

Surveyor's Certification

I, DEREK BROWN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

DEREK BROWN REG. # 11111 DATE
AZTEC CONSULTANTS, INC

Civil Engineer's Certificate

I, BRYAN M. FRANTZ, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

BRYAN M. FRANTZ REG. # 0097862 DATE
CNC Consulting Group

Ownership Certificate

THE UNDERSIGNED ARE ALL OF THE OWNERS OF THE PROPERTY DESCRIBED HEREON.

SW Greens Plum Creek, LLC, A Colorado Limited Liability Company

SIGNED THIS _____ DAY OF _____, 20____.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20____.

BY _____ as _____ of SW Greens Plum Creek, LLC.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____.

Title Certification

I, _____, AN AUTHORIZED REPRESENTATIVE OF _____, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIEN HOLDERS SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE _____

TITLE INSURANCE COMPANY _____

SIGNED THIS _____ DAY OF _____, 20____.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20____.

BY _____ AS AUTHORIZED REPRESENTATIVE

OF _____

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____.

Douglas County Clerk and Recorder's Certificate

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT _____ ON THE _____ DAY OF _____, 20____ AT RECEPTION NO. _____.

DOUGLAS COUNTY CLERK AND RECORDER _____

BY: _____

DEPUTY

Town Council Approval

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO,

ON THE _____ DAY OF _____, 20____.

MAYOR _____ DATE _____

ATTEST:

TOWN CLERK _____ DATE _____

Planning Commission Recommendation

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS RECOMMENDED BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE _____ DAY OF _____, 20____.

CHAIR _____ DATE _____

ATTEST:

DIRECTOR OF DEVELOPMENT SERVICES _____ DATE _____

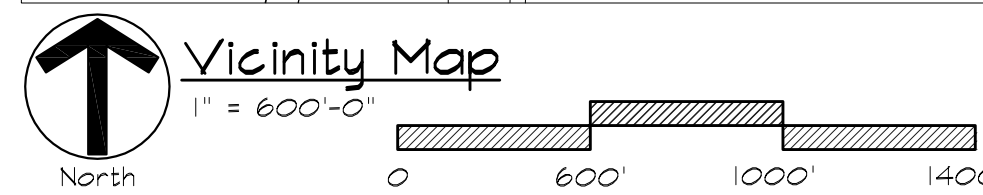
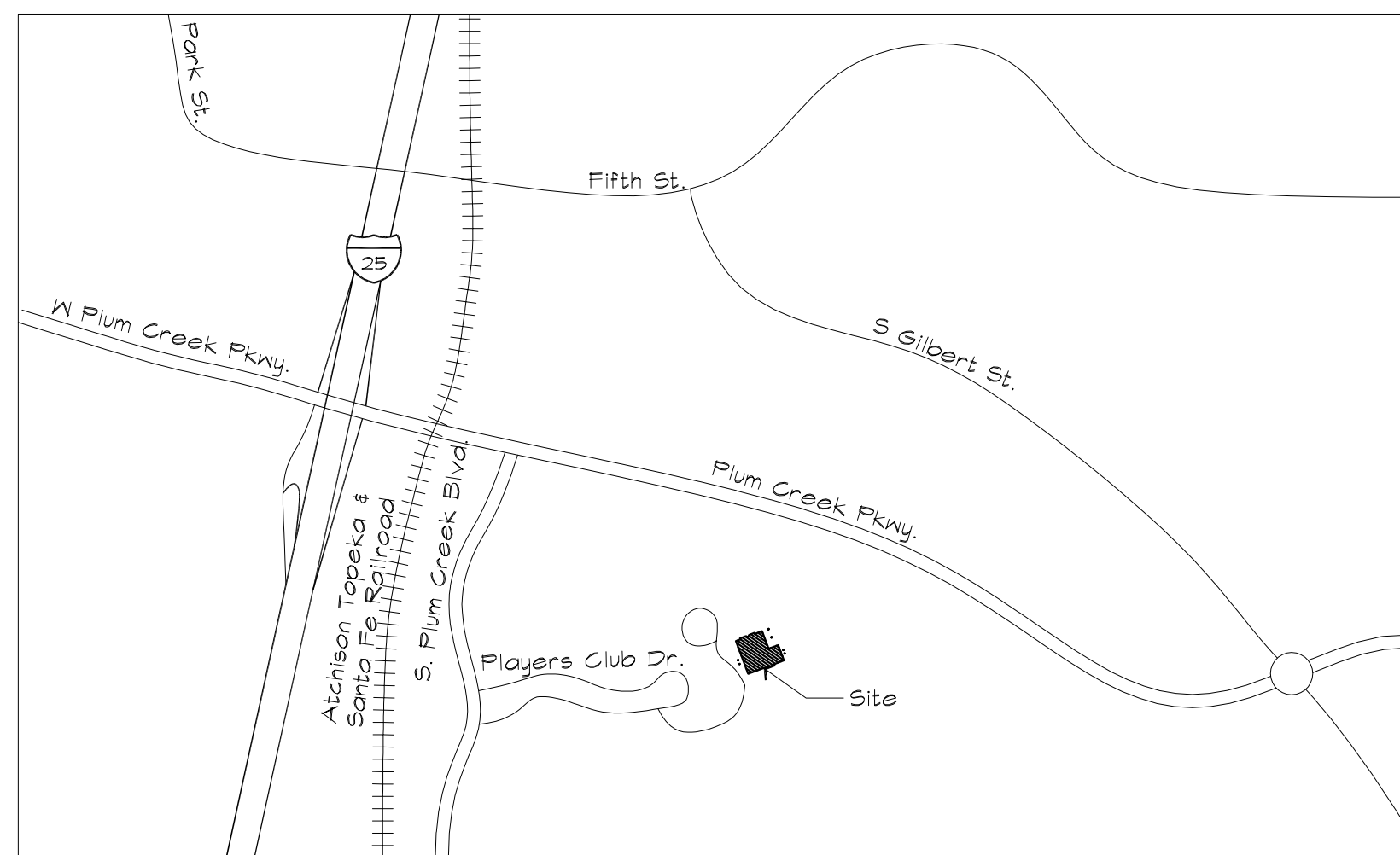
Site Development Plan General Notes:

- The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including but not limited to inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property, unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 25% fee.
 - Pursuant to Section 4.1 and 4.3.2 of the Town of Castle Rock 2021 Landscape Criteria Manual the Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowner/Property Owner Association as applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town the Owner will have 45 days to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.
 - The provided landscape counts in the Site Development Plan are minimum landscape counts. Any changes to the provided landscape counts shall require an SDP amendment. The location of plant material is subject to change due to field condition with release of the Construction Documents.
 - This property is located within the unshaded Zone X as per FEMA FIRM Panel No. 08095C03016 Dated 03/16/2016.
 - Any street signs, striping, street lights and curb ramps are conceptual only and subject to Town review with the Construction Documents. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.
 - The Developer shall conform to the Town of Castle Rock Water Use Management Program Implementation Policy, as amended from time to time, for this project.
 - Approval of this Site Development Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval.
 - No solid object (excluding fire hydrants, traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flowline elevations of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms shall be placed within sight distance lines and sight distance assessments.
 - All Utility Drainage, Emergency Access, Sight Distance and Public Access/Traffic Easements as shown on the Site Development Plan shall be granted to the Town of Castle Rock with the Plot.
 - This Site is Zoned Plum Creek Amended.
 - Unless otherwise noted, all lots shall have a 10-foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have 8-foot Utility Easements along each side lot line. These Utility Easements are for the installation, maintenance and operation of utilities and drainage facilities including, but not limited to street lights, electric lines, gas lines, cable television lines, fiber optic lines and telephone lines, as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines.
 - Retaining walls, sections of retaining walls 4-feet in height as measured from the bottom of the footing to the top of the wall, and retaining walls, regardless of height, which retain a surcharge or tiered walls must be designed by a Structural Engineer licensed in the State of Colorado and must receive a Building Permit from the Town of Castle Rock.
 - A sign permit for each sign must be obtained from the Town of Castle Rock Building Division prior to placing any sign on the property. All signs must comply with the provisions of Title 18 (Sign Code Regulations) of the Municipal Code.
 - The number of parking spaces has been set based on the proposed uses on this Site Development Plan and Chapter 17.54 of the Castle Rock Municipal Code. A change of use to a more parking intensive use as identified in Chapter 17.54 of the Castle Rock Municipal Code will require an amendment to this Site Development Plan.
- FIRE NOTES**
- If fire apparatus access roads or water supply for fire protection is required to be installed such protection shall be installed and made serviceable prior to vertical construction.
 - Fire hydrants are required to be installed and made serviceable prior to and during the time of construction.
 - Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into, or within the jurisdiction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
 - Dead-end fire access roads in excess of 150 feet shall provide an approved area for turning around fire apparatus.
 - Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
 - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 75,000 pounds, and shall be surfaced so as to provide all-weather driving capabilities. The term "all-weather driving capabilities" has been interpreted to mean either concrete or asphalt, or other approved driving surface designed by an engineer and approved by the Fire Department.
 - "No Parking Fire Lane" signs are required in areas that meet the following criteria and in areas designated by the Fire Prevention Bureau. Signs shall be posted on both sides of fire access roadways, public or private roadways and driveways less than 26 feet wide. Signs shall be posted on one side only of fire access roadways, private roadways or driveways between 26 feet wide and 32 feet wide. No signage is required for fire access roadways, public or private roadways or driveways greater than or equal to 32 feet wide.
 - It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.
 - The developer understands that as the project develops there may be fire and life safety provisions of the Town of Castle Rock adopted International Fire Code (IFC) that may arise, and were not clearly visible during the initial reviews, but may require corrective action. These items may include but are not limited to: Fire flow requirements, fire hydrant placement, access, etc.

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

THE FIRST AMENDMENT TO THE TOURNAMENT PLAYERS CLUB AT PLUM CREEK, SUBDIVISION FILING NO. 1
FINAL SITE PLAN RECORDED UNDER RECEPTION NO. 305821
LOT 3 TOURNAMENT PLAYERS CLUB AT PLUM CREEK SUBDIVISION FILING NO. 1 AMENDMENT NO. 1
LOCATED IN THE QUARTER: SE; SECTION: 14; TOWNSHIP: 8; RANGE: 67 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK PROJECT NO. SDP21-0018



Zoning Comparison And Development Standards

Uses:	PD Zoning Allowance/Required	Proposed
Min Front Yard Setback	N/A (Note 1) 15'-0" From Property Line, 25'-0" if Abutting An Arterial Street	40'-0"
Min Rear Yard Setback	N/A (Note 1) 0'-0"	65'-0"
Min Side Yard Setback	N/A (Note 1) 0'-0"	40'-0"
Min Side to Street Setback	N/A (Note 1) 0'-0"	40'-0"
Max Building Height	35'	21'-7"
Max Floor Area Ratio		
Min. Parking Spaces		
Standard Parking Spaces (Dimensions)	204 (8'x18')	No Change
ADA Parking Spaces (Dimensions)	4 (10'x18')	No Change
Single Family Equivalents (SFEs)	N/A	No Change

Site Utilization (Show SF/Acreage and %)

	SF/Acreage
Total Lot Area	162,783 SF/3.737 Acres
Lot Coverage	
Buildings	3,910 SF / 2.4%
Internal Drives and Parking Lot	49,200 SF / 30.2%
Sidewalks, Trash Enclosures, Misc.	16,944 SF / 10.4% (Note 2)
Common Public Access Drives	N/A
ROW Coverage	N/A
Landscape/Open Space Coverage	92,587 SF / 56.9%
Other Coverage	N/A

- No Property Lines Within 200' Of Proposed Building.
- Shared Trash Removal With Main Facility.

Parking

Wedding Venue 1 Parking Space Per 3 Seats Maximum Occupancy:	182 People	61 Spaces
Required Parking Spaces = 182/3		
Golf Course and Club House Parking		
Golf Course 4 Spaces Per Hole + 0.5 Per Employee on Max Shift Number of Holes Number of Employees Required Parking Spaces = 18x4+6x0.5	18 Holes 6 Employees	75 Spaces
Clubhouse Restaurant 10 Spaces Per 1,000 sq. ft. of GFA Size of Restaurant Required Parking Spaces = 1700/1000x10	1700 Sq. Ft.	17 Spaces
Total Parking Spaces Required ADA (Included in Above)		153 Spaces 6 Spaces
Provided		205 Total Spaces Both Venues

Note: 1. Parking is Provided On Multiple Lots And is Shared With The Wedding Venue. Each Venue Has Opposite Business Peak Usage Periods.

Lienholder Subordination Certificate

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED JUNE 12, 2014 AT RECEPTION NO. 2014093465, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

Great Western Bank

SIGNED THIS _____ DAY OF _____, 20____.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20____ BY _____ AS _____ OF GREAT WESTERN BANK.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____.

Water Rights Dedication Agreement

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE PLUM CREEK WATER RIGHTS DEDICATION AGREEMENT AND FIRST AMENDMENT TO THE DEVELOPMENT CONTRACT RECORDED IN BOOK 1283 AT PAT 156, AT RECEPTION NO. 4938421 OF THE DOUGLAS COUNTY, COLORADO RECORDS, AND ACCORDINGLY 1.61 SFE ARE DEBITED FROM THE WATER BANK.

Name & Addresses

Owner:
SW Greens Plum Creek LLC
6630 Bear Dance Dr.
Larkspur, CO 80118
PH: 303-660-1015

Plan Preparer:
DLH Architecture, LLC
200 Front Street
Castle Rock, Colorado 80104
Contact: Dave Hieronymus
PH: 303-668-5273
Email: dlh@dlharchitecture.com

Civil Engineer:
Collins Engineers, INC.
455 Sherman, Suite 160
Denver, Colorado 80203
Contact: Bryan Frantz
PH: 303-447-0040
Email: bfrantz@collinsengr.com

Surveyor:
Aztec Consultants, INC
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Contact: Derek Brown
PH: 303-713-1646

Electrical Engineer:
JSH & Associates
11246 Random Valley Circle
Parker, Colorado 80134
Contact: Scott Hoes
PH: 120-205-4174
Email: jshandassociates@msn.com

Landscape Architect:
Natural Design Solutions
5534 Cold Drive
Longmont, Colorado 80503
Contact: Neil McLane
Email: neil@ndscolorado.com
PH: 303-746-2154

Block Hills Energy:
P.O. Box 6006
Rapid City, SD 57709
PH: 1-888-840-5554

IREA:
5496 US-85
Sedalia, CO, 80135
PH: 303-668-3100

Town of Castle Rock Public Works:
4175 N. Castleton Court
Castle Rock, Colorado 80104
PH: 720-733-2462

Castle Rock Water:
175 Kelllogg Court
Castle Rock, Colorado 80109
PH: 720-733-6000

Sheet Index

Rev. #	Description	Date
1	1st Submittal Response	6/23/21
2	2nd Submittal Response	10/19/21
3	3rd Submittal Response	11/01/21

Legal Description

Lot 3 Tournament Players Club at Plum Creek 1 AMD 1
3,737 AML
Douglas County, Colorado

Building Location Summary

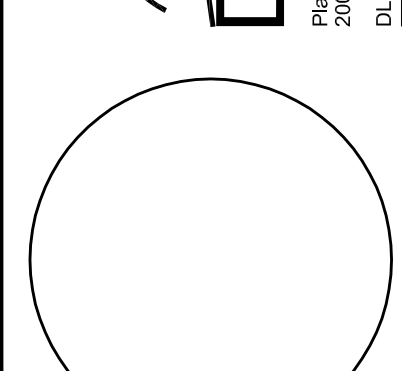
Location:
Town of Castle Rock
Castle Rock, CO 80104

County:
Douglas County

Fire District:
Town of Castle Rock Fire Department

Approved Variances

N/A



Rev. #	Description	Date
1	1st Submittal Response	6/23/21
2	2nd Submittal Response	10/19/21
3	3rd Submittal Response	11/01/21

PLUM CREEK CLUB HOUSE
331 Players Club Drive
Castle Rock, CO 80104

Project #: 2101
Date: 4/1/21
Drawn By: RGB
Checked By: DLH
Scale: as noted

Sheet 1 of 11
Cover Sheet
G1.0
Site Development Plan
Lot 3 Tournament Players
Club at Plum Creek 1 AMD 1
3,737 AML
SDP21-0018

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

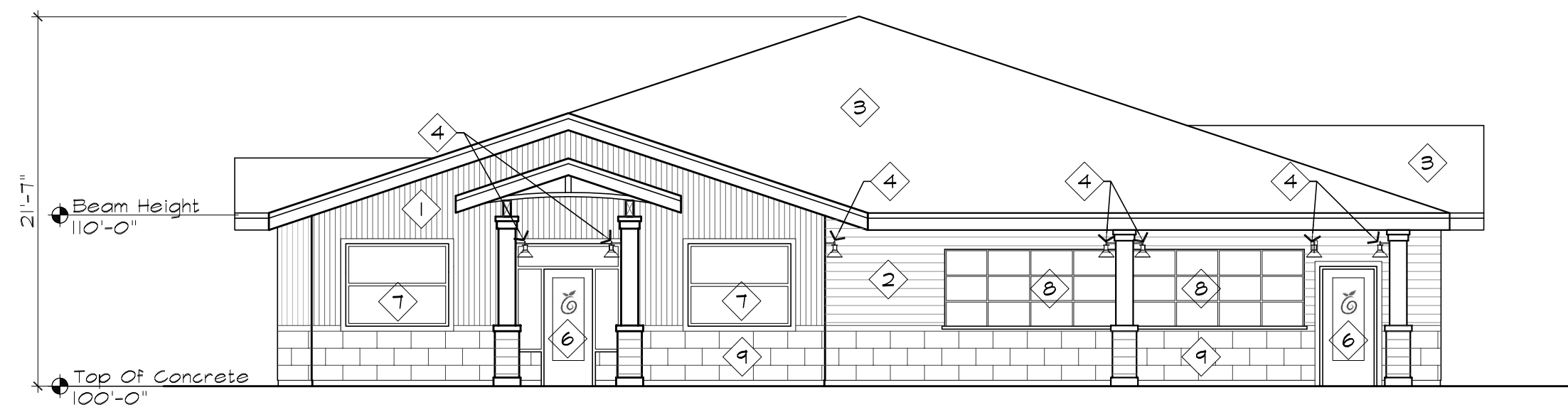
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 LOCATED IN THE QUARTER: SE; SECTION: 14; TOWNSHIP: 8; RANGE: 67 TOWN OF CASTLE ROCK, COUNTY OF
 DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK PROJECT NO. SDP21-0018

Elevation Legend

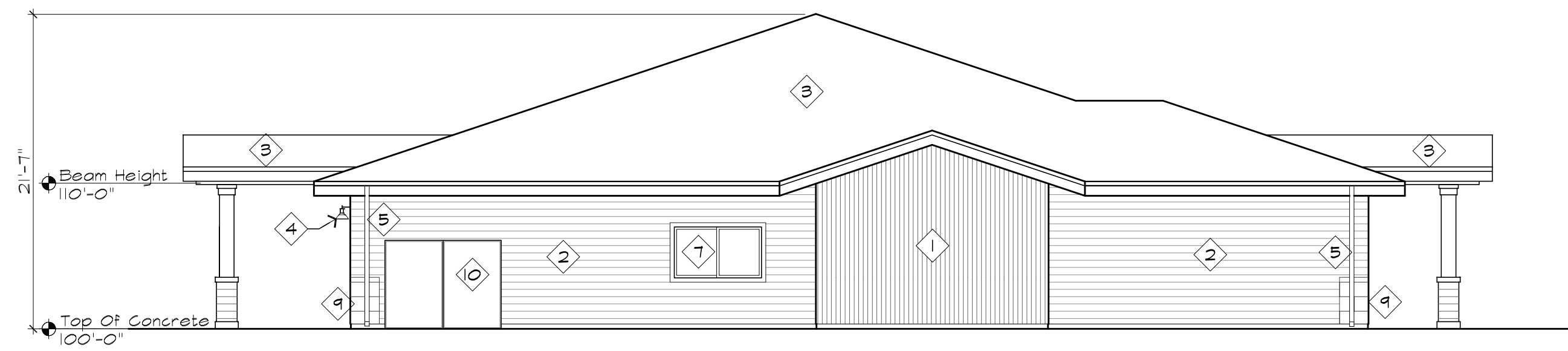
- 1 Vertical Galvanized Corrugated Sheathing, Old Zinc Gray.
- 2 6" Hardie Board Horizontal Siding.
- 3 Black Asphalt Shingle Roof.
- 4 Exterior Wall Mounted Lighting.
- 5 Down Spouts & Gutters, Pre-finished.
- 6 Aluminum Storefront Door.
- 7 Aluminum Storefront Window.
- 8 Serving Awning Window.
- 9 1x2' Synthetic Limestone.
- 10 EUSERC Cabinets

Rev. #	Description	Date
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2	2nd Submittal Response	10/19/21
3	3rd Submittal Response	11/01/21



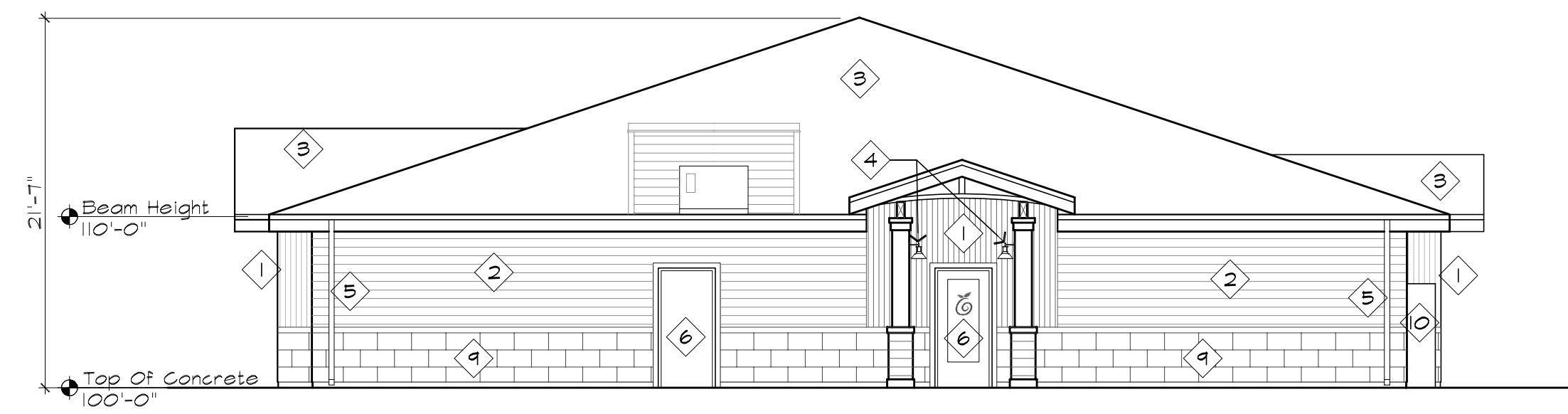
North Elevation

1/8" = 1'-0"



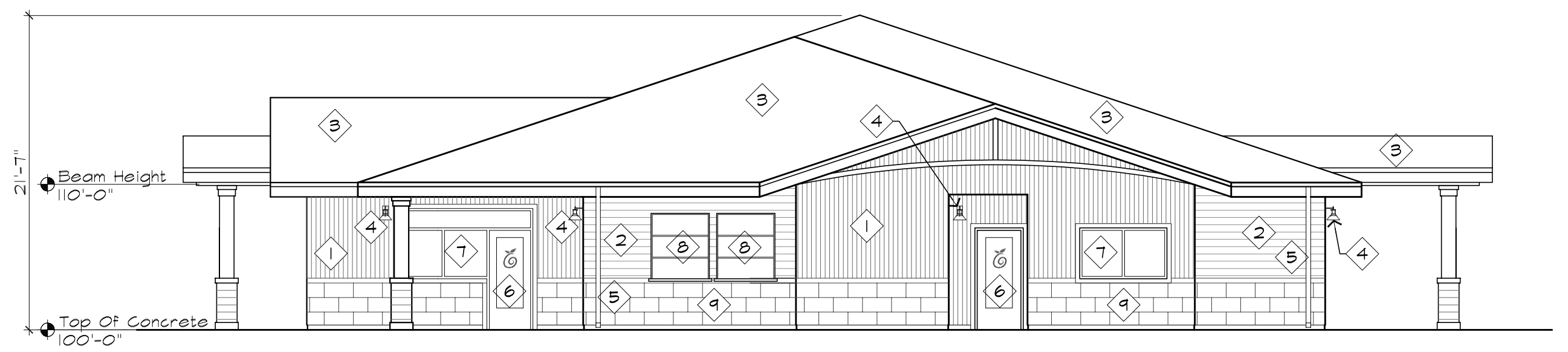
East Elevation

1/8" = 1'-0"



South Elevation

1/8" = 1'-0"



West Elevation

1/8" = 1'-0"

PLUM CREEK CLUB HOUSE
 331 Players Club Drive
 Castle Rock, CO 80104

Project #: 2101
 Date: 4/1/21
 Drawn By: RGB
 Checked By: DLH
 Scale: as noted

Sheet 2 of 11

Exterior Elevations

A1.0

Site Development Plan
 Lot 3 Tournament Players
 Club at Plum Creek 1 AMD 1
 3.77 AML
 SDP21-0018

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

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TOWN OF CASTLE ROCK PROJECT NO. SDP21-0018



EXISTING	LEGEND	PROPOSED
	PROPERTY LINE	
	CURB & GUTTER	
	EASEMENTS/ SETBACKS	
	BUILDINGS	
	CONTOURS	
	CONCRETE	
	HANDICAP RAMP	
	LIGHT POLE	
	SIGN	
	SLOPE	
	SPOT GRADE	
	STORM SEWER	
	STORM SEWER INLET	
	FIRE HYDRANT	

PROJECT BENCHMARK:
 PRIMARY SITE BENCHMARK IS DOUGLAS COUNTY GIS CONTROL POINT 3.030016. RECOVERED AN 3.25" ALUMINUM CAP ON INLET LOCATED ON WESTERLY SIDE OF THE KNUCKLE ON PLUM CREEK BLVD, 220' MORE OR LESS SOUTHEAST OF OCTOBER PLACE. ELEVATION = 6414.10 (NAVD 88).

LOCAL SITE BENCH MARK IS A NO. 5 REBAR WITH A 1.5" ALUMINUM CAP STAMPED AZTEC 51 SET FLUSH WITH GROUND IN THE CENTER OF THE ISLAND OF S. PLUM CREEK BLVD, 280 MORE OR LESS SOUTHEAST OF CHAMPIONS CIR. ELEVATION = 6362.21 (NAVD 88).

EXISTING UTILITY LOCATIONS:
 COLLINS ENGINEERS INC. ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL OR VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

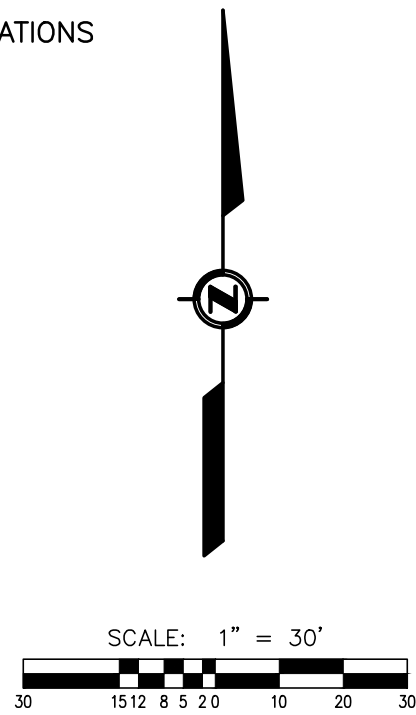
UTILITY NOTE:
 CONTRACTOR SHALL PROVIDE A MINIMUM SEVENTY TWO (72) HOURS' NOTICE TO THE ON-SITE TCR CONSTRUCTION INSPECTOR, (720) 733-2200, PRIOR TO MAKING ANY CONNECTIONS OR TIE-INS TO EXISTING WATER, SANITARY SEWER, AND/OR STORM SEWER SYSTEMS PROVIDED THAT THE UTILITY TIE-IN DOES NOT DISRUPT SERVICE TO EXISTING CR WATER CUSTOMERS. IF THE TIE-IN WILL DISRUPT UTILITY SERVICE, THEN CONTRACTOR SHALL PROVIDE A MINIMUM OF THREE (3) WEEKS' NOTICE TO THE TCR CONSTRUCTION INSPECTOR TO ALLOW TIME FOR CR WATER TO PROVIDE WRITTEN NOTIFICATION TO EXISTING CUSTOMERS AFFECTED BY THE TIE-IN. ALL TOWN UTILITY TIE-INS MUST BE APPROVED BY CR WATER PRIOR TO COMMENCING WORK.

- NOTES:**
- ALL SPOT GRADES ARE TO FLOW LINE UNLESS OTHERWISE NOTED.
 - REFER TO THE UTILITY PLAN ON SHEET C4.0 FOR PERIMETER DRAIN AND ROOF DRAIN INFORMATION.
 - THE PROPOSED HAUL ROUTE MUST BE APPROVED BY THE TCR STREET OPERATIONS AND MAINTENANCE DIVISION.

GRADING ABBREVIATIONS:

FG	FINISHED GRADE
GR	GROUND
TOW	TOP GRADE AT WALL
BOW	BOTTOM GRADE AT WALL
HP	HIGH POINT
LP	LOW POINT
ME	MATCH EXISTING

CUT / FILL:
 CUT = 2,036 CY
 FILL = 393 CY
 NET-CUT = 1,643 CY



Rev. #	Description	Date
1	1st Submittal Response	6/23/21
2	2nd Submittal Response	10/19/21
3	3rd Submittal Response	11/01/21

Project #: 2102
 Date: 04/22/21
 Drawn By: JG
 Checked By: BMF
 Scale: as noted

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TOWN OF CASTLE ROCK PROJECT NO. SDP21-0018



EXISTING		LEGEND		PROPOSED	
---	PROPERTY LINE	---	PROPERTY LINE	---	PROPERTY LINE
====	CURB & GUTTER	---	CURB & GUTTER	---	CURB & GUTTER
---	EASEMENTS/ SETBACKS	---	EASEMENTS/ SETBACKS	---	EASEMENTS/ SETBACKS
///	BUILDINGS	///	BUILDINGS	///	BUILDINGS
■	CONCRETE	■	CONCRETE	■	CONCRETE
▤	HANDICAP RAMP	▤	HANDICAP RAMP	▤	HANDICAP RAMP
☆	LIGHT POLE	☆	LIGHT POLE	☆	LIGHT POLE
---	SIGN	---	SIGN	---	SIGN
---ST---	STORM SEWER	---	STORM SEWER	---	STORM SEWER
---	LANDSCAPE DRAIN	---	LANDSCAPE DRAIN	---	LANDSCAPE DRAIN
---	SANITARY SEWER	---	SANITARY SEWER	---	SANITARY SEWER
---	CLEAN OUT	---	CLEAN OUT	---	CLEAN OUT
---	WATER LINE	---	WATER LINE	---	WATER LINE
---	FIRE HYDRANT	---	FIRE HYDRANT	---	FIRE HYDRANT
---	ELECTRICAL	---	ELECTRICAL	---	ELECTRICAL
---	GAS	---	GAS	---	GAS
---	TELEPHONE/CABLE	---	TELEPHONE/CABLE	---	TELEPHONE/CABLE
---	GATE VALVE	---	GATE VALVE	---	GATE VALVE
---	FLARED END SECTION	---	FLARED END SECTION	---	FLARED END SECTION

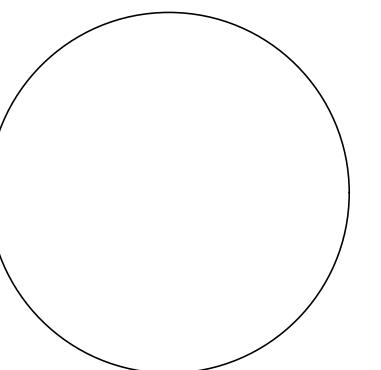
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- UTILITY NOTES:**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET
 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK CRYSTAL VALLEY RED WATER PRESSURE ZONE.

CONTRACTOR SHALL PROVIDE A MINIMUM SEVENTY TWO (72) HOURS' NOTICE TO THE ON-SITE TCR CONSTRUCTION INSPECTOR, (720) 733-2200, PRIOR TO MAKING ANY CONNECTIONS OR TIE-INS TO EXISTING WATER, SANITARY SEWER, AND/OR STORM SEWER SYSTEMS PROVIDED THAT THE UTILITY TIE-IN DOES NOT DISRUPT SERVICE TO EXISTING OR WATER CUSTOMERS. IF THE TIE-IN WILL DISRUPT UTILITY SERVICE, THEN CONTRACTOR SHALL PROVIDE A MINIMUM OF THREE (3) WEEKS' NOTICE TO THE TCR CONSTRUCTION INSPECTOR TO ALLOW TIME FOR CR WATER TO PROVIDE WRITTEN NOTIFICATION TO EXISTING CUSTOMERS AFFECTED BY THE TIE-IN. ALL TOWN UTILITY TIE-INS MUST BE APPROVED BY CR WATER PRIOR TO COMMENCING WORK.

THE FINAL SIZE AND DESIGN OF THE GREASE INTERCEPTOR SHALL BE IN ACCORDANCE WITH THE PLUM CREEK WATER RECLAMATION AUTHORITY CODE OF RULES AND REGULATIONS.



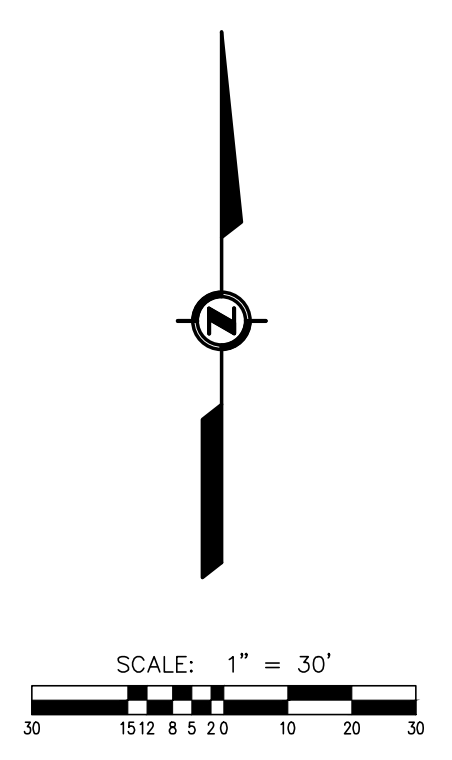
Rev. #	Description	Date
1	1st Submittal Response	6/29/21
2	2nd Submittal Response	01/19/22
3	3rd Submittal Response	11/01/21

PLUM CREEK CLUB HOUSE
 331 Players Club Drive
 Castle Rock, CO 80104

Project #: 2102
 Date: 04/22/21
 Drawn By: JLS
 Checked By: BMF
 Scale: as noted

Sheet 5 of 11

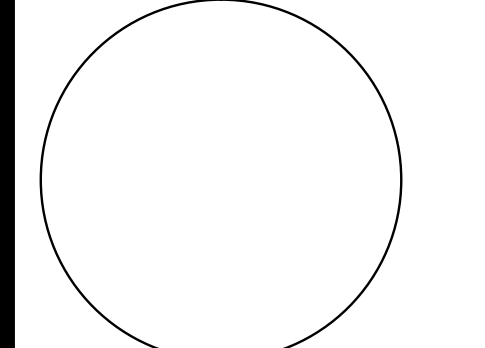
Utility Plan
C4.0
 Site Development Plan
 Lot 3 Tournament Players
 Club at Plum Creek 1 AMD 1
 3.737 AMD
 SDP21-0018



SITE DEVELOPMENT PLAN AMENDMENT NO. 1

THE FIRST AMENDMENT TO THE TOURNAMENT PLAYERS CLUB AT PLUM CREEK, SUBDIVISION FILING NO. 1
 FINAL SITE PLAN RECORDED UNDER RECEPTION NO. 305821
 LOT 3 TOURNAMENT PLAYERS CLUB AT PLUM CREEK SUBDIVISION FILING NO. 1 AMENDMENT NO. 1
 LOCATED IN THE QUARTER: SE; SECTION: 14; TOWNSHIP: 8; RANGE: 67 TOWN OF CASTLE ROCK, COUNTY OF
 DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK PROJECT NO. SDP21-0018



Rev. #	Description	Date
1	1st Submittal Response	6/23/21
2	2nd Submittal Response	10/19/21
3	3rd Submittal Response	11/01/21

PLUM CREEK CLUB HOUSE
 331 Players Club Drive
 Castle Rock, CO 80104

Project #: 2101
 Date: 6/2/21
 Drawn By: ICN
 Checked By: JSH
 Scale: as noted

Sheet 6 of 11

Elec. Site Plan
ES.1
 Site Development Plan
 Lot 3 Tournament Players
 Club at Plum Creek 1 AMD 1
 3.737 AML
 SDP21-00XX

WAC LIGHTING

Sleepless
Wall Light 3000K

Model & Size	Color Temp & CRI	Watt	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W43011 11"	3000K 90	13W	120-277 VAC	700	385	BK/AB Black/Aged Brass

Example: **WS-W43011-BK/AB**

DESCRIPTION
Modern farmhouse industrial. A beckoning invitation.


FEATURES

- Driver concealed within fixture
- 5 Year warranty

SPECIFICATIONS

Color Temp: 3000K
 Input: 120-277 VAC, 50/60Hz
 CRI: 90
 Dimming: ELV: 100-10%, 0-10V: 100-5%, TRIAC: 100-5%
 Rated Life: 50000 Hours
 Standards: ETL, cETL, IP65
 Construction: Wet Location Listed
 Aluminum hardware with hammered seeded glass diffuser

Fixture Type: _____
 Catalog Number: _____
 Project: _____
 Location: _____

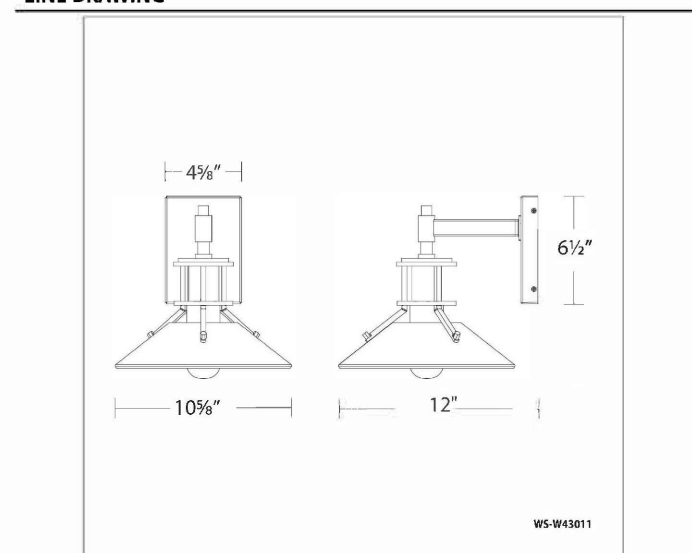


Fixture Type: **A**
 Model: **WS-W43011**
 Initial Lumens: **700**
 Mounting Height: **10 Feet**

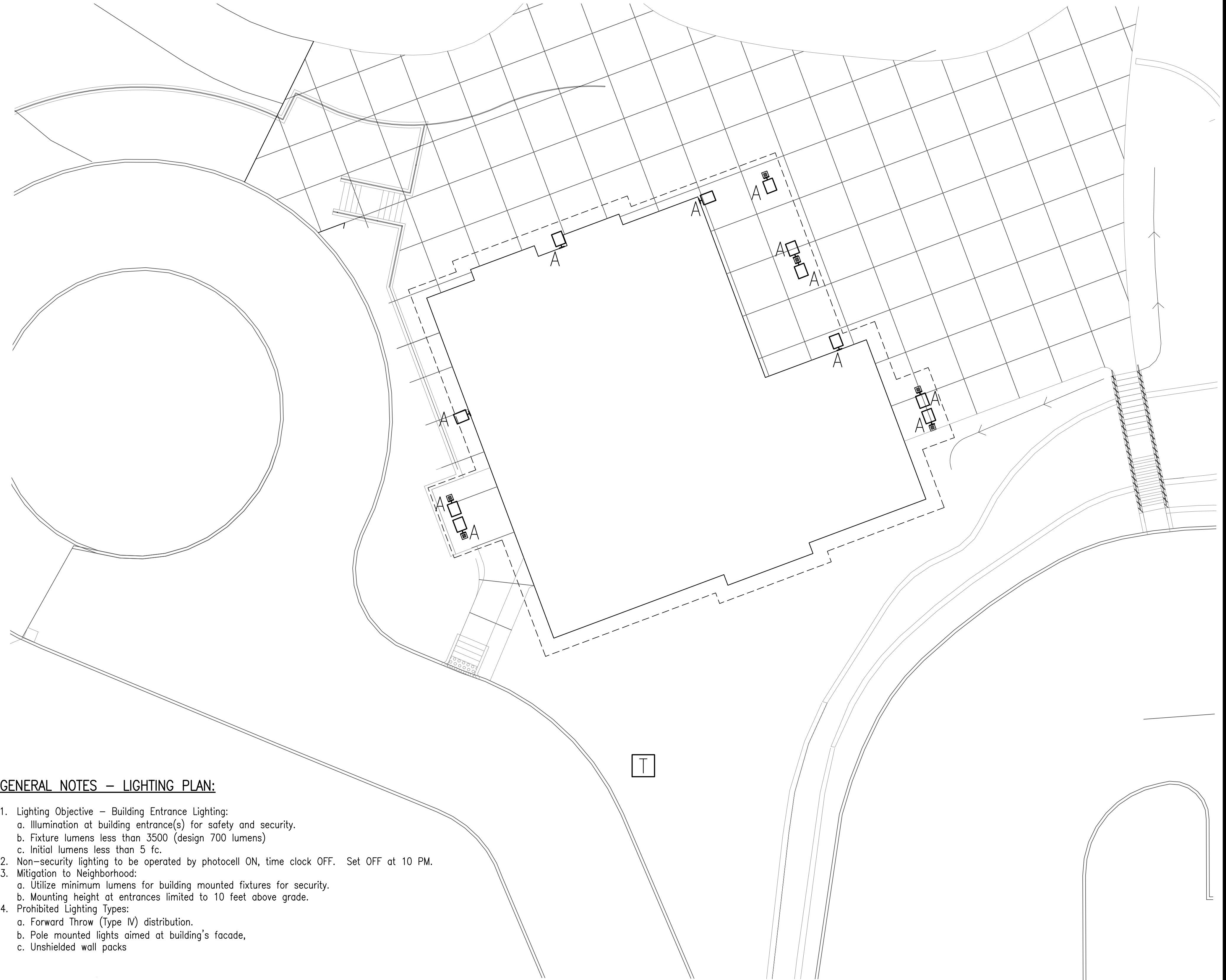
FINISHES

Black/Aged Brass

LINE DRAWING



wacighting.com | Phone (800) 526.2588 | Fax (800) 526.2585 | Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050
 WAC Lighting reserves the right to modify the design of our products at any time as part of the company's continuous improvement program. February 2021



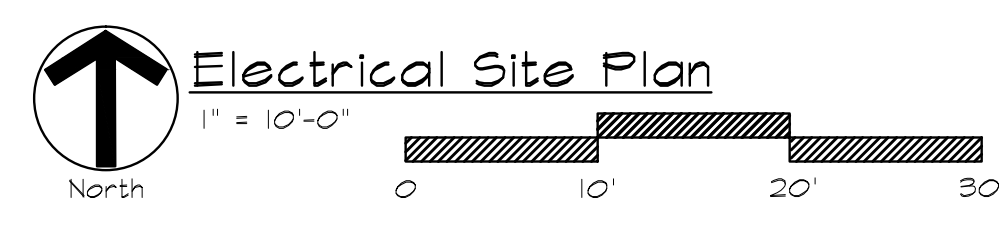
Luminare Table							
Type	Description	Catalog Number	Lamp	Lumens	LLF	Quantity	Mounting
A	Building Mounted Down Light	WAC Lighting Sleepless Wall Light: WS-W43011	LED	700	1	10	10 feet

FIXTURE CONTROL: PHOTOCELL ON, TIME CLOCK OFF, SET @ 10 PM

NOTE: Per Town of Castle Rock Municipality Code, Chapter 17 (17.58.050, Table 1), non-full cutoff building mounted light fixtures must be less than 3500 lumens / fixture.

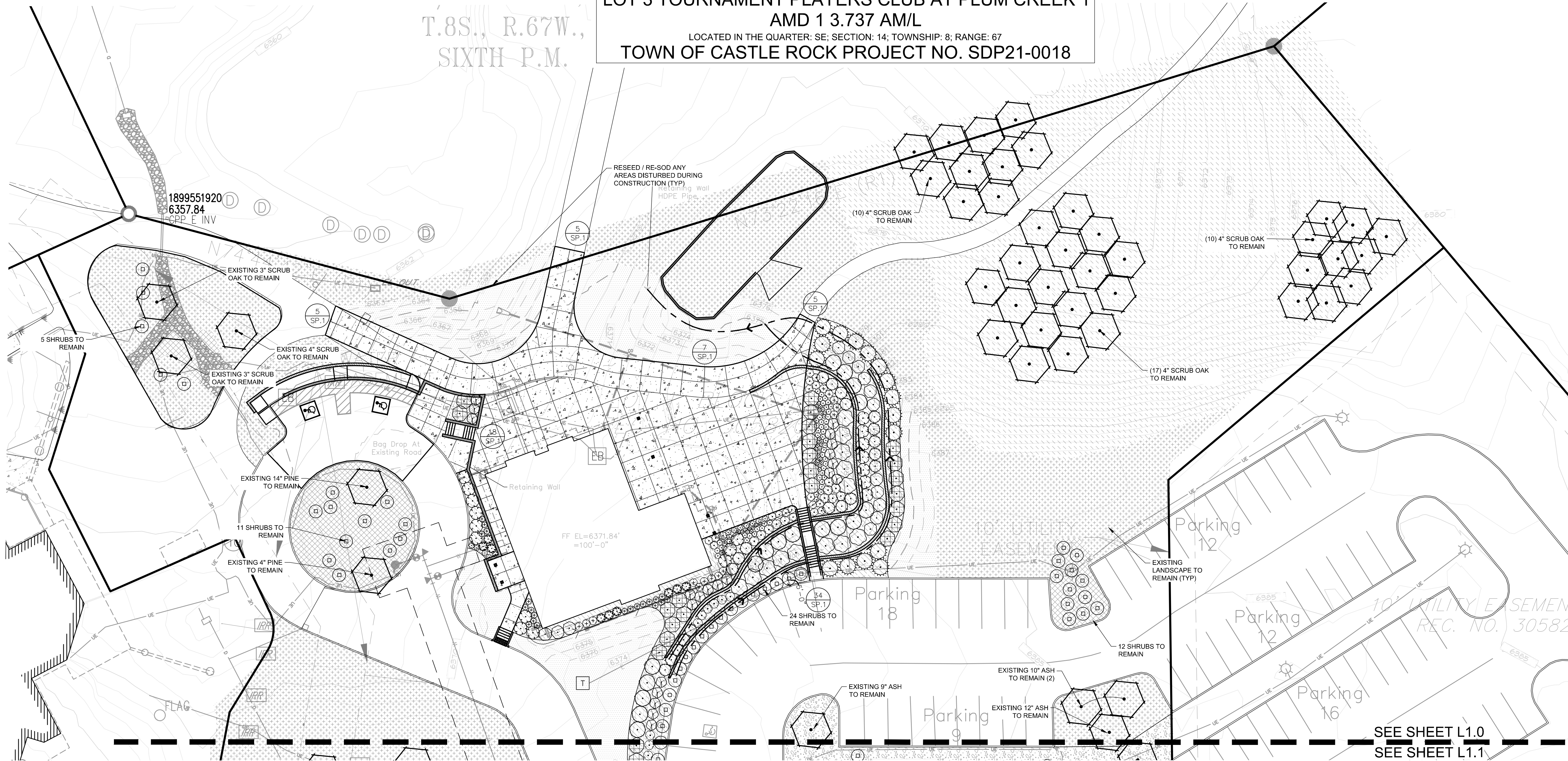
GENERAL NOTES – LIGHTING PLAN:

- Lighting Objective – Building Entrance Lighting:
 - Illumination at building entrance(s) for safety and security.
 - Fixture lumens less than 3500 (design 700 lumens)
 - Initial lumens less than 5 fc.
- Non-security lighting to be operated by photocell ON, time clock OFF. Set OFF at 10 PM.
- Mitigation to Neighborhood:
 - Utilize minimum lumens for building mounted fixtures for security.
 - Mounting height at entrances limited to 10 feet above grade.
- Prohibited Lighting Types:
 - Forward Throw (Type IV) distribution.
 - Pole mounted lights aimed at building's facade.
 - Unshielded wall packs



SITE DEVELOPMENT PLAN
LOT 3 TOURNAMENT PLAYERS CLUB AT PLUM CREEK 1
AMD 1 3.737 AM/L
 LOCATED IN THE QUARTER: SE; SECTION: 14; TOWNSHIP: 8; RANGE: 67
TOWN OF CASTLE ROCK PROJECT NO. SDP21-0018

T.8S., R.67W.,
 SIXTH P.M.



LANDSCAPE PLAN
 SCALE: 1" = 20'



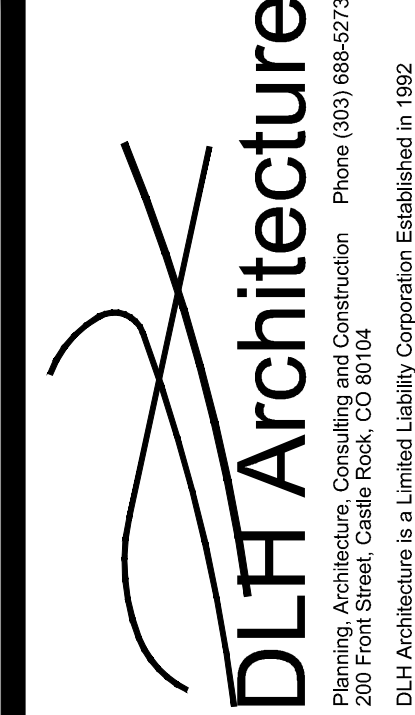
Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional: YES - NEIL A MCLANE
 Town of Castle Rock Registration #: 16-1607 State of Colorado License Landscape Architect #: LA-405
 Company Name: Natural Design Solutions, Inc. Address: 5539 Colt Drive, Longmont, CO 80503
 Phone: (303) 443-0388 Email: neil@ndscolorado.com Date: 11/08/18
 PROJECT NAME: Plum Creek Golf Course Clubhouse

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
162,783 sf	93,397 sf (excluding ROW area) 16,278 required	28,444 sf (existing + replacement bluegrass)	Approx 10,784 sf	33	68 (existing)	65	325 shrubs (153 existing)	30	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
28,300 sf (existing)	2,830 required; 2,830 provided	98 Parking Spaces (Includes 2 ADA Spaces) On Lot	N/A	11	N/A	11	11 (existing)	12	12 (existing)

PLAN NOTES:

- NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED DEVIATIONS FROM THIS PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE. THIS INCLUDES DEVIATIONS OF CULTIVARS FROM THOSE PROPOSED. SEE NOTE #11 FOR ID TAG RETENTION REQUIREMENTS.
- THIS SITE HAS HEAVY CLAY SOIL. THE SOI SHALL BE AMENDED WITH THE MICRONUTRIENTS LISTED WITHIN THE SOILS ANALYSIS CHART ON SHEET L20. SQUEEGEE ROCK SHALL BE APPLIED WITH THESE AMENDMENTS AND TILLED INTO THE TOP 8" OF THE SOIL.
- CONTRACTOR TO PROVIDE ANALYSIS OF ANY AMENDMENTS PROPOSED FOR PLANTING AREAS PRIOR TO INSTALLATION OF SUCH MATERIALS.
- CONTRACTOR TO PROVIDE RECEIPTS TO LANDSCAPE ARCHITECT FOR ALL SEEDING PROPOSED ON SITE, PRIOR TO INSTALLATION OF SEEDING MATERIALS.
- NO FABRIC UNDER WOOD MULCH IN ANY AREAS. ALL PLANTS IN ROCK MULCH AREAS TO RECEIVE SHREDDED CEDAR MULCH RINGS. MASSING SHALL HAVE CONTINUOUS SHREDDED MULCH BANDS. SEE DETAILS SHEET L2.0.
- DRIPLINE TO BE PLACED OVER WEED BARRIER FABRIC AND STAKED ON TOP OF WEED BARRIER.
- WEED BARRIER CUTOUTS FOR PLANTS IN ROCK AREAS SHALL ACCOUNT FOR MATURE SIZE OF PLANTS AND EQUAL AT LEAST THE DIAMETER OF THE ROOTBALL. SEE DETAIL SHEET L2.0
- ALL EMITTERS PER IRRIGATION PLAN.
- ALL EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS.
- SEE LANDSCAPE DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.
- RETAIN 10% OF ALL PLANT TAGS PER SPECIES FOR DURATION OF WARRANTY PERIOD.



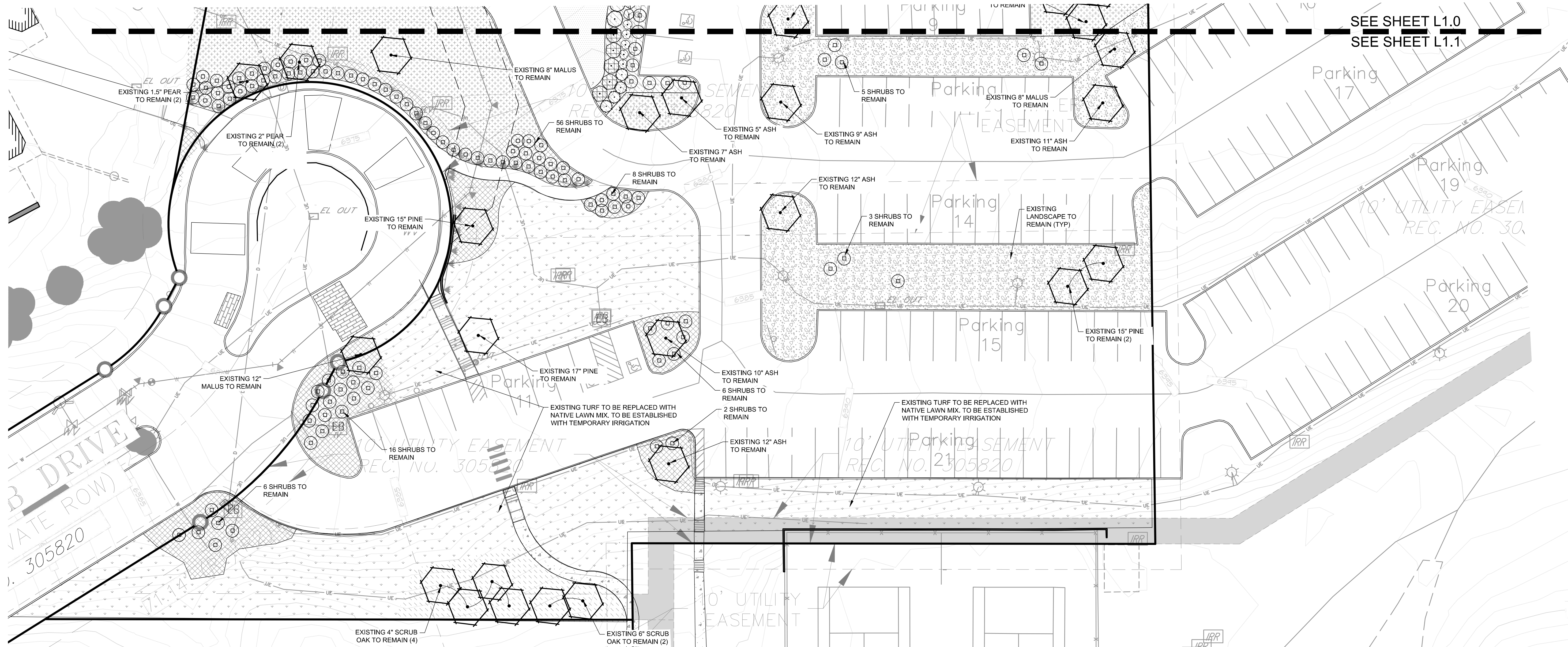
Rev. #	Description	Date
1	1st Submittal Response	6/23/22
2	2nd Submittal Response	01/19/23
3	3rd Submittal Response	11/01/23

PLUM CREEK CLUB HOUSE
 331 Players Club Drive
 Castle Rock, CO 80104

Project #: 2102
 Date: 11/02/21
 Drawn By: JRO
 Checked By: NAM
 Scale: As Noted
 Revisions:

Sheet #
L1.0

SITE DEVELOPMENT PLAN
LOT 3 TOURNAMENT PLAYERS CLUB AT PLUM CREEK 1
AMD 1 3.737 AM/L
 LOCATED IN THE QUARTER: SE; SECTION: 14; TOWNSHIP: 8; RANGE: 67
TOWN OF CASTLE ROCK PROJECT NO. SDP21-0018



SEE SHEET L1.0
SEE SHEET L1.1

LANDSCAPE PLAN
SCALE: 1" = 20'



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	EX-RET	88	TO REMAIN- PROTECT DURING CONSTRUCTION	EXISTING TREE TO REMAIN	EXISTING
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	AC	17	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN'	MANZANITA	5 GAL
	CD	21	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	BLUE MIST SHRUB	5 GAL
	JS	16	JUNIPERUS SABINA 'BROADMOOR'	BROADMOOR JUNIPER	5 GAL
	PLC	14	PHILADELPHUS LEWISII 'CHEYENNE'	LEWIS MOCK ORANGE	5 GAL
	POD	13	PHYSOCARPUS OPULIFOLIUS 'DIABLO'	DIABLO NINEBARK	5 GAL
	POL	9	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL'	DWARF PURPLE NINEBARK	5 GAL
	PF	22	POTENTILLA FRUTICOSA 'GOLDFINGER'	GOLDFINGER POTENTILLA	5 GAL
	PO	14	POTENTILLA FRUTICOSA 'PINK BEAUTY'	PINK BEAUTY POTENTILLA	5 GAL
	PBP	19	PRUNUS BESSEYI 'PAWNEE BUTTES'	SAND CHERRY	5 GAL
	RG	27	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL
	EX-R	153	TO REMAIN	EXISTING SHRUB	EXISTING

PLANT SCHEDULE

GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	BB	12	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLUE GRAMA	1 GAL
	SI	21	SORGHASTRUM NUTANS 'INDIAN STEEL'	INDIAN GRASS	1 GAL
	SW	24	SPOROBOLUS WRIGHTII	BIG SACATON	1 GAL
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	AST	18	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	1 GAL
	CI	19	CALLIRHOE INVOLUCRATA	WINE CUPS	1 GAL
	EM	32	ECHINACEA PURPUREA 'MAGNUS'	MAGNUS PURPLE CONEFLOWER	1 GAL
	RFG	34	RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM BLACK-EYED SUSAN	1 GAL

PLANT SCHEDULE

GROUND COVERS	QTY	BOTANICAL / COMMON NAME
	9,105 SF	EX LANDSCAPE - SHRUB BED / TO REMAIN ADJUST FOR NEW LAYOUT. REPLACE ANY DEAD/DAMAGED MATERIALS AND PROTECT DURING CONSTRUCTION.
	21,408 SF	EX TURF TO REMAIN / EXISTING KENTUCKY BLUEGRASS PROTECT IN PLACE, REPAIR/REPLACE ANY DAMAGED MATERIALS. TURF ON SEPARATE, EXISTING IRRIGATION SYSTEM FOR OVERALL DEVELOPMENT. ADJUST FOR NEW LAYOUT.
	25,503 SF	EXISTING LANDSCAPE - NATIVE / NATIVE LANDSCAPE TO REMAIN
	16,024 SF	NATIVE TURF MIX / BUFFALO BRAND NATIVE TURF MIX 2-3 LBS PER 1000 SQUARE FEET. TEMPORARILY IRRIGATED SEED MIX.
	7,135 SF	TURF / TEXAS HYBRID BLUEGRASS KENTUCKY BLUE GRASS BLEND TO MATCH EXISTING. SETBACK AND PARKWAY AREAS TO BE ON OVERALL DEVELOPMENT SYSTEM.
MULCHES	QTY	BOTANICAL / COMMON NAME
	116 SF	2-4" RIVER ROCK / RIVER ROCK
	8,129 SF	EXISTING ROCK MULCH / ROCK MULCH REPURPOSE EXISTING ROCK MULCH ON SITE FOR SPECIFIED AREAS
	6,434 SF	WOOD MULCH - SHREDDED / SHREDDED CEDAR MULCH PER OWNER APPROVAL. PLACE TO A UNIFORM DEPTH OF 3". NO WEED BARRIER UNDER WOOD MULCH.

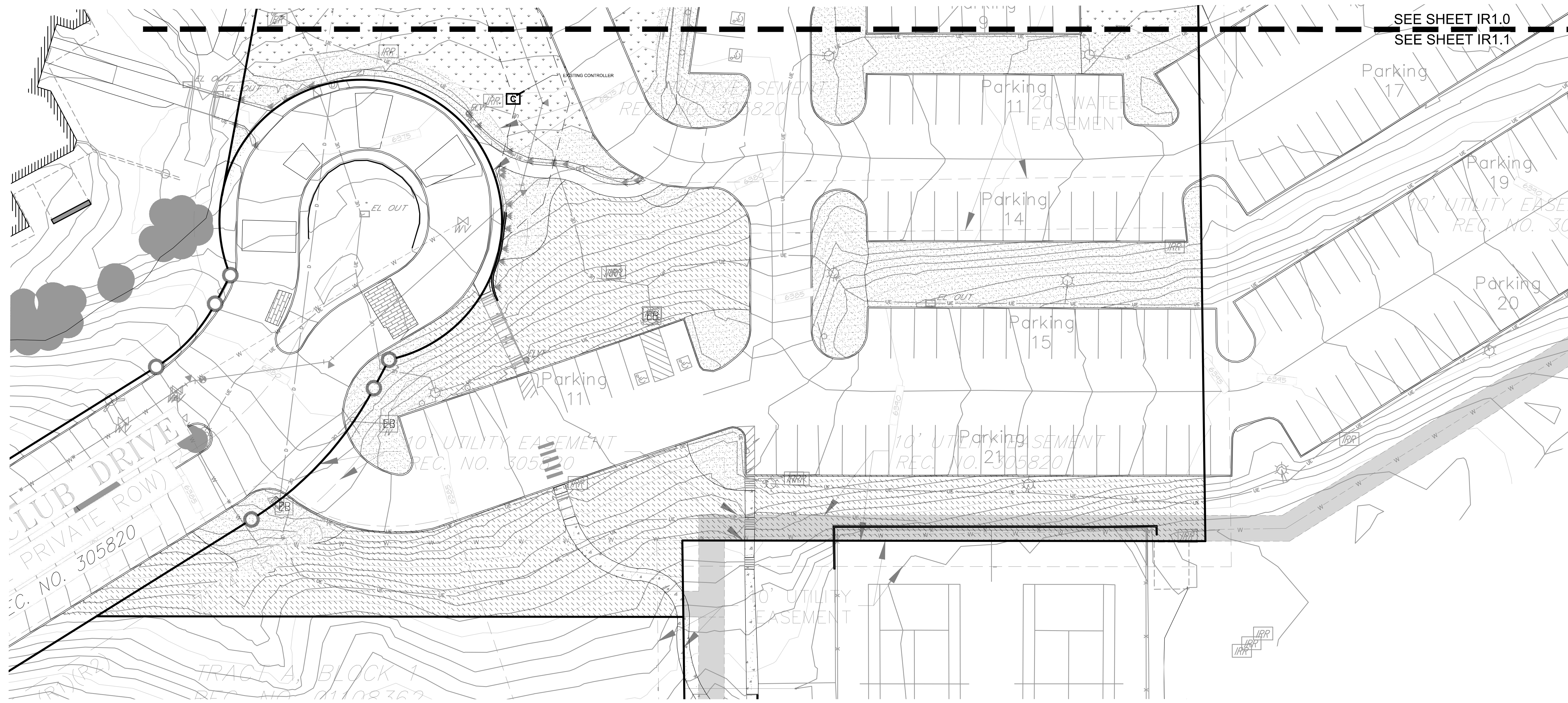
Rev. #	Description	Date
1	1st Submittal Response	6/23/21
2	2nd Submittal Response	10/14/21
3	3rd Submittal Response	11/01/21

Project #: 2102
 Date: 11/02/21
 Drawn By: JRO
 Checked By: NAM
 Scale: As Noted
 Revisions:

Sheet #

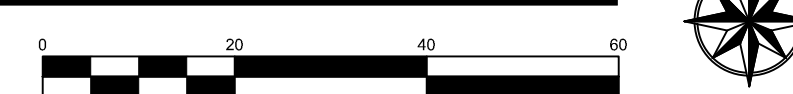
L1.1

SITE DEVELOPMENT PLAN
LOT 3 TOURNAMENT PLAYERS CLUB AT PLUM CREEK 1
AMD 1 3.737 AM/L
 LOCATED IN THE QUARTER: SE; SECTION: 14; TOWNSHIP: 8; RANGE: 67
TOWN OF CASTLE ROCK PROJECT NO. SDP21-0018



SEE SHEET IR1.0
 SEE SHEET IR1.1

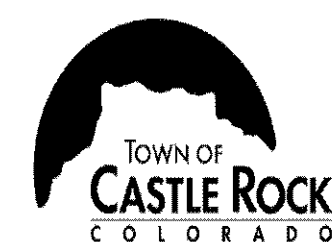
HYDROZONE MAP
 SCALE: 1" = 20'



IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	QTY
	DRIP AREAS / ROCK BEDS PROPOSED OR EXISTING DRIP AREAS	23,903 S.F.
	IRRIGATED TURF AREAS	28,444 S.F.
	NATIVE AREAS	41,528 S.F.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	EXISTING CONTROLLER EXISTING CONTROLLER. REPLACE/EXPAND AS NECESSITATED.	1
	Valve Callout Valve Number Valve Flow Valve Size	



CLWUR (Composite landscape water use rating) Chart

Project Name: Plum Creek Golf Course Clubhouse
 Site Development Plan (SDP) Number: SDP21-0018

Irrigation Spray or Drip?	Plant Name (Common)	Appl. Rate (inches/month)	Zone (V,L,M,Mod,H W)	% of Total Area	IA Irrigated area (in sq. ft. for each zone)	LWUR Landscape Water Use Rating	TA Total Area of all Irrigated Landscape Zones	CLWUR (LWUR x IA) /TA
Spray	Existing Turf Areas	3.8 H		0.26029802	21504	4.5	82613	1.171341072
Drip	Existing Shrub Bed	2 L		0.08526503	7044	1.5	82613	0.127897546
n/a	Existing Native	2 L		0.30870444	25503	1.5	82613	0.463056662
Spray	Turf- Texas Hybrid Bluegr.	3.8 H		0.08798857	7269	4.5	82613	0.39594838
Spray	Native Turf Mix	1 V		0.19396463	16024	1	82613	0.19396463
Drip	Xeric Shrub Beds	1.5 L		0.07928534	6550	1.5	82613	0.118928014
Total of the CLWUR								2.471136504



Rev. #	Description	Date
1	1st Submittal Response	6/23/22
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PLUM CREEK CLUB HOUSE
 331 Players Club Drive
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IR1.1

