shrubs Required | No. of Shrubs Provided | cu.yds. per 1000 Sq.Ft.) | Service Connections |
|------------------------------------|---|---|--|---|--|---------------------------|------------------------------|-----------------------------|----------------------------|
| 162,783 sf | 93,397 sf (excluding ROW area) 16,278 required | 28,444 sf (existing + replacement bluegrass) | Approx 10,784 sf | 33 | 68 (existing) | 65 | 325 shrubs (153 existing) | 30 | |
| | | | | | | | | | Yesr Nor* |
| | | | | | | | | | * See Variance Request. |
| Parking Lot (Area in Sq.Ft.) | Parking Lot Landscape Area (Sq. ft.) | No. of Parking Spaces | Nonliving Ornamental (Area in Sq.Ft.) | No. of Interior Landscape Islands | Minimum Width of Interior Landscaped Islands | No. of Trees Required | No. of Trees Provided | No. of Shrubs Required | No. of Shrubs Provided |
| 28,300 sf (existing) | 2,830 required; 2,830 provided | 98 Parking (Includes 2 ADA Spaces) On Lot | N/a | 11 | N/a | 11 | 11 (existing) | 12 | 12 (existing) |
| | | | | | | | | | |





| ₩ | Description Date Date Date Date Dat | Date 6/23/1 |
|-------|--|----------------|
| | | |

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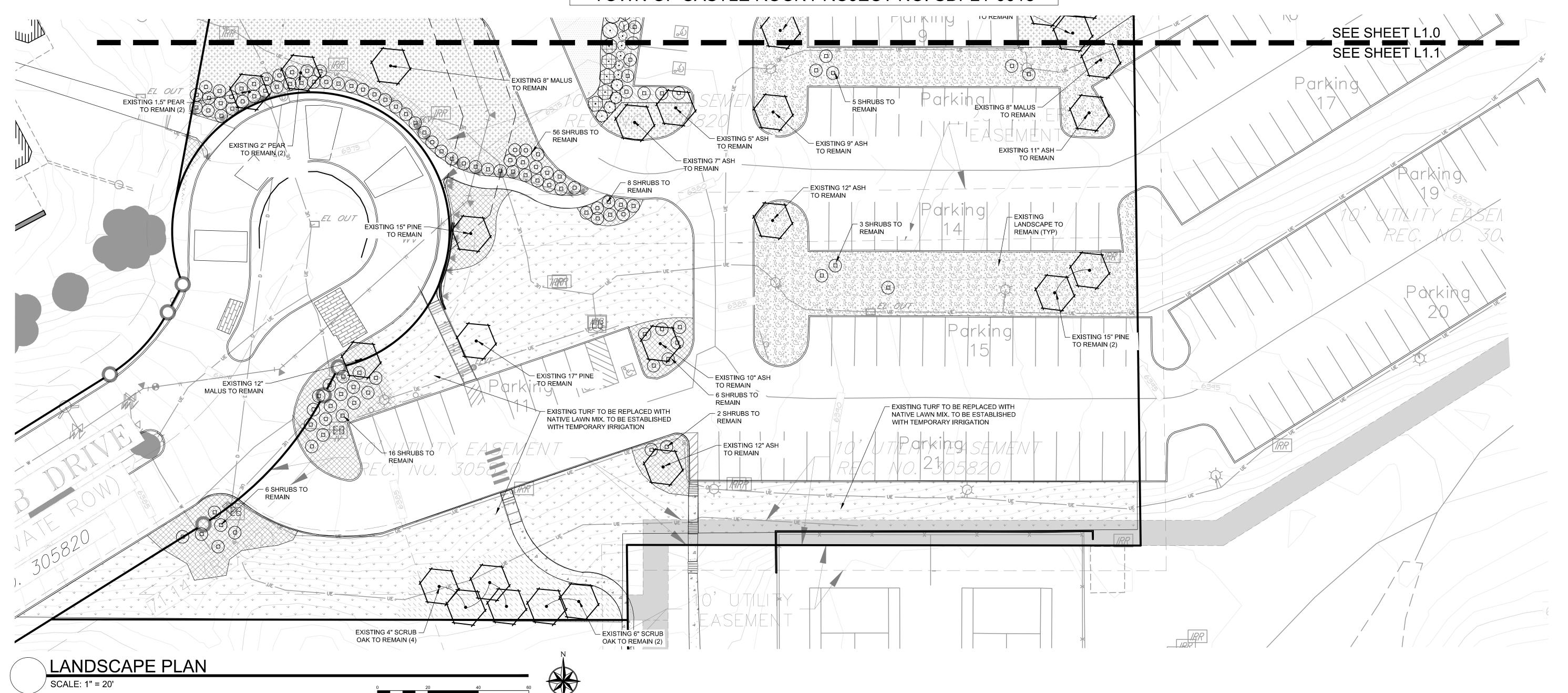
Project #: Date: 11/02/21 Drawn By: Checked By: NAM Scale: Revisions: As Noted

Sheet #

SITE DEVELOPMENT PLAN LOT 3 TOURNAMENT PLAYERS CLUB AT PLUM CREEK 1 AMD 1 3.737 AM/L

LOCATED IN THE QUARTER: SE; SECTION: 14; TOWNSHIP: 8; RANGE: 67

TOWN OF CASTLE ROCK PROJECT NO. SDP21-0018



| | | | | | | | y | | | | | |
|--|--------|------------|--|-------------------------|----------------|---|----------|-----|--------------------------------------|----------------------------|-------|--|
| PLANT SCHEDULE | | | | | PLANT SCHEDULE | | | | | | | |
| TREES | CODE | <u>QTY</u> | BOTANICAL NAME | COMMON NAME | CONT | GRASSES | CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | |
| $\langle \cdot \rangle$ | EX-RET | 68 | TO REMAIN- PROTECT DURING CONSTRUCTION | EXISTING TREE TO REMAIN | EXISTING | | ВВ | 12 | BOUTELOUA GRACILIS `BLONDE AMBITION` | BLUE GRAMA | 1 GAL | |
| SHRUBS | CODE | <u>QTY</u> | BOTANICAL NAME | COMMON NAME | SIZE | 1 +5 | SI | 21 | SORGHASTRUM NUTANS 'INDIAN STEEL' | INDIAN GRASS | 1 GAL | |
| \odot | AC | 17 | ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN' | MANZANITA | 5 GAL | \odot | SW | 24 | SPOROBOLUS WRIGHTII | BIG SACATON | 1 GAL | |
| \bigcirc | CD | 21 | CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' | BLUE MIST SHRUB | 5 GAL | PERENNIALS | CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | |
| ************************************** | JS | 16 | JUNIPERUS SABINA `BROADMOOR` | BROADMOOR JUNIPER | 5 GAL | <u>• • • • • • • • • • • • • • • • • • • </u> | AST | 18 | ASCLEPIAS TUBEROSA | BUTTERFLY MILKWEED | 1 GAL | |
| \odot | PLC | 14 | PHILADELPHUS LEWISII 'CHEYENNE' | LEWIS MOCK ORANGE | 5 GAL | \odot | CI | 19 | CALLIRHOE INVOLUCRATA | WINE CUPS | 1 GAL | |
| \odot | POD | 13 | PHYSOCARPUS OPULIFOLIUS 'DIABLO' | DIABLO NINEBARK | 5 GAL | \bigcirc | EM | 32 | ECHINACEA PURPUREA `MAGNUS` | MAGNUS PURPLE CONEFLOWER | 1 GAL | |
| 60 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 | POL | 9 | PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' | DWARF PURPLE NINEBARK | 5 GAL | \odot | RFG | 34 | RUDBECKIA FULGIDA `GOLDSTURM` | GOLDSTURM BLACK-EYED SUSAN | 1 GAL | |
| \odot | PF | 22 | POTENTILLA FRUTICOSA 'GOLDFINGER' | GOLDFINGER POTENTILLA | 5 GAL | | | | | | | |
| (+) | РО | 14 | POTENTILLA FRUTICOSA 'PINK BEAUTY' | PINK BEAUTY POTENTILLA | 5 GAL | | | | | | | |
| \odot | PBP | 19 | PRUNUS BESSEYI 'PAWNEE BUTTES' | SAND CHERRY | 5 GAL | | | | | | | |
| | RG | 27 | RHUS AROMATICA `GRO-LOW` | GRO-LOW FRAGRANT SUMAC | 5 GAL | | | | | | | |

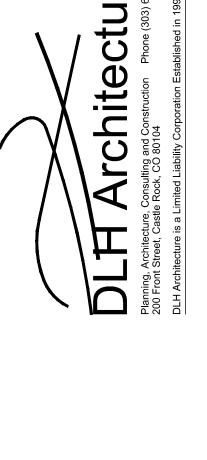
EXISTING

EXISTING SHRUB

TO REMAIN

| _ | GROUND COVERS | <u>QTY</u> | BOTANICAL / COMMON NAME |
|---|--|------------|--|
| | | 9,105 SF | EX LANDSCAPE - SHRUB BED / TO REMAIN ADJUST FOR NEW LAYOUT. REPLACE ANY DEAD/DAMAGED MATERIALS AND PROTECT DURING CONSTRUCTION. |
| | + + + + + + + + + + + + + + + + + + + | 21,408 SF | EX TURF TO REMAIN / EXISTING KENTUCKY BLUEGRASS PROTECT IN PLACE, REPAIR/REPLACE ANY DAMAGED MATERIALS. TURF ON SEPARATE, EXISTING IRRIGATION SYSTEM FOR OVERALL DEVELOPMENT. ADJUST FOR NEW LAYOUT. |
| | \\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\ | 25,503 SF | EXISTING LANDSCAPE - NATIVE / NATIVE LANDSCAPE TO REMAIN |
| | * * * * * * * * * * * * * * * * * * * | 16,024 SF | NATIVE TURF MIX / BUFFALO BRAND NATIVE TURF MIX 2-3 LBS PER 1000 SQUARE FEET. TEMPORARILY IRRIGATED SEED MIX. |
| | | 7,135 SF | TURF / TEXAS HYBRID BLUEGRASS KENTUCKY BLUE GRASS BLEND TO MATCH EXISTING. SETBACK AND PARKWAY AREAS TO BE ON OVERALL DEVELOPMENT SYSTEM. |
| | MULCHES | QTY | BOTANICAL / COMMON NAME |
| | | 116 SF | 2-4" RIVER ROCK / RIVER ROCK |
| | | 8,129 SF | EXISTING ROCK MULCH / ROCK MULCH REPURPOSE EXISTING ROCK MULCH ON SITE FOR SPECIFIED AREAS |
| | | 6,434 SF | WOOD MULCH - SHREDDED / SHREDDED CEDAR MULCH PER OWNER APPROVAL. PLACE TO A UNIFORM DEPTH OF 3" . NO WEED BARRIER UNDER WOOD MULCH. |

PLANT SCHEDULE



PLUM CREEK CLUB
331 Players Club Drive

OUSE

Project #: 2102
Date: 11/02/21
Drawn By: JRO
Checked By: NAM
Scale: As Noted
Revisions:

Sheet #

NATURAL DESIGN SOLUTIONS

Landscape Architecture

Land Planning · Irrigation Design

5539 Colt Drive, Longmont, CO 80503

(303) 443-0388 · neil@ndscolorado.com

L1.1

SITE DEVELOPMENT PLAN LOT 3 TOURNAMENT PLAYERS CLUB AT PLUM CREEK 1 AMD 1 3.737 AM/L

LOCATED IN THE QUARTER: SE; SECTION: 14; TOWNSHIP: 8; RANGE: 67

TOWN OF CASTLE ROCK PROJECT NO. SDP21-0018

GENERAL NOTES

- (Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")
- 1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF PLANT MATERIAL ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. GRAPHIC QTY'S. PREVAIL OVER WRITTEN QTY'S. PRIOR TO COMMENCEMENT OF WORK THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING AND SCOPE OF WORK.
- 2. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OR COUNTY PLANNING DEPARTMENTS. LANDSCAPE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO FURNISH SCOPE OF WORK AS SHOWN PER PLAN.
- 3. EXISTING TOPSOIL IS TO BE STOCKPILED AND USED TO ESTABLISH FINAL GRADES WITHIN LANDSCAPE AREAS. ALL STOCKPILED SOIL MUST BE CLEAR OF WEEDS, ROCKS AND DEBRIS BEFORE REUSE. ALL BERMED PLANTING BEDS TO BE CREATED WITH IMPORTED TOPSOIL.
- 4. GENERAL CONTRACTOR TO RE-SPREAD STOCKPILED SOIL AND ESTABLISH ROUGH GRADE CONDITIONS TO THE FOLLOWING SPECIFICATIONS:
- A. 1" BELOW CURB FOR ALL SEEDED AREAS.
 B. 2.5" BELOW CURB FOR ALL SODDED AREAS.
- C. 4" BELOW CURB FOR ALL PLANTING, ROCK AND MULCH BEDS.
- 5. CONTRACTOR TO TILL PARKING LOT ISLANDS TO A DEPTH OF 30".
- 6. AMEND ALL PLANTING BEDS WITH CLASS 1 COMPOST. APPLY AT RATE OF 4 CYDS. PER 1000 SQUARE FEET TO ALL PLANTING BEDS AND MANICURED LAWN AREAS, AND 4 CYDS. PER 1000 SQUARE FEET FOR SEEDED AREAS. TILL, MIXING THOROUGHLY, INTO THE UPPER 8" OF SOIL.
- 7. FINE GRADE TO BE ESTABLISHED BY LANDSCAPE CONTRACTOR. FINE GRADE SHALL BE FREE OF ROCKS AND DEBRIS. FINE GRADE IN SEED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS ½" AND GREATER. FINE GRADE IN SODDED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS ¼"AND GREATER. CONTRACTOR TO REPORT ANY POOR DRAINAGE CONDITIONS PRIOR TO CONSTRUCTION.
- 8. CONTRACTOR IS TO PROVIDE VERIFICATION THAT ALL SOD AND SEED IS OF THE SPECIES SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE ALLOWED. SOD TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION. SEEDED AREAS CANNOT BE SUBSTITUTED WITH SOD.
- 9. MULCHS: ALL PLANTING BEDS THAT CALL FOR WOOD/ORGANIC MULCH TO RECEIVE 4" ORGANIC SHREDDED BARK MULCH. SHREDDED MULCH IS TO BE OF FIBROUS MATERIAL, NOT CHIPS OR CHUNKS. NO FABRIC IS TO BE PLACED UNDER WOOD/ORGANIC MULCH. TREES IN TURF AND NATIVE GRASS AREAS TO RECEIVE 4' DIAMETER OF WOOD MULCH, 4" DEPTH. SHRUBS AND GROUNDCOVERS IN NATIVE GRASS AREAS TO RECEIVE WOOD MULCH RING MINIMUM 6" LARGER RADIUS THAN ROOT BALL OR CONTAINER SIZE 4" DEEP. ALL MULCHED BEDS ARE TO BE SPRAYED WITH WATER AFTER INSTALLATION TO HELP MULCH TO MAT DOWN.

TREES IN COBBLE/ROCK MULCH TO RECEIVE 4' DIAMETER OF WOOD MULCH, 4" DEEP. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH AREAS TO RECEIVE WOOD MULCH RING MINIMUM 6" LARGER RADIUS THAN ROOT BALL OR CONTAINER SIZE, 4" DEEP. NO FABRIC UNDERLAYMENT IN WOOD MULCH AREAS.

USE PERMEABLE FABRIC UNDERLAYMENT FOR ALL COBBLE/AGGREGATE AREAS WITH SLOPES 3:1 AND LESS.

10. SEED MIX INSTALLATION: CONTRACTOR TO DRILL SEED WITH BRILLION TYPE APPLICATOR AND APPLY 'SOIL GUARD' BONDED FIBER MATRIX (BFM), WHERE INDICATED PER PLAN AND SCHEDULES. APPLY SEED IN TWO DIRECTIONS (PERPENDICULAR OF THE OTHER) ADD SOIL GUARD BFM FOR DRILL SEEDING WHERE NOTED PER PLAN AND ON ALL SLOPES 5:1 TO 3:1. FOR AREAS WITH 3:1 SLOPES CONTRACTOR TO USE SOIL GUARD APPLICATION ONLY (IN LIEU OF HYDROMULCH) CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RE-SEED ALL BARE AREAS (6"x6") AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION RE-APPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6"x6" OR GREATER) AND TO ALL BARE AREAS (4"x4" OR GREATER) ON ALL SLOPES 3:1 AND GREATER.

- REMOVED DEAD TWIGS AND BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIAL IN A MANNER THAT DOES NOT CHANGE THE NATURAL HABIT OF THE PLANT MATERIAL. SCARES OF 1" OR MORE SHALL BE PAINTED WITH ORGANIC TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED AT ANY TIME. NEWLY PLANTED TREES WITHOUT CENTRAL LEADERS WILL BE REJECTED.
- 12. CONTRACTOR TO APPLY FERTILIZER IN SPRING & LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
- ALL SEEDED AND SODDED AREAS TO HAVE RECOMMEND FERTILIZER APPLICATIONS ADDED ONCE IN MID TO LATE JUNE AND ONCE IN LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
- 13. ALL PLANT MATERIALS AND UTILITIES ARE SHOWN AT AN APPROXIMATE LOCATIONS. THE CONTRACTOR MAY NEED TO ADJUST LOCATIONS OF PLANT MATERIAL TO ADHERE TO SPECIFIC ON-SITE CONDITIONS AND CODE REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLACES AT 2' MINIMUM BACK OF CURB. CONTRACTOR TO CALL FOR UTILITY LOCATES BEFORE PLANTING (TYP.) 1-800-922-1987. OR CALL 811 BEFORE YOU DIG!
- 14. STEEL EDGING TO BE USED TO SEPARATE ALL TURF AND/OR SEEDED AREAS FROM PLANTING BEDS. USE PERFORATED EDGING SEGMENTS TO OBTAIN POSITIVE DRAINAGE FOR ALL DRAINAGE SWALES OR AREAS OF STANDING WATER. EDGING TO BE ROLL TOP STEEL.
- 15. CONTRACTOR TO PROVIDE COBBLE & UNDERLAYMENT FOR BUILDING DRAINS AND SWALES THROUGH LANDSCAPED AREAS.
- 16. ALL REQUIRED LANDSCAPING TO BE INSTALLED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- 17. ALL NURSERY STOCK TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI z60.1) AND THE COLORADO NURSERY ACT.
- 18. CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE
 ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48
 HOURS NOTICE TO SCHEDULE AN INSPECTION. REQUIRED INSPECTIONS
 INCLUDE A LANDSCAPE LAYOUT AND PLANT MATERIAL VERIFICATION AND
 PLACEMENT INSPECTION, IRRIGATION MAIN LINE INSPECTION,
 LANDSCAPE AND IRRIGATION PUNCH LIST INSPECTION, AND A
 LANDSCAPE AND IRRIGATION FINAL INSPECTION.
- 19. CONTRACTOR IS TO PROVIDE A TWO YEAR WARRANTY ON ALL PLANT MATERIAL, TURF, IRRIGATION COMPONENTS, AND WORKMANSHIP. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DECAYED OR DEAD PLANT MATERIAL. WARRANTY IS VOID IF PLANT MATERIAL ARE UNDER OR OVER-WATERED/FERTILIZED, DAMAGED BY VANDALISM OR NEGLECTED BY OWNER AFTER FINAL MAINTENANCE PERIOD AND FINAL ACCEPTANCE IS PROVIDED.

REMOVE ALL TREE STAKING MATERIALS AT END OF WARRANTY, PRIOR TO FINAL ACCEPTANCE

20. MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT (INCLUDING ANNUAL BEDS). ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

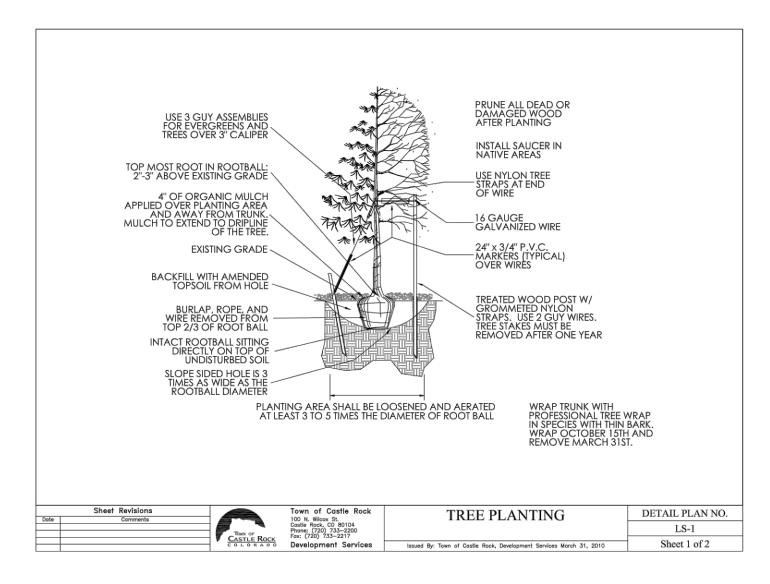
FOUR FEET HEIGHT PROTECTIVE FENCING IS TO BE INSTALLED AROUND THE EXISTING TREES TO REMAIN PRIOR TO CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO TAKE PRECAUTIONS TO ENSURE THAT EXISTING ROOTS AND LIMBS ARE NOT DAMAGED DURING EXCAVATION ADJACENT TO TREES. FENCING IS TO BE INSTALLED BELOW THE EDGE OF THE CANOPY OF THE EXISTING TREES TO REMAIN. FENCING IS TO REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.

IF ROOT PRUNING IS NECESSARY FOR GRADING, EXCAVATING, OR INSTALLATION OF IRRIGATION SYSTEM, ALL ROOT PRUNING IS TO TAKE PLACE OUTSIDE OF THE PROTECTIVE FENCING AROUND EACH TREE. CONTRACTOR IS TO TRENCH 12" AWAY FROM PROTECTIVE FENCING. ANY ROOTS LARGER THAN 2" ARE TO BE SAW CUT. CONTRACTOR IS TO HAND DIG ANY TRENCHES AND SAW CUT ANY INTERFERING ROOTS INSIDE THE PROTECTIVE FENCE AREAS.

WATERING, MULCHING, AND FERTILIZATION:

PRIOR TO CONSTRUCTION CONTRACTOR IS TO PLACE A 4" DEPTH OF WOOD CHIPS OR MULCH INSIDE THE PROTECTIVE FENCING OF EXISTING TREES TO REMAIN. CONTRACTOR IS TO PROVIDE REGULAR DEEP WATERING TO ALL EXISTING TREES TO REMAIN THROUGHOUT CONSTRUCTION. DURING CONSTRUCTION A SLOW-RELEASE NITROGREN FERTILIZER IS TO BE APPLIED AROUND THE BASE OF EACH TREE AT A RATE OF 2 LBS. PER 1000 S.F. (USE DRIP LINE OF TREE TO CALCULATE SQUARE FOOTAGE).





Town of CASTLE ROCK

CLWUR (Composite landscape water use rating) Chart

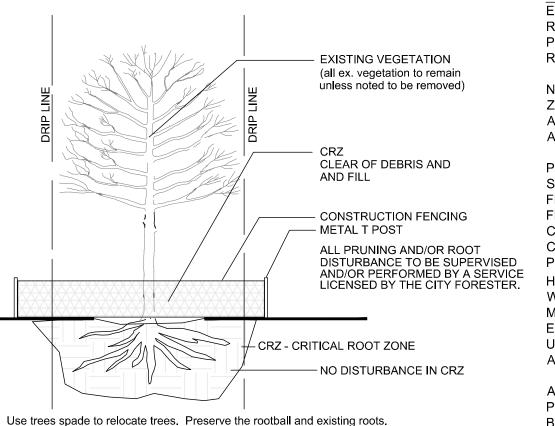
<u>Project Name: Plum Creek Golf Course Clubhouse</u>

<u>Site Development Plan (SDP) Number: SDP21-0018</u>

| Irrigatio n Spray or Drip? | Plant Name (Common) | Appl. Rate (inches/mont h) | Zone (VL,L,Mod,H W) | % of Total Area | IA Irrigated area (in sq. ft. for each zone) | LWUR Landscape Water Use Rating | TA Total Area of all Irrigated Landscape Zones | CLWUR (LWUR X IA) /TA |
|-------------------------------------|---------------------------|----------------------------------|---------------------------|--------------------|--|---------------------------------|--|-----------------------------|
| Spray | Existing Turf Areas | 3.8 | Н | 0.26029802 | 21504 | 4.5 | 82613 | 1.171341072 |
| Drip | Existing Shrub Bed | 2 | L | 0.08526503 | 7044 | 1.5 | 82613 | 0.127897546 |
| n/a | Existing Native | 2 | L | 0.30870444 | 25503 | 1.5 | 82613 | 0.463056662 |
| Spray | Turf- Texas Hybrid Bluegr | 3.8 | Н | 0.08798857 | 7269 | 4.5 | 82613 | 0.39594858 |
| Spray | Native Turf Mix | 1 | V | 0.19396463 | 16024 | 1 | 82613 | 0.19396463 |
| Drip | Xeric Shrub Beds | 1.5 | L | 0.07928534 | 6550 | 1.5 | 82613 | 0.118928014 |
| | | | | | | | | 0 |
| | | | | | | | | 0 |
| | | | | | | Total of t | he CLWUR | 2.471136504 |

TOWN LANDSCAPE CONSTRUCTION NOTES

- 1. INSTALLING CONTRACTOR SHALL CONTACT CASTLE ROCK WATER AT 720.733.6017 TO SCHEDULE A PRE-CONSTRUCTION MEETING BEFORE BEGINNING THE INSTALLATION OF THE LANDSCAPING.
- 2. LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- 3. SOIL INSPECTION IS REQUIRED BEFORE PLANT INSTALLATION AND SCHEDULING SOIL INSPECTION SHOULD BE DISCUSSED AT THE LANDSCAPE PRECONSTRUCTION MEETING.
- 4. INSTALLING CONTRACTOR IS TO PROVIDE SUBMITTAL FROM SUPPLIERS FOR SOD AND NATIVE SEED MIX AT TIME OF LANDSCAPE INSPECTION.
- 5. SOIL AMENDMENT SHALL BE A MINIMUM OF FOUR (4) CUBIC YARDS OF ORGANIC MATTER PER ONE-THOUSAND SQUARE FEET. THIS SOIL AMENDMENT SHALL BE ROTOTILLED TO A DEPTH OF SIX (6) INCHES. CLASS I OR CLASS II COMPOST IS REQUIRED.
- 6. TREES, LARGE SHRUBS AND PERMANENT OBJECTS ARE NOT PERMITTED IN WATER, SANITARY AND STORM SEWER UTILITY EASEMENTS.
- 7. ALL LANDSCAPE IS TO BE INSTALLED PER TOWN OF CASTLE ROCK PLANTING DETAILS.
- 8. PLANT SPECIES AND LOCATION SHOULD FOLLOW THE APPROVED PLAN, IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE TOWN OF CASTLE ROCK AND THE OWNER'S REPRESENTATIVE.
- 9. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR REPLACING LANDSCAPE OR IRRIGATION REMOVED IN UTILITY EASEMENTS DUE TO UTILITY LINE MAINTENANCE OR REPAIR (PWR 14.3.13)
- 10. TOWN PERMIT AND TOWN APPROVED LANDSCAPE PLANS ARE REQUIRED ON SITE DURING INSTALLATION OF THE LANDSCAPE AND IRRIGATION.
- 11. TOWN INSPECTORS WILL NOT APPROVE LANDSCAPE AND OVERHEAD IRRIGATION ON SLOPES STEEPER THAN 3:1
- 12. OVERHEAD IRRIGATION IS NOT PERMITTED ON SLOPES EQUAL TO 3:1 OR IN AREAS LESS THAN 10' IN WIDTH.



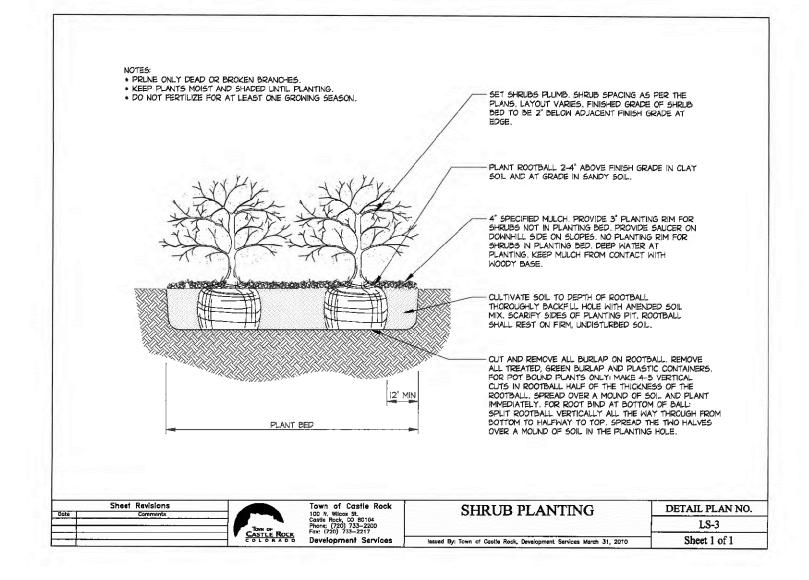
Deep water for three months, provide drip irrigation thereafter.

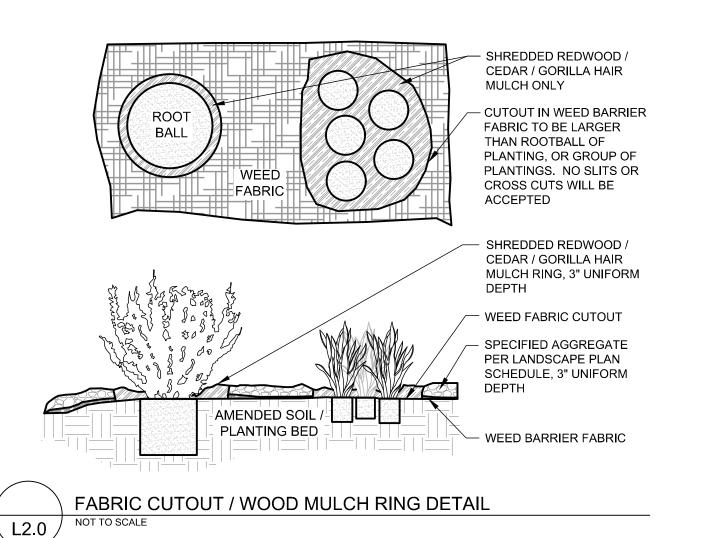
EXISTING TREES
EXISTING TREES DESIGNATED ON PLANS AS "TO REMAIN", OR MARKED FOR PROTECTION AND PRESERVATION IN THE FIELD, SHALL NOT BE REMOVED OR DAMAGED.

NO GRADING TO OCCUR WITHIN THE CRITICAL ROOT ZONE / DRIP LINE OF EXISTING TREES. ALL GRADING AROUND EXISTING TREES TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

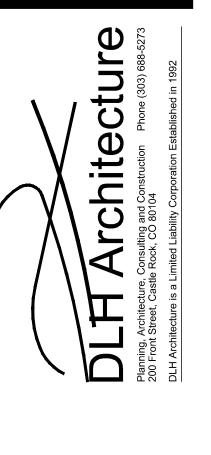
PRIOR TO CONSTRUCTION, ALL PROTECTED TREES SHALL HAVE ORANGE PROTECTION BARRIER FENCING ERECTED AT A HEIGHT OF 4' OR GREATER. FENCING TO BE SUPPORTED BY STURDY STOCK, CAPABLE OF SUPPORTING FENCING UNTIL ALL CONSTRUCTION OPERATIONS ARE COMPLETED. PLACE NO CLOSER THAN 6' FROM TRUNK, OR ONE HALF $\binom{1}{2}$ OF THE DRIP LINE, WHICHEVER IS GREATER. WITHIN THE PROTECTED ZONE THERE SHALL BE NO MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, WAIST, DEBRIS, OR FILL, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.

AVOID CUTTING SURFACE ROOTS WHEREVER POSSIBLE. SIDEWALKS AND PAVING LEVELS SHOULD BE CONTOURED SUFFICIENTLY TO AVOID SUCH. ROOT CUTS FROM EXCAVATION SHOULD BE DONE RAPIDLY. SMOOTHE FLUSH CUTS SHOULD BE MADE. BACKFILL BEFORE ROOTS HAVE A CHANCE TO DRY OUT, AND THOROUGHLY WATER THE TREE IMMEDIATELY.









Rev. # Description

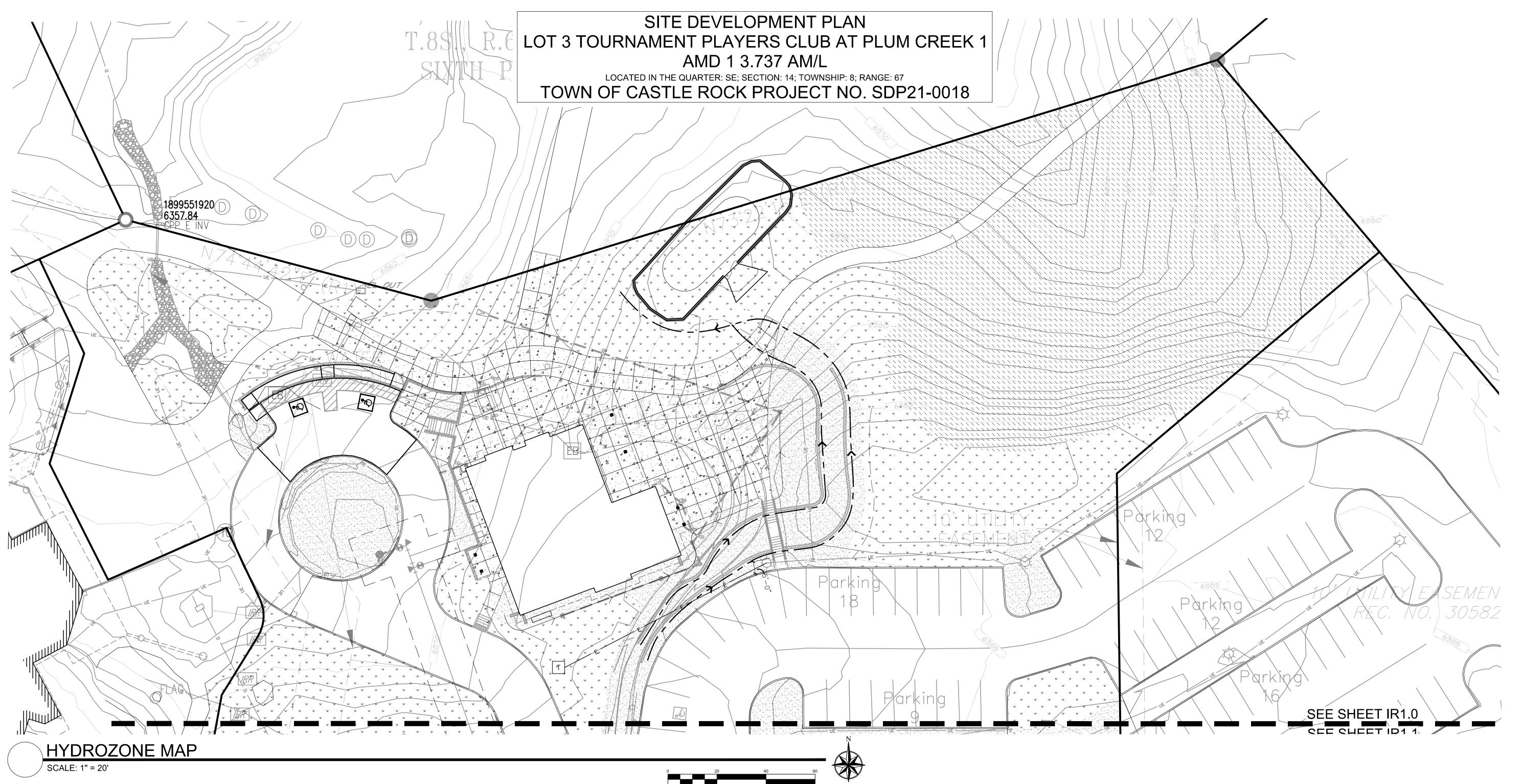
1 |st Submittal Response
2 | 2nd Submittal Response
3 | 3rd Submittal Response

LUM CREEK CLUB HC

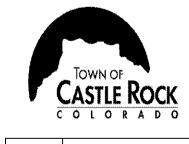
Project #: 2102
Date: 11/02/21
Drawn By: JRO
Checked By: NAM
Scale: As Noted
Revisions:

Sheet 7

L2.0



| SYMBOL | DESCRIPTION | <u>QTY</u> |
|---------------------------------------|--|-------------|
| | DRIP AREAS / ROCK BEDS PROPOSED OR EXISTING DRIP AREAS | 23,903 S.F. |
| \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ | IRRIGATED TURF AREAS | 28,444 S.F. |
| | NATIVE AREAS | 41,528 S.F. |
| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY |
| С | EXISTING CONTROLLER EXISTING CONTROLLER. REPLACE/EXPAND AS NECESSITATED. | 1 |
| | Valve Calleut | |

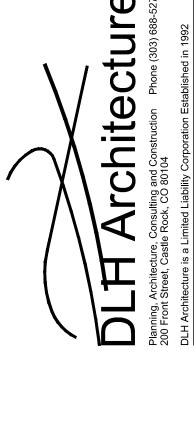


CLWUR (Composite landscape water use rating) Chart

<u>Project Name: Plum Creek Golf Course Clubhouse</u>

<u>Site Development Plan (SDP) Number: SDP21-0018</u>

| Irrigatio n Spray or Drip? | Plant Name (Common) | Appl. Rate (inches/mont h) | Zone (VL,L,Mod,H W) | % of Total Area | IA Irrigated area (in sq. ft. for each zone) | LWUR Landscape Water Use Rating | TA Total Area of all Irrigated Landscape Zones | CLWUR (LWUR X IA) /TA |
|-------------------------------------|---------------------------|----------------------------------|---------------------------|--------------------|--|--|--|-----------------------------|
| Spray | Existing Turf Areas | 3.8 | Н | 0.26029802 | 21504 | 4.5 | 82613 | 1.171341072 |
| Drip | Existing Shrub Bed | 2 | L | 0.08526503 | 7044 | 1.5 | 82613 | 0.127897546 |
| n/a | Existing Native | 2 | L | 0.30870444 | 25503 | 1.5 | 82613 | 0.463056662 |
| Spray | Turf- Texas Hybrid Bluegr | 3.8 | Н | 0.08798857 | 7269 | 4.5 | 82613 | 0.39594858 |
| Spray | Native Turf Mix | 1 | V | 0.19396463 | 16024 | 1 | 82613 | 0.19396463 |
| Drip | Xeric Shrub Beds | 1.5 | L | 0.07928534 | 6550 | 1.5 | 82613 | 0.118928014 |
| | | | | | | | | 0 |
| | | | | | | | | 0 |
| | | | | | | Total of t | ne CLWUR | 2.471136504 |



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|---|---------------------------------------|----------------------------------|------------------|
| | _ | 1st Submittal Response 6/23/2 | 6/23/2 |
| | 2 | 2nd Submittal Response 10/19/2 | 0/19/2 |
| | 3 | 3rd Submittal Response 11/01/21 | 11/01/21 |
| | | | |
| | | | |
| | | | |

PLUM CREEK CLUB
331 Players Club Drive

Project #: 2102
Date: 11/02/21
Drawn By: JRO
Checked By: NAM
Scale: As Noted
Revisions:

Sheet #

NATURAL DESIGN SOLUTIONS

Landscape Architecture

Land Planning · Irrigation Design

5539 Colt Drive, Longmont, CO 80503

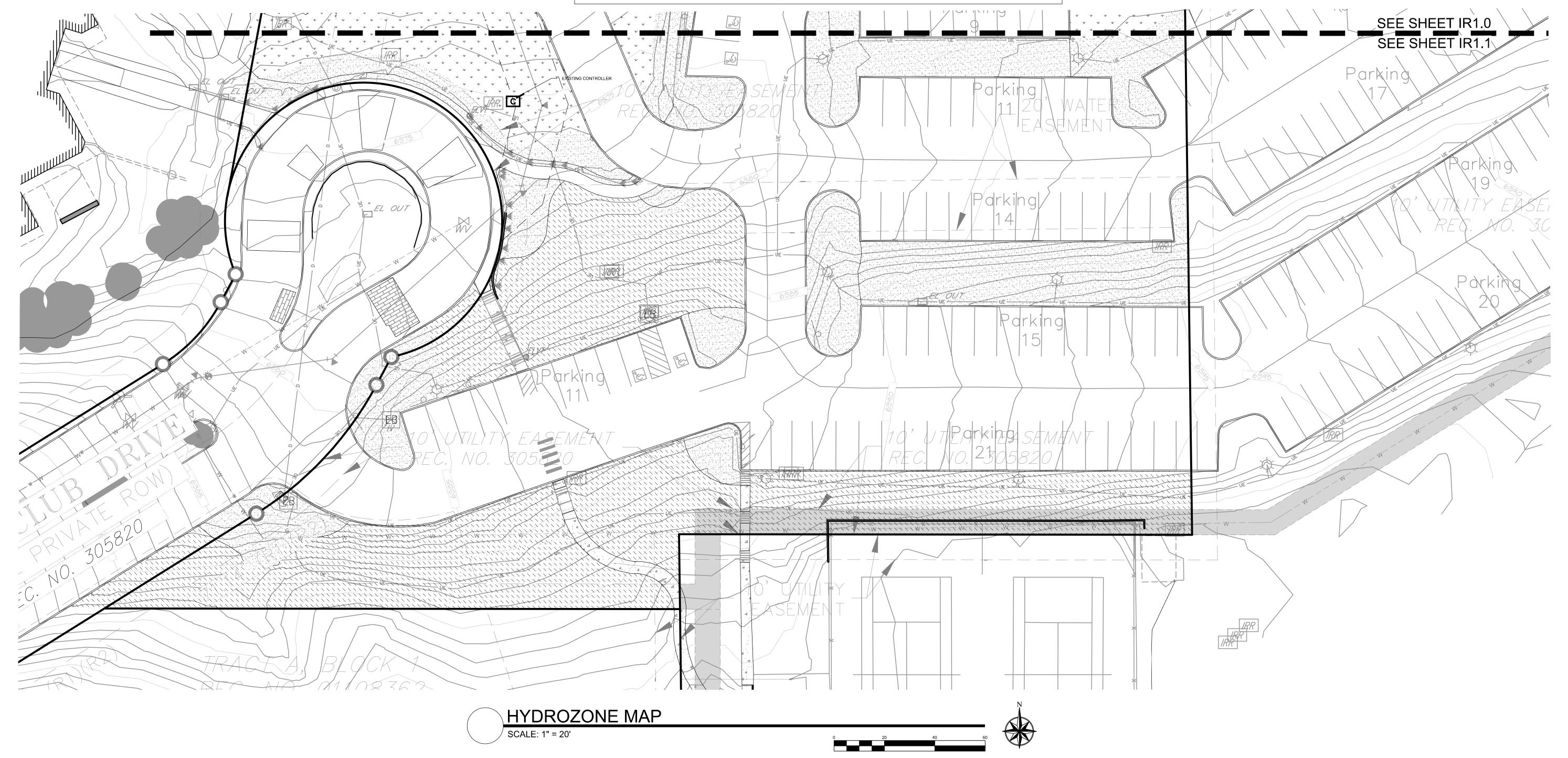
(303) 443-0388 · neil@ndscolorado.com

IR1.0

SITE DEVELOPMENT PLAN LOT 3 TOURNAMENT PLAYERS CLUB AT PLUM CREEK 1 AMD 1 3.737 AM/L

LOCATED IN THE QUARTER: SE; SECTION: 14; TOWNSHIP: 8; RANGE: 67

TOWN OF CASTLE ROCK PROJECT NO. SDP21-0018



IRRIGATION SCHEDULE

| | 001123022 | |
|---|--|-------------|
| SYMBOL | DESCRIPTION | QTY |
| | DRIP AREAS / ROCK BEDS PROPOSED OR EXISTING DRIP AREAS | 23,903 S.F. |
| \(\frac{\psi}{\psi} \psi \psi \psi \psi \psi \psi \psi \psi | IRRIGATED TURF AREAS | 28,444 S.F. |
| | NATIVE AREAS | 41,528 S.F. |
| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY |
| C | EXISTING CONTROLLER EXISTING CONTROLLER. REPLACE/EXPAND AS NECESSITATED. | 1 |
| <u> </u> | Valve Callout Valve Number | |



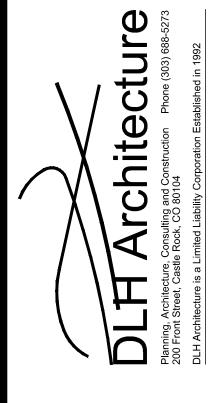
CLWUR (Composite landscape water use rating) Chart

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| | | | | | | | | 0 |
| | | | | | | Total of t | he CLWUR | 2.471136504 |





| # .>< | Description | Date |
|-------|----------------------------------|------------|
| _ | 1st Submittal Response 6/23/2 | 6/23/2 |
| 2 | 2nd Submittal Response 10/19/2 | 10/19/2 |
| 3 | 3rd Submittal Response 11/01/21 | 6 11/01/21 |
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PLUM CREEK CLUB
331 Players Club Drive

Project #: 2102
Date: 11/02/21
Drawn By: JRO
Checked By: NAM
Scale: As Noted
Revisions:

Sheet #

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