



Planning Commission Agenda - Final

Chair Todd Warnke
Vice Chair Kevin McHugh
Carlos Salinas
Jeff Samuelson
Tom Martinez
Kari Stanley
Mitchell Sawin

Thursday, August 14, 2025

6:00 PM

Town Hall
100 N. Wilcox Street
Castle Rock, CO 80104

**** ALL TIMES ARE APPROXIMATE ****

5:30 pm DINNER FOR BOARD MEMBERS

6:00 pm CALL TO ORDER / ROLL CALL

6:00 pm CERTIFICATION OF MEETING

6:00 pm APPROVAL OF MINUTES

[PC 2025-019](#)

July 24, 2025 Planning Commission Meeting Minutes

Attachments:

[July 24, 2025 Planning Commission Meeting Minutes](#)

6:01 pm PUBLIC HEARING ITEMS

[PC 2025-020](#)

AdventHealth Site Development Plan - Lot 2 Block 2, Heckendorf Ranch Filing 2 [5.17-acre site located west of the intersection of Plum Creek Boulevard and Crystal Valley Parkway.]

Attachments:

[Staff Report](#)

[Attachment A - Vicinity Map](#)

[Attachment B - Site Development Plan](#)

[Attachment C - Neighborhood Meeting Summaries](#)

[Attachment D - Public Comment](#)

6:30 pm TOWN COUNCIL LIAISON UPDATE

6:35 PM DESIGN REVIEW BOARD UPDATE

6:35 pm COMMISSION ITEMS

Check for quorum for upcoming meetings

August 28, 2025

September 11, 2025

6:40 pm STAFF UPDATE/PLANNING COMMISSION DISCUSSION ITEMS

6:45 pm ADJOURN



Town of Castle Rock

Agenda Memorandum

Agenda Date: 8/14/2025

Item #: **File #:** PC 2025-019

To: Members of the Planning Commission

From: Planning Commission Administrator

July 24, 2025 Planning Commission Meeting Minutes

Executive Summary

Attached are the meeting minutes from the July 24, 2025 Planning Commission meeting for your review and approval.



Planning Commission Meeting Minutes - Draft

Chair Todd Warnke
Vice Chair Kevin McHugh
Carlos Salinas
Jeff Samuelson
Tom Martinez
Kari Stanley
Mitchell Sawin

Thursday, July 24, 2025

6:00 PM

Town Hall
100 N. Wilcox Street
Castle Rock, CO 80104

**** ALL TIMES ARE APPROXIMATE ****

DINNER FOR BOARD MEMBERS

CALL TO ORDER / ROLL CALL

Present 7 - Jeff Samuelson, Carlos Salinas, Tom Martinez, Chair Todd Warnke, Vice Chair Kevin McHugh, Kari Olson Stanley, and Mitchell Sawin

CERTIFICATION OF MEETING

APPROVAL OF MINUTES

[PC 2025-017](#)

July 10, 2025 Planning Commission Meeting Minutes

Moved by Vice Chair McHugh, seconded by Martinez, to Approve Planning Commission Topic PC 2025-017 as presented. The motion passed by a vote of:

Yes: 6 - Samuelson, Salinas, Martinez, Chair Warnke, Vice Chair McHugh, and Sawin

Abstain: 1 - Olson Stanley

PUBLIC HEARING ITEMS

[PC 2025-018](#)

East Plum Creek Trail Public Land - 2 District Zoning [0.21 acres, located north of Crystal Valley Parkway, east of I-25 between the East Frontage Road and the Union Pacific Railroad Right-of-Way]

Sandy Vossler presented on PC2025-018 East Plum Creek Trail Public Land - 2 District Zoning. No questions from Commission. One member of the public attended and was in support of the project.

Moved by Vice Chair McHugh, seconded by Sawin, to Approve Planning Commission Topic PC 2025-018 as presented. The motion passed by a vote of:

Yes: 7 - Samuelson, Salinas, Martinez, Chair Warnke, Vice Chair McHugh, Olson Stanley, and Sawin

TOWN COUNCIL LIAISON UPDATE

DESIGN REVIEW BOARD UPDATE

Commissioner McHugh updated the Commission on approving the SDP amendment for Scileppi's Phase 2 at the June 25th Design Review Board meeting.

COMMISSION ITEMS

Check for quorum for upcoming meetings

August 14, 2025

August 28, 2025

STAFF UPDATE/PLANNING COMMISSION DISCUSSION ITEMS

No updates from staff.

ADJOURN

Moved by Martinez, seconded by Samuelson, to Approve [FILE_NR] as presented.

The motion passed by a vote of:

Yes: 7 - Martinez, Samuelson, Salinas, Chair Warnke, Vice Chair McHugh, Olson Stanley, and Sawin

Minutes approved by the Planning Commission on _____ by a vote of ____ in favor, ____ opposed, with ____ abstention(s).

Planning Commission



Town of Castle Rock

Agenda Memorandum

Agenda Date: 8/14/2025

Item #: **File #:** PC 2025-020

To: Members of the Planning Commission

From: **BrieAnna Simon, Senior Planner, Development Services Department**

**AdventHealth Site Development Plan - Lot 2 Block 2, Heckendorf Ranch Filing 2
[5.17-acre site located west of the intersection of Plum Creek Boulevard and Crystal Valley Parkway.]**

Executive Summary

The purpose of this staff report is to seek Planning Commission's recommendation on a Site Development Plan (SDP) for the AdventHealth medical office building, including a freestanding emergency department. The 5.17-acre site is within The Lanterns Amendment No. 4 Planned Development (PD) and is located west of the intersection of Plum Creek Boulevard and Crystal Valley Parkway (Figure 1).

The SDP proposal includes a medical office building approximately 24,535 square feet (sq. ft.) in size. The first floor will consist of an urgent care and emergency room, with the second floor utilized by primary care providers.

All staff and external comments have been addressed, and staff recommends that Planning Commission recommend approval to Town Council of the proposed Site Development Plan. The Town Council public hearing has been scheduled for September 2, 2025.

Attachments

Attachment A:	Vicinity Map
Attachment B:	Site Development Plan
Attachment C:	Neighborhood Meeting Summaries
Attachment D:	Public Comment

AGENDA MEMORANDUM

To: Planning Commission

From: BrieAnna Simon, Senior Planner, Development Services Department

Title: **AdventHealth Site Development Plan - Lot 2 Block 2, Heckendorf Ranch**
Filing 2 [5.17-acre site located west of the intersection of Plum Creek Boulevard and Crystal Valley Parkway.]

Executive Summary

The purpose of this staff report is to seek Planning Commission's recommendation on a Site Development Plan (SDP) for the AdventHealth medical office building, including a freestanding emergency department. The 5.17-acre site is within The Lanterns Amendment No. 4 Planned Development (PD) and is located west of the intersection of Plum Creek Boulevard and Crystal Valley Parkway (Figure 1).

The SDP proposal includes a medical office building approximately 24,535 square feet (sq. ft.) in size. The first floor will consist of an urgent care and emergency room, with the second floor utilized by primary care providers.

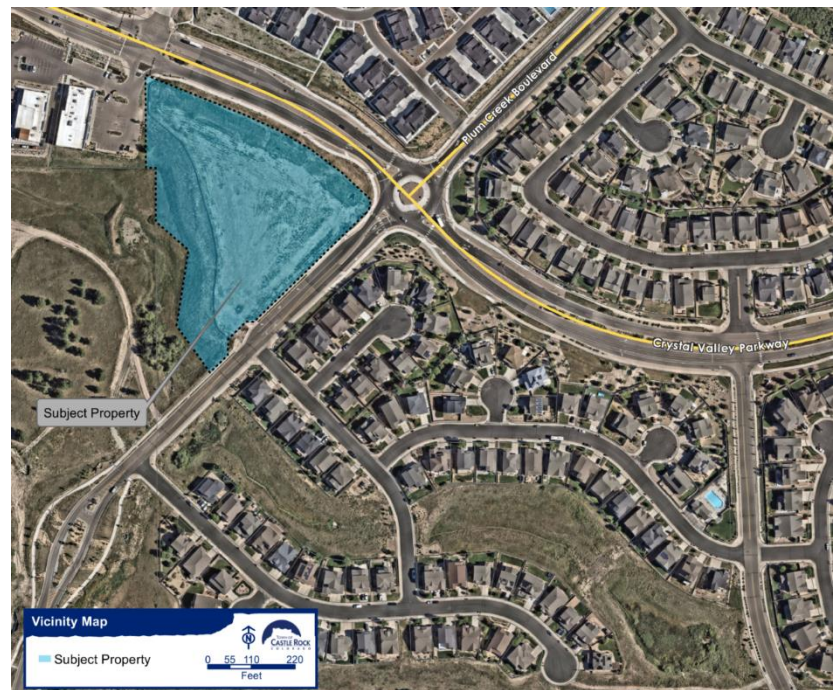


Figure 1: Vicinity Map

All staff and external comments have been addressed, and staff recommends that Planning Commission recommend approval to Town Council of the proposed Site Development Plan. The Town Council public hearing has been scheduled for September 2, 2025.

Background

Zoning Regulations

The site is located in the south-eastern portion of the Town of Castle Rock west of the intersection of Plum Creek Boulevard and Crystal Valley Parkway and is undeveloped. The property is located in the Lanterns Amendment No. 4 Planned Development Plan within Planning Area 14 – Non-Residential Use Area. The commercial uses permitted in this area allows medical uses as a permitted use.

Surrounding Uses

The property is bordered by Heckendorf Ranch PDP Amendment No. 4 to the north which includes a multi-family development and a Town of Castle Rock fire station. The property is bordered to the west, east and south by the Heckendorf Ranch PDP Amendment No 1. A single-family development is located to the east and south. An existing commercial development is located to the west which includes a liquor store, coffee shop and a gym. The property located to the west and south of this project is dedicated open space to the Town of Castle Rock and serves as a regional detention facility.

Discussion

Uses

The SDP proposes a medical office building approximately 24,535 square feet (sq. ft.) in size. The first floor will consist of an urgent care and emergency room, with the second floor utilized by primary care providers. Medical and dental facilities area uses expressly permitted as uses by right under The Lanterns Amendment No. 4 Planned Development Zoning Regulations.

Site Design

The AdventHealth medical office building is situated on the center of the lot (Figure 3 - shaded blue). The main entrance is on the northeast corner of the building, and the ambulance entrance is oriented toward the commercial development (Figure 3 - shaded orange).

There are three points of access to the site (Figure 3 - red arrows); from Plum Creek Boulevard on the South, right-in only from Crystal Valley Parkway to the North, and a shared access through the adjacent commercial development to the west accessing Crystal Valley Parkway. The landscape plan meets the Town's requirements, as well as The Lanterns Amendment No. 4 for landscape buffers. The parking lot provides 118 parking spaces, exceeding the Town standard of 112 spaces. The lighting plan meets the Code requirements and restrictions that are based on Dark Skies standards.

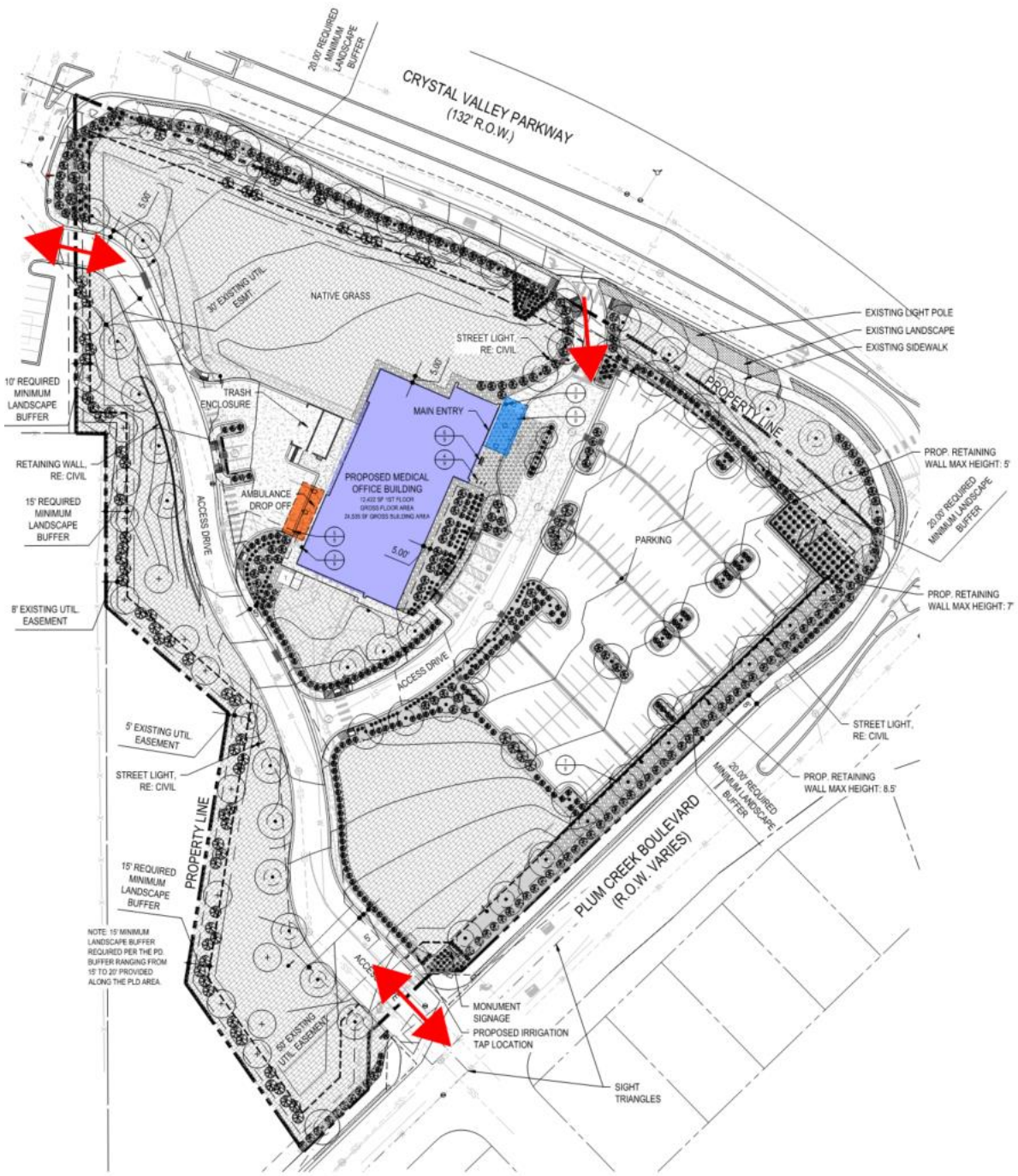


Figure 3: Site Development Plan

Development Standards

The AdventHealth SDP meets or exceeds the development standards established by the Lanterns Amendment No. 4 Planned Development Zoning Regulations and Municipal Code (Code). The PD provides both minimum setback and landscape buffer requirements. The proposed building location exceeds these minimum requirements. The maximum building height allowed is 35'. The proposed height of the AdventHealth medical office building is 32 feet to the top of parapet. Parking requirements are based on the Municipal Code; specifically, Section 17.54.040, Table 64-1: Medical Office and Clinic – 5 spaces per 1,000 sq. ft. of gross floor area. The Code requires 112 parking spaces and 118 spaces are being provided. The required and proposed development standards applicable to this site plan are broken out in Table 1.

ZONING COMPARISON		
ZONING	PD-PLANNED DEVELOPMENT	
USE AREA	CLINIC, 2 STORY	
LOT	LOT 2, BLOCK 2 HECKENDORF RANCH FILING NO.2	
SITE AREA SQ.FT./ACRES	225,116 SQ.FT./ 5.168 ACRES	
	REQUIRED	PROPOSED
BUILDING AREA	N.A.	24,535 SF
PERMITTED USE	PER APPROVED PD	CLINIC, B-OCCUPANCY
MINIMUM LOT SIZE	N.A.	5.168 ACRES
MAXIMUM BUILDING COVERAGE	35%	5.52%
CRYSTAL VALLEY PARKWAY SETBACK	30' (WITH 20' MIN. LANDSCAPE BUFFER)	78' - 10"
PLUM CREEK PARKWAY SETBACK	30' (WITH 20' MIN. LANDSCAPE BUFFER)	216' - 4"
PUBLIC LAND DEDICATION SETBACK	20' (WITH 15' MIN. LANDSCAPE BUFFER)	111' - 5"
WESTERN BOUNDARY SETBACK	20' (WITH 10' MIN. LANDSCAPE BUFFER)	192' - 1" TO BUILDING
WESTERN BOUNDARY SETBACK	20' (WITH 10' MIN. LANDSCAPE BUFFER)	152' - 5" TO TRASH ENCLOSURE
INTERNAL LOT LINES SETBACK	10'	N.A.
MONUMENTATION SIGN SETBACK	10' *	11'-0" PROVIDED AT EAST MONUMENT SIGN 10'-8" PROVIDED AT SOUTH MONUMENT SIGN
MAXIMUM BUILDING HEIGHT	35 FEET **	2 FLOORS, 32' TO TOP OF PARAPET
MINIMUM PARKING	CASTLE ROCK MUNICIPAL CODE TABLE 64-1 USE CATEGORY: MEDICAL OFFICE AND CLINIC REQUIRED SPACES: 5 SPACES/1,000 GROSS LEASABLE AREA GROSS LEASABLE AREA = 22,210 SF REQUIRED OFF STREET PARKING = 112 STALLS	118 SPACES (INCLUDES ADA COUNTS BELOW)
MINIMUM ADA PARKING	CASTLE ROCK MUNICIPAL CODE TABLE 64-2 TOTAL SPACES IN LOT IS BETWEEN 101 TO 150, THEN MIN. NUMBER OF ACCESSIBLE SPACES = 5 (1 OF WHICH IS VAN ACCESSIBLE)	5 (1 VAN ACCESSIBLE)
SITE UTILIZATION		
	SQUARE FEET	PERCENTAGE OF TOTAL SITE UTILIZATION
BUILDING COVERAGE	12,422	5.52%
PARKING COVERAGE	37,727	16.76%
STREET COVERAGE	38,439	17.08%
LANDSCAPING/OPEN SPACE COVERAGE	128,786	57.20%
CONCRETE SIDEWALK COVERAGE	7,742	3.44%
TOTAL	225,116	100.00%

Table 1: AdventHealth Development Standards

Interface Regulations

The purpose of the Residential/Nonresidential Interface Regulations are to mitigate the impacts of nonresidential uses upon residential uses by creating a visually attractive and interesting interface. Mitigation requirements include buffering and screening elements. This site plan is governed by these regulations along the east and north property lines where the medical office building interfaces with single-family and multi-family homes. The SDP has proposed to meet the Interface Regulations by providing a minimum 20-foot buffer area which includes a retaining wall and landscape plantings which includes native scrub oak and evergreen tree plantings. The applicant has provided landscape increased planting size of landscape materials within these buffer areas in order to provide additional screening. Additionally, signage on the building facing the single-family homes will not have a lighting element to prevent any light trespass.

Skyline / Ridgeline Protections

The AdventHealth site and site development plan are not impacted by the Skyline / Ridgeline Protection regulations.

Open Space and Public Land Dedication (as applicable)

The public land and open space designations and dedication were determined with the Planned Development Plan. No additional dedications are required with development of this property.

Fire

The proposed project area is located within the Town of Castle Rock Fire Protection Service Area. The project area will be served by Town of Castle Rock Fire, which has capacity to serve the proposed development.

Traffic Impact Analysis and Mitigation

Based on the analysis, findings and conclusions discussed in this report, this project is not anticipated to have significant impact on the surrounding transportation system and no mitigation should be required.

The analysis results indicate that all the intersections within the study are currently operating at acceptable levels of service and will continue to operate at acceptable levels with the project and in the long-range conditions.

The proposed right turn ingress driveway along Crystal Valley Parkway is anticipated to experience sufficient volume of right turning vehicles during peak hours to warrant a right turn deceleration lane, which is planned to be constructed as shown on the site plan.

The site will also provide access for ambulances and emergency vehicles through the existing retail site to the west. Its access to Crystal Valley Parkway already has a right turn and a left turn lane along Crystal Valley Parkway. No modifications to these turn lanes should be necessary.

Utilities

The Town's applicable water and sewer requirements set forth in the Town of Castle Rock Water Criteria Manual and Wastewater Criteria Manual will apply to the Property. No further comments as it relates to water and sewer infrastructure at this time.

Drainage

The Town's applicable drainage requirements set forth in the Town of Castle Rock Landscape and Irrigation Performance Standards and Criteria Manual will apply to the Property. No further comments as it relates to drainage infrastructure at this time.

Water Conservation

The proposed zoning specifies landscape buffers based on adjacent uses and streets. A 20-foot minimum landscape buffer is required along Crystal Valley Parkway and Plumb Creek Parkway. The applicant has shown these buffer areas and has included larger plant sizes at the time of planting to increase the screening of the medical office building from adjacent residential uses. The zoning also requires a minimum landscape buffer of 15 feet adjacent to public land dedication and a 10-foot minimum buffer from the western boundary. The applicant has provided these buffers and landscaping from each property line.

All associated Landscape and Irrigation within this development will comply with the Town of Castle Rock Landscape and Irrigation Criteria Manual as amended.

Water Resources

The proposed zoning meets the Town Municipal Code as it relates to water resources.

Notification and Outreach

Public Notice

Public hearing notice signs were posted on the property on July 18, 2025. Written notice letters were sent to property owners within 500 feet of the property, at least 15 days prior to the public hearings.

Town staff published notice of the Planning Commission and Town Council public hearings on the Town's website and provided information about the proposal on the Town's *Development Activity* interactive map.

Neighborhood Meetings

The applicant held three hybrid neighborhood meetings to present the proposed site plan and take feedback from surrounding neighbors. The first neighborhood meeting was held January 13, 2025, and was attended by approximately 9 residents. Questions were raised about the facilities expected operation, timing and construction, lighting, signage, hours of operations, and expected ambulance traffic. Attachment D contains the summaries of all three neighborhood meetings, including the questions asked and the applicants' answers.

The second neighborhood meeting was held March 10, 2025, and was attended by approximately 9 residents. The applicant provided a presentation showing the proposed design of the site including proposed building entrances, access connections, lighting, and landscaping. The applicant showed the proposed building perspectives with the proposed landscaping screening. Through the question-and-answer discussion, additional information was provided about traffic, number of visits per day, anticipated ambulance traffic, and site signage.

The third neighborhood meeting was held July 28, 2025, during which the applicant presented the Site Development Plan as would be considered by the Planning Commission. Approximately 3 people attended the meeting. The applicant gave a summary of the proposed site development plan. The applicant provided a presentation showing the changes in the proposed site design from the previous neighborhood meeting including proposed sidewalk connection along the internal access road, increased vegetation size at planting, and removal of sign lighting facing the residential development. In response to attendee questions, additional information was provided about the anticipated timeline and how the project conforms with the Town's Coloradoscape regulations.

External Referrals

External referral requests were sent to local service providers and Douglas County agencies. Responding agencies included CDOT, CORE Electric, Douglas County GIS, Engineering, Addressing and Planning. There are no outstanding external referral comments.

Analysis

This staff analysis takes into account the representations made in the application and attachments submitted to date.

SDP Review and Approval Criteria and Analysis 17.38.040

A. Community Vision/Land Use Entitlements.

1. Generally, conforms to the Town's guiding documents that include, but are not limited to, Town Vision, Comprehensive Master Plans, Sub Area Plans, Design Guidelines, Corridor Plans and any other guiding document so long as the application of such document does not restrict the project's entitle use(s) and density.
2. Complies with existing Intergovernmental Agreements applicable to the development proposed.
3. Complies with any applicable Zoning Overlay Regulations and, if applicable, Skyline/Ridgeline Regulations.
4. Complies with the approved Planned Development Plan and Zoning Regulations.
5. Conforms to the Town's architectural goals by proposing architectural details that incorporate the use of high-quality materials in a unique and varied design, while eliminating monolithic expanses of walls and rooflines through the use of varying planes and architectural projections to ensure a complete 360-degree architectural design.

6. Complies with all other relevant requirements of the CRMC.

Analysis: The proposed SDP generally meets this criterion. The AdventHealth Site Development Plan advances the objectives of the Town's guiding documents and complies with The Lanterns Amendment No. 4 Planned Development Plan and Zoning Regulations. There is no intergovernmental agreement applicable to this SDP, nor is the site design subject to Skyline/Ridgeline Interface and Dissimilar Residential Interface regulations.

B. Site Layout.

1. Conforms to Chapter 17.50 Residential/Non-Residential Interface of the CRMC.
2. Site design shall be designed to maintain pedestrian and vehicle safety, provide for adequate fire safety, and mitigate impacts upon adjacent properties by ensuring all vehicular, fire and mitigation regulations contained within the CRMC, including technical criteria, have been met.
3. Provides adequate parking, on-site circulation and loading in accordance with Town regulations.
4. Provides appropriate screening and/or enclosure of outdoor storage of merchandise/materials, loading areas, trash receptacles, mechanical units, site utility equipment and building mounted utility hardware.
5. Provides adequate site design to protect major environmental characteristics that would include unique topographic features and significant vegetation where possible.

Analysis: The proposed SDP generally meets this criterion. The SDP meets all relevant site layout requirements outlined in the governing zoning and the Town's Municipal Code. The proposed project meets the criteria outlined in the Residential/Non-Residential Interface regulations. There are no major environmental characteristics, topographical features or significant stands of vegetation on this lot. Parking exceeds the minimum required by Code. The ambulance entrance is located on the north sides of the building which is screened from view from the adjacent residential uses by the building. Roof top mechanical units will be obscured by a parapet wall.

C. Circulation and Connectivity.

1. Complies with all CRMC and technical criteria associated with circulation and connectivity.
2. Complies with all Fire regulations associated with land development.
3. Provides for pedestrian and bicycle traffic in a safe and convenient manner.
4. Provides for a high level of pedestrian connectivity between neighborhoods, schools, trails/open space and commercial areas.

Analysis: The proposed SDP generally meets this criterion. The SDP provides three access points to the property and establishes unobstructed circulation throughout the site. The plan also provides clear, safe pedestrian walkways through the parking lot to buildings entrance, along with to adjacent commercial properties.

D. Services Phasing and Off-site Impact.

1. Complies with any phasing requirements associated with the approved zoning for the property. Provides phased improvements in a logical and efficient manner.
2. Adequate water resources have been conveyed or purchased. Existing or proposed water and wastewater systems can support the proposed development pattern, uses and density.

3. Existing or proposed stormwater systems can support the development and comply with applicable regulations.
4. Provides adequate consideration for the future extension of streets and utilities to adjacent properties.
5. Identifies and appropriately provides on-site and off-site public improvements to mitigate traffic impacts as required by the CRMC and technical criteria.

Analysis: The proposed SDP generally meets this criterion. Construction of the medical office building will not be phased.

E. Open Space, Public Lands and Recreation Amenities.

1. Provides adequate trail systems in terms of internal circulation and appropriate external connections deemed necessary by the Town to achieve connectivity goals.
2. Ensures functional and accessible open space, consistent with the overall open space plan for development and preserves significant natural features.
3. Ensures appropriate buffering, utilizing open space and/or setbacks to lessen any identified negative impacts.

Analysis: The proposed SDP meets this criterion. Open Space and public land dedications were determined with the Planned Development and Zoning Regulations. Development of this property does not require additional dedications.

Budget Impact

Development of the property will generate review and impact fees.

Findings

All staff review comments and external referral comments have been addressed. Staff finds that the proposed AdventHealth Medical Office Building Site Development Plan

- Generally conforms with the objectives of the Town Vision and the Comprehensive Master Plan,
- Meets the requirements of The Lanterns Amendment No. 4 Planned Development Plan and Zoning Regulations, and
- Meets the review and approval criteria of the Municipal Code, Chapter 17.38 for a Site Development Plan

Recommendation

Based on the findings listed above, staff recommends that Planning Commission recommend approval of the AdventHealth Site Development Plan to Town Council, as proposed.

Proposed Motion

Option 1: Approval

"I move to recommend approval of the AdventHealth Site Development Plan, Lot 2 Block 2, Heckendorf Ranch Filing 2, to Town Council, as proposed."

Option 2: Approval with Conditions

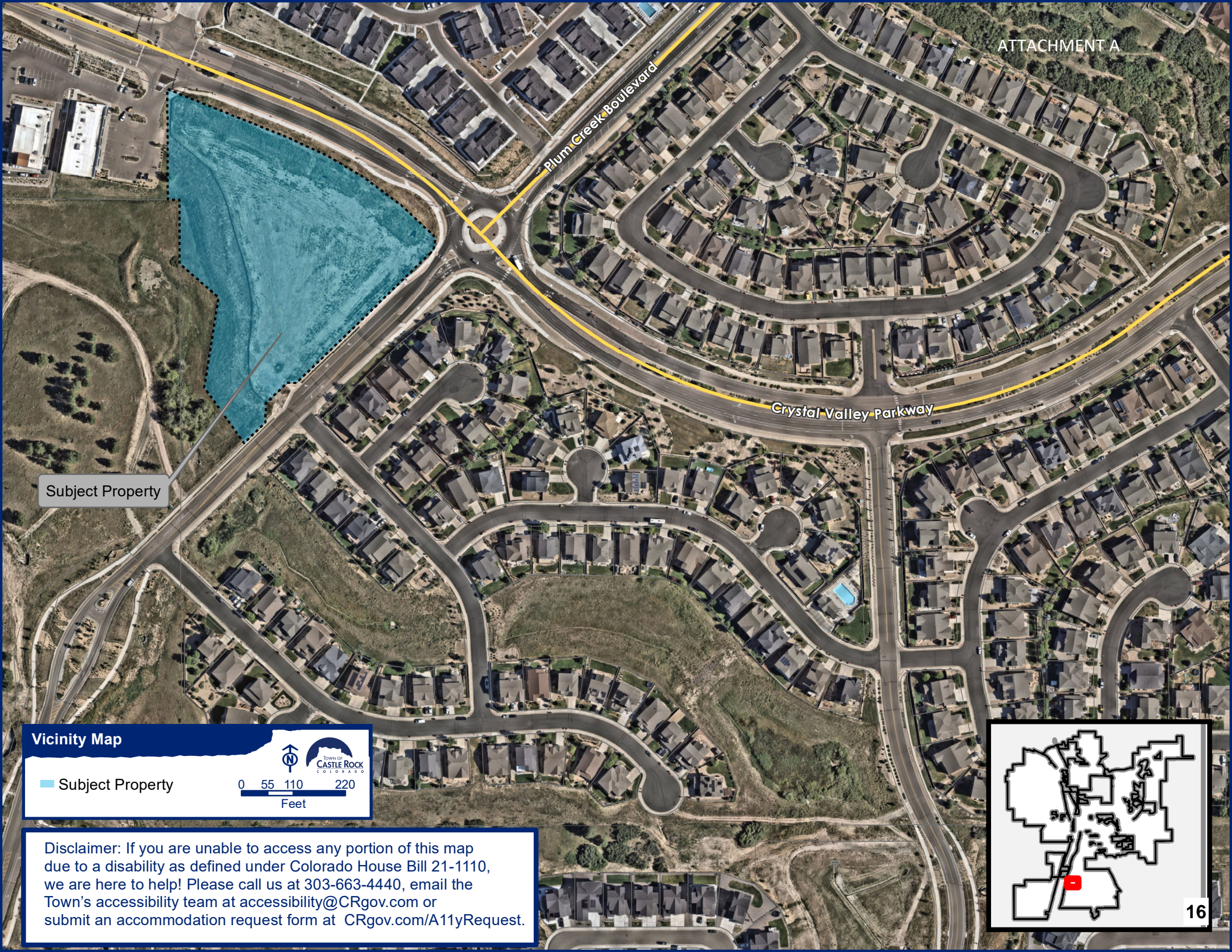
"I move to recommend approval of the AdventHealth Site Development Plan, Lot 2 Block 2, Heckendorf Ranch Filing 2, to Town Council, with the following conditions:" (list conditions)

Option 3: Continue item to next hearing (need more information to make decision)

"I move to continue this item to the Planning Commission meeting on [date], at [time]."

Attachments

- Attachment A: Vicinity Map
- Attachment B: Site Development Plan
- Attachment C: Neighborhood Meeting Summaries
- Attachment D: Public Comment



Subject Property

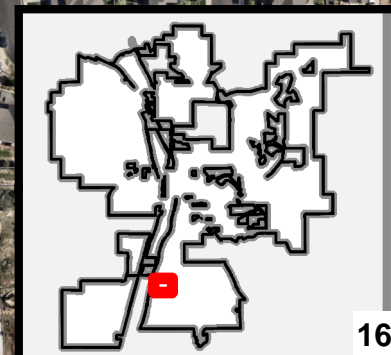
Vicinity Map



■ Subject Property

0 55 110 220
Feet

Disclaimer: If you are unable to access any portion of this map due to a disability as defined under Colorado House Bill 21-1110, we are here to help! Please call us at 303-663-4440, email the Town's accessibility team at accessibility@CRgov.com or submit an accommodation request form at CRgov.com/A11yRequest.



SITE DEVELOPMENT PLAN GENERAL NOTES

1. Approval of this Site Development Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval. There may be subsequent amendments.

2. This site is zoned The Lanterns Amendment No. 4 .

3. This property is located within Zone X as per FEMA FIRM Panel No. 08035C0303G Dated 3/16/2016.

4. Retaining walls, sections of retaining walls greater than 4-feet in height as measured from the bottom of the footing to the top of the wall, and retaining walls, regardless of height, which retain a surcharge or tiered walls must be designed by a Structural Engineer licensed in the State of Colorado and require a building permit.

5. Retaining walls in common areas or that span multiple lots regardless of size/height must be located in a tract. The retaining walls must be maintained by the HOA or Metro District.

6. The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property, unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 25% fee.

7. Pursuant to the Town of Castle Rock Landscape Regulations the Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowner/Property Owner Association, as applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town, the Owner will have 45 days to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.

8. Final landscape area, coverage and plant quantities, shall meet or exceed quantities represented in this Site Development Plan. Any changes to the approved landscape plans shall require an SDP amendment.

9. The number of parking spaces are based on the proposed uses on this Site Development Plan. A change of use to a more parking intensive use as identified in Chapter 17.54 of the Castle Rock Municipal Code or applicable Planned Development Zoning will require an amendment to this Site Development Plan.

10. A sign permit for each sign must be obtained from the Town of Castle Rock Zoning Division prior to placing any sign on the property. All signs must comply with the provisions of Title 19 (Sign Code Regulations) of the Municipal Code or applicable Planned Development Zoning regulations.

11. Any street signs, striping, street lights and curb ramps are conceptual only and subject to Town review with the Construction Documents. These items shall comply with the Town of Castle Rock’s regulations, standards and requirements.

12. The Developer shall conform to the Town of Castle Rock “Water Use Management Program Implementation Policy”, as amended from time to time, for this project.

13. No solid object (excluding fire hydrants, traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flow line elevations of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms shall be placed within sight distance lines and sight distance easements.

14. All proposed Utility, Drainage, Emergency Access, Sight Distance and Public Access/Trail Easements as shown on the Site Development Plan are conceptual and shall be established with a plat or separate document.

15. Unless otherwise noted, all lots shall have a 10-foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have 5-foot Utility Easements along each side lot line. These Utility Easements are for the installation, maintenance and operation of utilities and drainage facilities including, but not limited to street lights, electric lines, gas lines, cable television lines, fiber optic lines and telephone lines, water meters, fire hydrants and curb boxes as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines. Any variation from this requires an approved Technical Criteria Variance.

16. All subdivisions shall include adequate easements to accommodate the construction, maintenance and repair of all public access, sidewalks, trails, water supply system, waste water systems, storm water management system and erosion control facilities, telecommunications and other utilities required to provide each utility to each occupied structure in the subdivision.

17. No structure shall be constructed over any portions of a recorded Town easement unless a revocable license is approved by the Town and the structure will not interfere with the intended use of the easement.

18. Any structures placed in the easement including but not limited to paving, fencing, retaining walls and landscaping shall be removed and replaced by the owner upon the request of the utilities department or private utility company so that maintenance may be performed. The owner of the land shall agree to hold the Town and/or private utility company harmless for any loss of property or landscaping and irrigation removed from the easement or damaged due to maintenance activities and all associated costs.

SITE DEVELOPMENT PLAN FIRE NOTES

1. If fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to vertical construction.

2. Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of construction.

3. It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.

4. All emergency access roads, emergency access gates and signage shall comply with the Town of Castle Rock Fire Department requirements and shall be maintained by Metropolitan District, Homeowners Association, or other property management entity.

5. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into, or within the jurisdiction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

6. Dead-end fire access roads in excess of 150 feet shall provide an approved area for turning around fire apparatus.

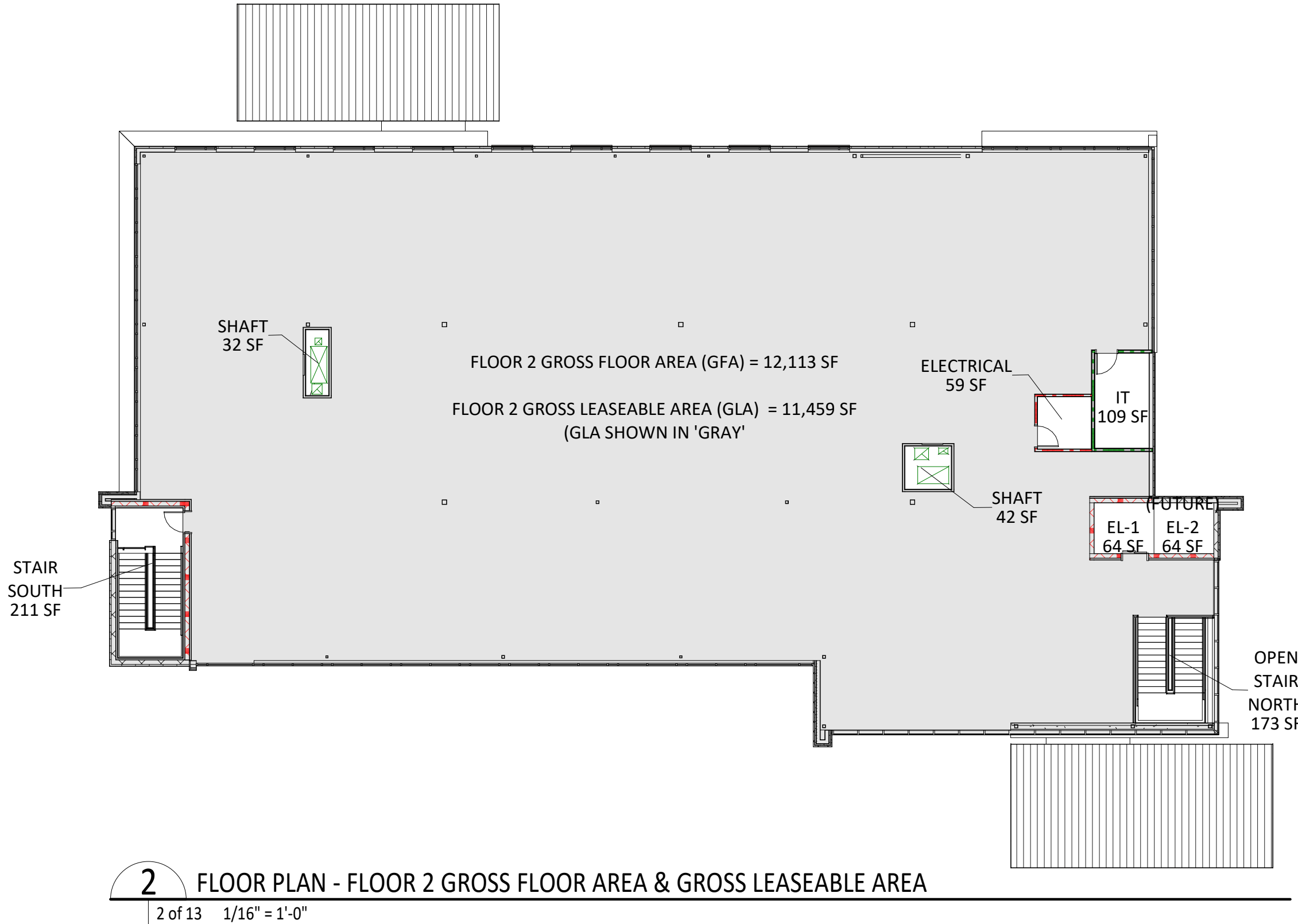
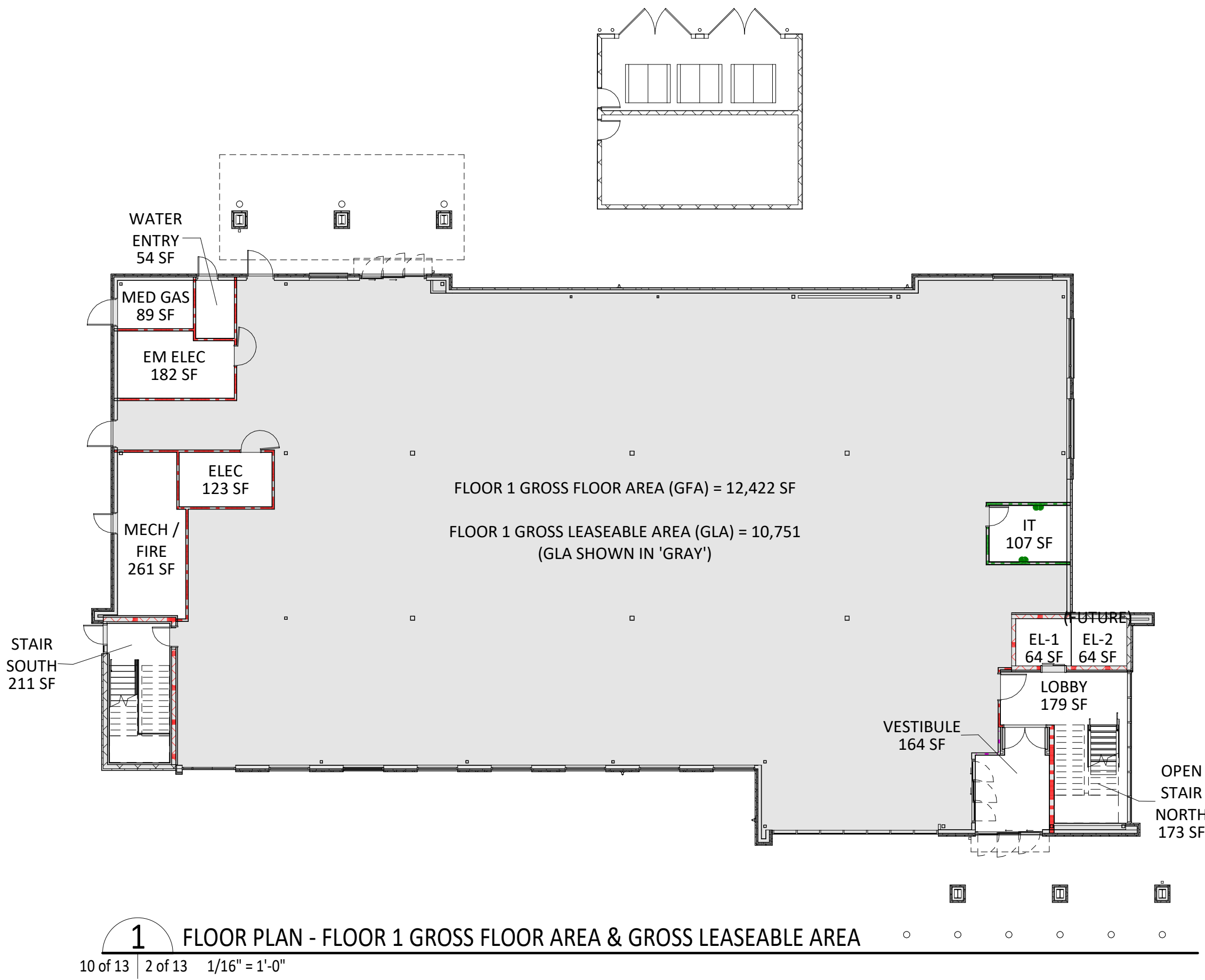
7. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates and an unobstructed vertical clearance of not less than 13 feet, 6 inches.

8. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 88,000 pounds, and shall be surfaced so as to provide all-weather driving capabilities. The term “all-weather driving capabilities” has been interpreted to mean either concrete or asphalt, or other approved driving surface designed by an engineer and approved by the Fire Department.

9. “No Parking Fire Lane” signs are required in areas that meet the following criteria and in areas designated by the Castle Rock Fire Department. Signs shall be posted on both sides of fire access roadways, public or private roadways and driveways less than 26 feet wide. Signs shall be posted on one side only of fire access roadways, public or private roadways or driveways between 26 feet wide and 32 feet wide. No signage is required for fire access roadways, public or private roadways or driveways greater than or equal to 32 feet wide.

10. “Fire Lane No Parking” Curb Marking. All designated lanes SHALL be accompanied with curb markings in a weather resistant red paint. Reflective paint may be used for higher visibility. Curbing shall be labeled, “NO PARKING -FIRE LANE” in all upper case letters. Lettering shall be no less than three (3”) inches high with white lettering on a red back ground and placed on the face and top of the curb. Lettering shall be located no more than fifty (50’) apart and within five feet of the beginning and end of any fire lane.

11. The developer understands that as the project develops there may be fire and life safety provisions of the Town of Castle Rock adopted International Fire Code (IFC) or Community Wildfire Protection Plan (CWPP) that may arise, and were not clearly visible during the initial reviews, but may require corrective action. These items may include, but are not limited to: Fire flow requirements, fire hydrant placement, access, etc.



FLOOR	GROSS FLOOR AREA	GROSS LEASEABLE AREA
1	12,422 SF	10,751 SF
2	12,113 SF	11,459 SF
TOTAL	24,535 SF (GFA)	22,210 SF (GLA)

*CASTLE ROCK MUNICIPAL CODE 17.54.040-C. FLOOR AREA CALCULATIONS. WHERE REQUIRED PARKING AND LOADING IS DETERMINED ON THE BASIS OF GROSS FLOOR AREA (GFA), GROSS FLOOR AREA SHALL BE DETERMINED AS THE SUM OF THE GROSS HORIZONTAL AREAS OF THE SEVERAL FLOORS OF THE BUILDING, INCLUDING ACCESSORY STORAGE AREA, AND ANY BASEMENT FLOOR AREA DEVOTED TO RETAILING ACTIVITIES, THE PRODUCTION OR PROCESSING OF GOODS, OR OFFICES. GROSS LEASEABLE AREA (GLA) SHALL BE DEFINED AS THAT PORTION OF THE GROSS FLOOR AREA AVAILABLE TO LEASING A TENANT, AND EXCLUDING COMMON AREAS, SUCH AS LOBBIES, STAIRWELLS AND ELEVATORS, RESTROOMS, STORAGE, UTILITY AND EQUIPMENT ROOMS.

SITE DEVELOPMENT PLAN
LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2
TOWN OF CASTLE ROCK PROJECT NO. SPD25-0001

BA

BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

PROJECT246543.00

CRAH CRYSTAL
VALLEY MOB -
C&S (BID
PACKAGE #1)

SITE DEVELOPMENT
PLAN

DATE2/14/2025

REVISIONS

#	DESCRIPTION	DATE
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SHEET TITLE

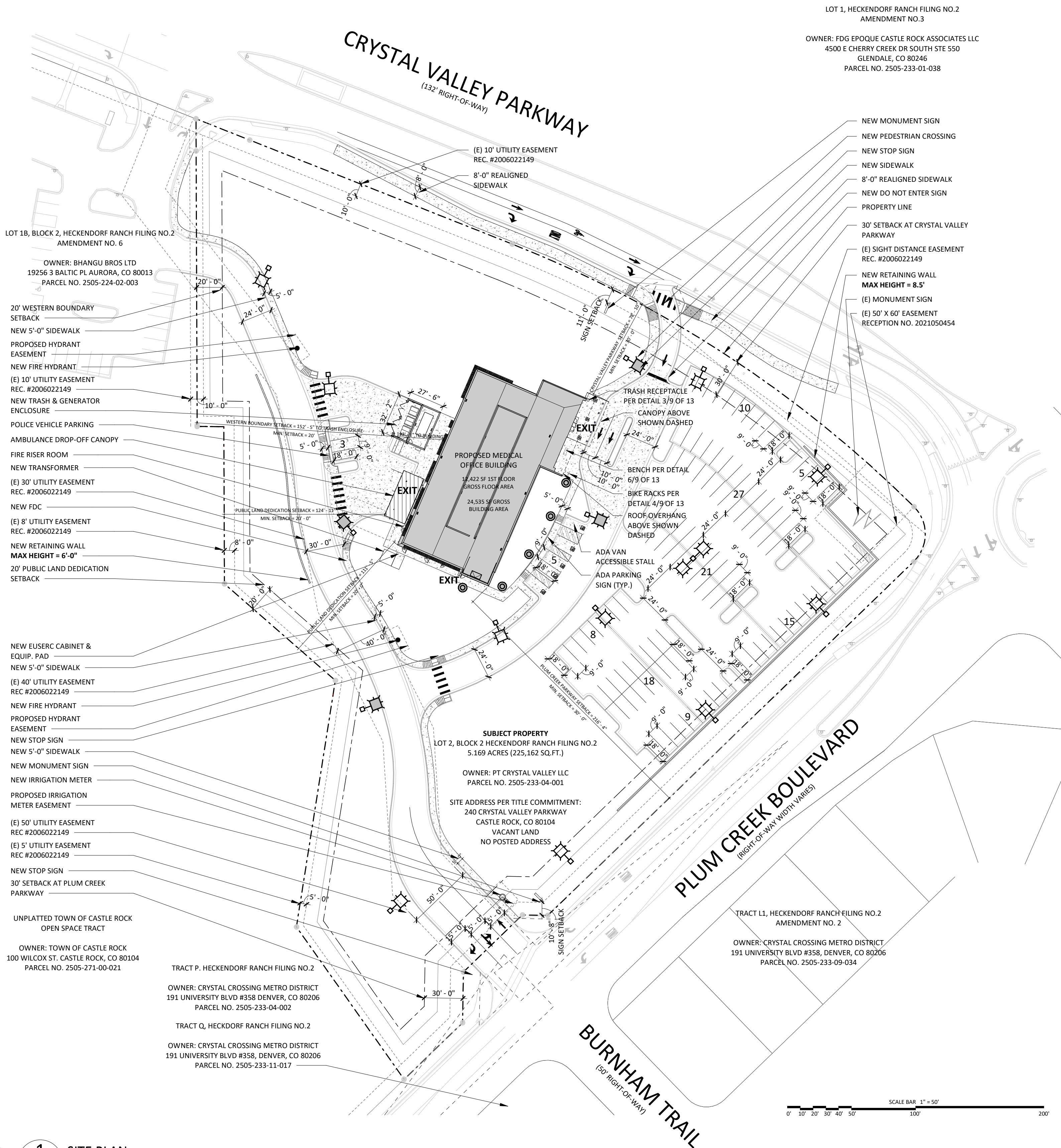
STANDARD NOTES &
AREA CALCULATIONS

SHEET NUMBER

2 of 13

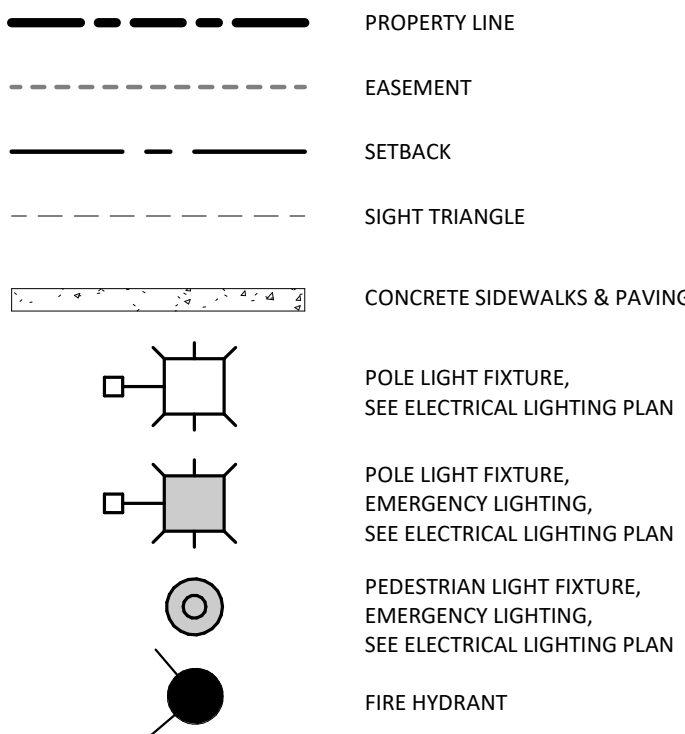
6/13/2025 1:30:30 PM
Autodesk Docs/246543.00 AdvenHealth Castle Rock FSED - Core-Shell.rvt
THIS DRAWING IS TO BE USED FOR PRELIMINARY DESIGN ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY THE DESIGNER. SCALE: 1" = 50'-0"

1 SITE PLAN
10 of 13 | 3 of 13 | 1" = 50'-0"



KEY PARKING REQUIREMENTS			
CATEGORY	REQUIREMENT	PROVIDED	REFERENCE
Parking Calculation	Use Category: Medical Office and clinic: 5 spaces per 1,000 sq. ft. of GLA. Per 17.54.040, C Gross leaseable area (GLA) shall be defined as that portion of the gross floor area available to leasing to a tenant, and excluding common areas, such as lobbies, stairwells, and elevators, restrooms, storage, utility and equipment rooms. GLA = 22,210 sq. ft. *SEE SHEET 2 OF 13 FOR GLA CALCULATIONS Required off street parking = 112 spaces	113 standard parking spaces 5 Accessible parking spaces 118 total parking stalls (3 additional police parking stalls are provided in the service area)	CRMC Ch. 17.54 Table 64-1
Parking Space Dimensions	90 degree parking angle: Stall width = 9'-0"; Stall depth = 18'-0"	9'-0" x 18'-0" standard parking space	CRMC Ch. 17.54 Table 64-3
Accessible Parking Spaces	A. The dimensions of all accessible parking spaces, accessible aisles, accessible paths, and passenger loading zones shall be governed by the American National Standards Institute (ANSI) Standard ICC A117.1. "accessible and usable buildings and facilities," as adopted pursuant to Section 15.28.010.a.5 of this code....	9'-0" x 18'-0" car parking space with 5'-0" x 18'-0" aisles; 9'-0" x 18'-0" van parking space with 8'-0" x 18'-0" aisles.	CRMC Ch. 17.54.050
	B. The following number of accessible parking spaces as identified in Table 64.2 shall be provided for all sites in all office, commercial, industrial, multifamily and public land use districts. These spaces shall count in fulfilling the off-stree parking requirements and the allocation cannot be reduced. Table 64-2 Min. No. of Accessible Spaces: 5 Accessible Spaces, 1 of which is van accessible (101-150 required parking spots).	5 Accessible Spaces, 1 of which is van accessible	CRMC Ch. 17.54 Table 64-2
Bike Parking	All nonresidential land uses shall provide bicycle parking spaces equal to 5% of the total off-street vehicle parking spaces. All bicycle parking spaces shall be inverted U-style racks, unless otherwise approved by the Town Manger. Each inverted U-style rack counts as two bicycle parking spaces. 112 Required off street spaces (5%) = 5.6 or (6) Required bicycle parking spaces	3 bicycle racks (6 bicycle spaces)	CRMC Ch. 17.54.040, 1
Drive Aisle Width	24' (for 2-way drive and 90 degree parking spaces)	24'	CRMC Ch. 17.54 Table 64-2
*CRMC = Castle Rock Municipal Code			

SITE PLAN LEGEND



SITE DEVELOPMENT PLAN
LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2
TOWN OF CASTLE ROCK PROJECT NO. SPD25-0001



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

PROJECT 246543.00

CRAH CRYSTAL VALLEY MOB - C&S (BID PACKAGE #1)

SITE DEVELOPMENT PLAN

DATE 2/14/2025

REVISIONS		
#	DESCRIPTION	DATE

SHEET TITLE

SITE PLAN

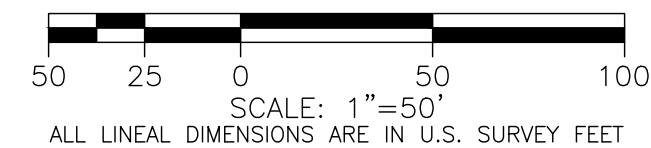
SHEET NUMBER

3 of 13

MARTIN/MARTIN ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS, UNLESS OTHERWISE NOTED, THE UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED BY OTHERS AND DEPICTED AS ASCE (38) QUALITY LEVEL D. IN ACCORDANCE WITH THE PROVISIONS OF COLORADO REVISED STATUTE, TITLE 9, IT IS THE CONTRACTORS RESPONSIBILITY TO CALL COLORADO 811 UTILITY LOCATE SERVICE FOR UTILITY LOCATES BEFORE DIGGING, AND FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES (DEPICTED OR NOT DEPICTED) PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

LEGEND

EXISTING		DEMOLITION
	PROPERTY LINE	
	RIGHT-OF-WAY LINE	
	SECTION LINE	
	EASEMENT	
	SETBACK LINE	
	RETAINING WALL	
	CURB & GUTTER	
	ASPHALT	
	CONCRETE/ SIDEWALK	
	CONTOURS	
	STORM SEWER	
	STORM MANHOLE	
	STORM INLET	
	FLARED END SECTION	
	SANITARY SEWER	
	SANITARY MANHOLE	
	WATER LINE	
	WATER VALVE	
	FIRE HYDRANT	
	WATER METER	
	IRRIGATION LINE	
	IRRIGATION CONTROL	
	OVERHEAD ELECTRIC	
	ELECTRIC LINE	
	LIGHT POLE	
	POWER POLE	
	ELECTRIC METER	
	TELEPHONE LINE	
	TELEPHONE PEDESTAL	
	CABLE TV	
	SIGN	
	DECIDUOUS TREE	
	EVERGREEN TREE	
	BUSH/SHRUB	
	GAS LINE	
DRIVE	DESCRIPTIONS	DRIVE



SITE DEVELOPMENT PLAN

THE LINEAL DIMENSIONS AS CONTAINED HEREIN ARE
BASED UPON THE "U.S. SURVEY FOOT."

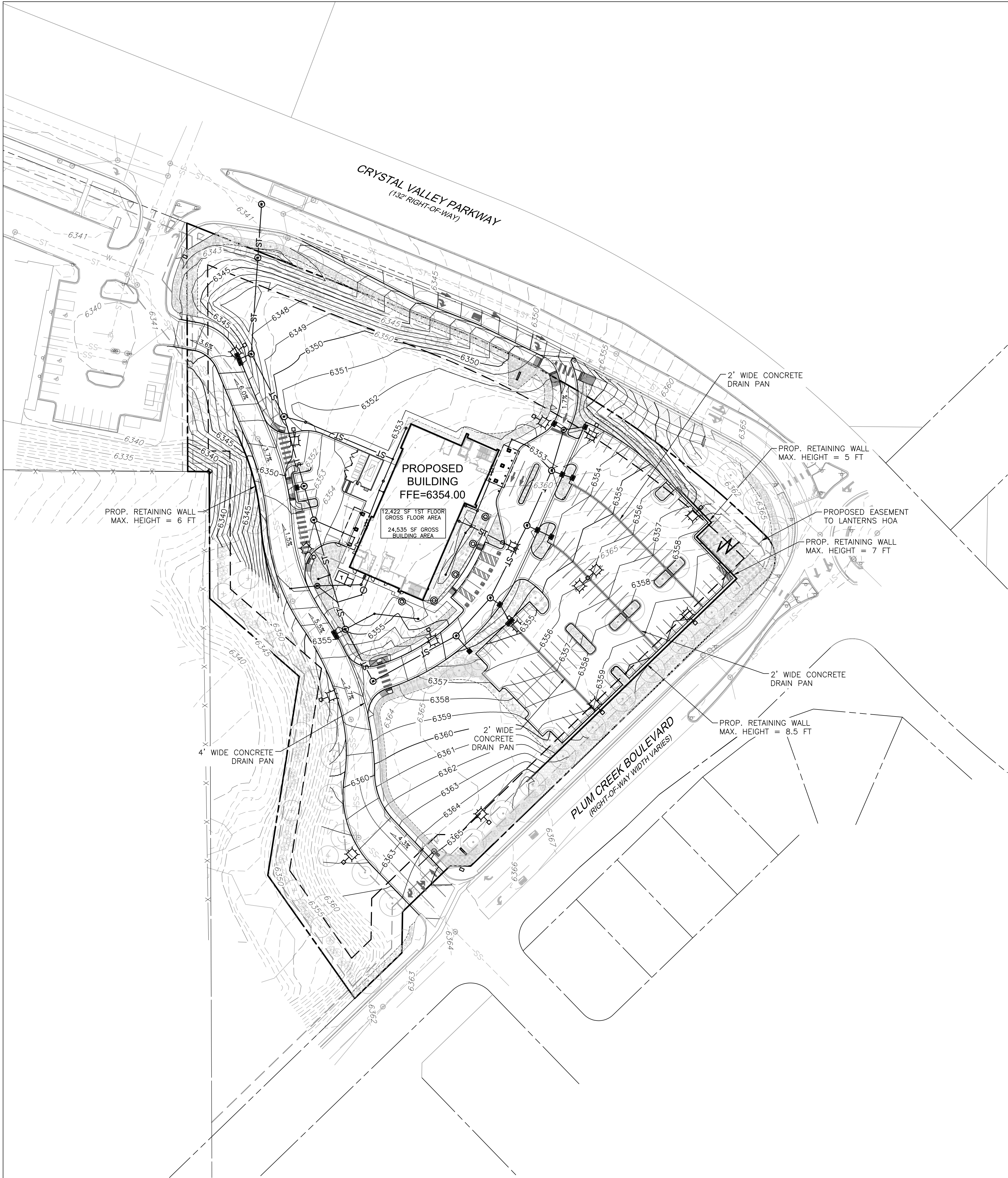


MARTIN/MARTIN
CONSULTING ENGINEERS

REVISIONS		
	DESCRIPTION	DATE

4 of 13

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SUBJECT TO CHANGE
PENDING JURISDICTIONAL APPROVAL

LEGEND		
EXISTING		PROPOSED
	PROPERTY LINE	
	RIGHT-OF-WAY LINE	
	SECTION LINE	
	EASEMENT	
	SETBACK LINE	
	RETAINING WALL	
	CURB & GUTTER	
	CONTOURS	
	STORM SEWER	
	STORM MANHOLE	
	PERIMETER DRAIN	
	INLET	
	FLARED END SECTION	
	SIGN	
	GRADING ARROW	
	DECIDUOUS TREE	
	EVERGREEN TREE	
	BUSH/SHRUB	
	DRIVE	
	ELEV	
	SPOT ELEVATIONS	

113 PARKING SPACES
5 ADA PARKING SPACES
TOTAL PARKING STALL COUNT = 118 STALLS
(3 ADDITIONAL POLICE PARKING STALLS ARE PROVIDED IN THE SERVICE AREA)



CALL 811 3-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE OR EXCAVATE FOR
MARKING OF UNDERGROUND MEMBER UTILITIES

MARTIN/MARTIN ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. UNLESS OTHERWISE NOTED, THE UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED BY OTHERS AND DEPICTED AS ASCE (38) QUALITY LEVEL D. IN ACCORDANCE WITH THE PROVISIONS OF COLORADO REVISED STATUTE, TITLE 9, IT IS THE CONTRACTORS RESPONSIBILITY TO CALL COLORADO 811 UTILITY LOCATE SERVICE FOR UTILITY LOCATES BEFORE DIGGING, AND FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES (DEPICTED OR NOT DEPICTED) PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

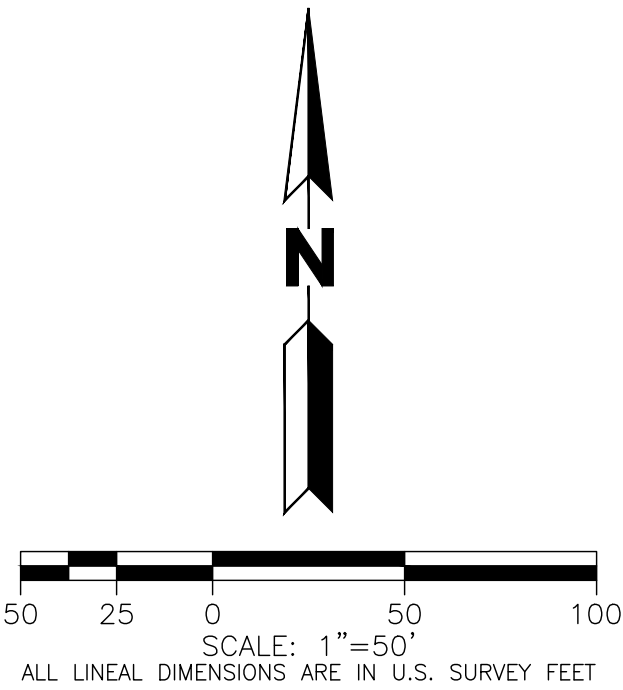
BENCHMARK STATEMENT:
NGS DESIGNATION N 393
FOUND A BRASS DISK STAMPED N 393 1983 IN
ROCK OUTCROPPING BELOW FRONT STREET.

PUBLISHED ELEVATION: 6222.1 (NAVD88)
SITE BENCHMARK: CP99 - X ON SIDEWALK
ELEVATION: 6341.79' (NAVD88)

ELEVATIONS BROUGHT TO THE SITE VIA GPS
OBSERVATIONS USING THE TRIMBLE VRS NETWORK

BASIS OF BEARINGS:
ASSUMING A PORTION OF THE SOUTHEASTERLY LINE OF BLOCK 2 OF HECKENDORF RANCH FILING NO. 2, AS MONUMENTED BY A MAG NAIL WITH A 1.0" BRASS TAG LS 38479 AT THE SOUTHWESTERLY END AND BY A #4 REBAR WITH A 1.0" BLUE PLASTIC CAP LS 38175 AT THE NORTHEASTERLY END, AS BEARING SOUTH 45°57'12" WEST BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983 (2011), A DISTANCE OF 396.74 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THE LINEAL DIMENSIONS AS CONTAINED HEREIN ARE BASED UPON THE "U.S. SURVEY FOOT."



SITE DEVELOPMENT PLAN
LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0001



BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



PROJECT 24.0241
**ADVENTHEALTH
CASTLE ROCK
MOB - CORE &
SHELL**

**SITE DEVELOPMENT
PLAN**
DATE 05/14/2025
REVISIONS

DESCRIPTION	DATE
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SHEET TITLE
GRADING PLAN
SHEET NUMBER
5 of 13



CALL 811 3-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE OR EXCAVATE FOR
MARKING OF UNDERGROUND MEMBER UTILITIES

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SUBJECT TO CHANGE
PENDING JURISDICTIONAL APPROVAL

LEGEND

EXISTING		PROPOSED
---	PROPERTY LINE	---
---	RIGHT-OF-WAY LINE	---
---	SECTION LINE	---
---	EASEMENT	---
---	SETBACK LINE	---
---	RETAINING WALL	---
---	CURB & GUTTER	---
---	UTILITY CROSSING	⊗
---	STORM SEWER	ST
⊗	STORM MANHOLE	⊗
---	PERIMETER DRAIN	PD
---	STORM INLET	■
<	FLARED END SECTION	⏏
---	SANITARY SEWER	SS
⊗	SANITARY MANHOLE	⊗
⊗	CLEAN OUT	⊗
---	WATER LINE	W
⊗	WATER VALVE	⊗
⊗	FIRE HYDRANT	⊗
⊗	WATER METER	⊗
---	IRRIGATION LINE	IR
IRR	IRRIGATION CONTROL	IRR
---	OVERHEAD ELECTRIC	---
---	ELECTRIC LINE	E
⊗	LIGHT POLE	⊗
⊗	POWER POLE	⊗
ELEC	ELECTRIC METER	⊗
---	TELEPHONE LINE	T
TEL	TELEPHONE PEDESTAL	T
---	CABLE TV	CT
---	GAS LINE	G
---	SIGN	⊗
D.W.	MONITOR WELL	⊗
DRIVE	DRIVE	DRIVE

UTILITY NOTES:

1. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK BLUE ZONE TANK 4 WATER PRESSURE ZONE.
2. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
3. ALL UTILITY EASEMENTS FOR WATER AND WASTEWATER LINES SHALL BE FOR THE EXCLUSIVE USE OF THE TOWN SO THAT ACCESS AND MAINTENANCE MAY BE PERFORMED.
4. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
5. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
6. ANY TIE-IN, CROSSING OR LOWERING OF TOWN CRITICAL INFRASTRUCTURE WILL REQUIRE A TIME AND MATERIALS PERMIT (TMU) WITH FEES REQUIRED PRIOR TO CONSTRUCTION.

BENCHMARK STATEMENT:

NGS DESIGNATION N 393
FOUND A BRASS DISK STAMPED N 393 1983 IN ROCK OUTCROPPING BELOW FRONT STREET.

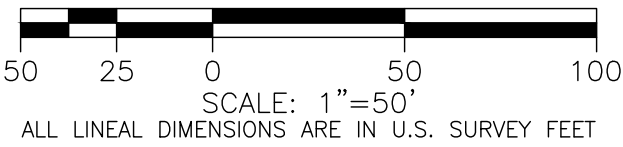
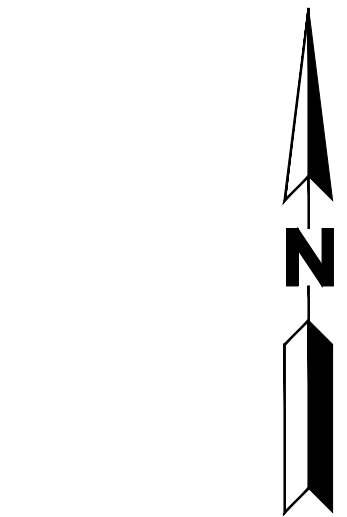
PUBLISHED ELEVATION: 6222.1 (NAVD88)
SITE BENCHMARK: CP99 - X ON SIDEWALK
ELEVATION: 6341.79' (NAVD88)

ELEVATIONS BROUGHT TO THE SITE VIA GPS OBSERVATIONS USING THE TRIMBLE VRS NETWORK

BASIS OF BEARINGS:

ASSUMING A PORTION OF THE SOUTHEASTERLY LINE OF BLOCK 2 OF HECKENDORF RANCH FILING NO. 2, AS MONUMENTED BY A MAG NAIL WITH A 1.0" BRASS TAG LS 38479 AT THE SOUTHWESTERLY END AND BY A #4 REBAR WITH A 1.0" BLUE PLASTIC CAP LS 38175 AT THE NORTHEASTERLY END, AS BEARING SOUTH 45°57'12" WEST BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983 (2011), A DISTANCE OF 396.74 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THE LINEAL DIMENSIONS AS CONTAINED HEREIN ARE BASED UPON THE "U.S. SURVEY FOOT."



SITE DEVELOPMENT PLAN
LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0001



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



MARTIN/MARTIN
CONSULTING ENGINEERS
12499 West Colfax Ave
Lakewood, Colorado 80215
303.431.6100
martinmartin.com

PROJECT 24.0241

ADVENTHEALTH
CASTLE ROCK
MOB - CORE &
SHELL

SITE DEVELOPMENT
PLAN

DATE 05/14/2025

REVISIONS

REVISIONS	DESCRIPTION	DATE
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SHEET TITLE

OVERALL
UTILITY PLAN

SHEET NUMBER

6 of 13

IRRIGATION NOTES:

- ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. SHRUBS WILL BE DRIP IRRIGATED. CONTRACTOR SHALL BE RESPONSIBLE FOR TAPS, BACKFLOW PREVENTION AND WINTERIZATION SYSTEMS, SLEEVING UNDER PAVED AREAS, WALLS, AND ALL SPRINKLER COMPONENTS NECESSARY FOR A FULLY FUNCTIONAL SYSTEM. TREES SHALL BE ON A SEPARATE ZONE FROM SHRUBS. ELECTRIC SERVICES FOR THE IRRIGATION CONTROLLERS ARE INSTALLED, OWNED AND MAINTAINED BY THE OWNER OR LEGAL ENTITY CREATED FOR COMMON AREA MAINTENANCE.
- THE IRRIGATION CONTROLLER'S METERED ELECTRIC SERVICE MUST BE BUILT TO THE NATIONAL ELECTRIC CODE (NEC), REQUIRE A BUILDING PERMIT AND A ONE-LINE DIAGRAM. THE ONE-LINE DIAGRAM MUST BE SHOWN AS COLD SEQUENCED AND LABELED WITH THE SERVICE SIZE & VOLTAGE REQUIREMENTS.
- SITE IRRIGATION WILL BE PROVIDED USING A PERMANENT 3/4" DEDICATED IRRIGATION TAP AND A TEMPORARY 2" TAP OFF OF THE HYDRANT FOR NATIVE GRASS ESTABLISHMENT. LOCATION OF TAP AND METER ARE SHOWN ON THE LANDSCAPE PLANS.

CASTLE ROCK LANDSCAPE NOTES:

- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
- AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE(45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

CASTLE ROCK STREET CONSTRUCTION NOTES:

- ALL STREET CONSTRUCTION IS SUBJECT TO THE GENERAL NOTES ON THE COVER SHEET OF THESE PLANS AS WELL AS THE STREET CONSTRUCTION NOTES LISTED HERE.
- A PAVING SECTION DESIGN, SIGNED AND SEALED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER, MUST BE SUBMITTED TO THE TCR PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO ANY STREET CONSTRUCTION ACTIVITY (FULL-DEPTH ASPHALT SECTIONS ARE NOT PERMITTED AT A DEPTH GREATER THAN 8" ASPHALT). THE JOB MIX SHALL BE SUBMITTED FOR APPROVAL PRIOR TO PLACEMENT OF ANY ASPHALT.
- WHERE PROPOSED PAVING ADJOINS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT A MINIMUM DISTANCE OF 12" FROM THE EXISTING EDGE TO CREATE A CLEAN CONSTRUCTION JOINT. THE DEVELOPER SHALL BE REQUIRED TO REMOVE EXISTING PAVEMENT TO A DISTANCE WHERE A CLEAN CONSTRUCTION JOINT CAN BE MADE.
- STREET SUBGRADES SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 12" AND RE-COMPACTED PRIOR TO SUB-BASE INSTALLATION. NO BASE MATERIAL SHALL BE LAID UNTIL THE SUBGRADE HAS BEEN INSPECTED AND APPROVED BY THE TCR CONSTRUCTION INSPECTOR.
- VALVE BOXES ARE TO BE BROUGHT UP TO GRADE AT THE TIME OF PAVEMENT PLACEMENT OR OVERLAY. VALVE BOX ADJUSTING RINGS ARE NOT ALLOWED.

CASTLE ROCK STREET STRIPING & SIGNAGE NOTES:

- ALL SIGNAGE AND STRIPING IS SUBJECT TO THE GENERAL NOTES ON THE COVER SHEET OF THESE PLANS AS WELL AS THE SIGNAGE AND STRIPING NOTES LISTED HERE.
- ALL PAINT SHALL BE 15 MIL THICK UPON INSTALLATION AND 8 MIL THICK WHEN DRY.
- ALL PERMANENT LONGITUDINAL PAVEMENT STRIPING ON ASPHALT SURFACES (CENTERLINES, LANE LINES, BAY LINES, ETC.) SHALL BE INSTALLED USING AN APPROVED REFLECTIVE TRAFFIC PAINT OR PAVEMENT MARKING TAPE. REFLECTIVE BEADS SHALL BE APPLIED IN ACCORDANCE WITH CDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE MANUFACTURER'S REQUIREMENTS. WHEN TAPE IS USED ON AN ASPHALT STREET, IT SHALL BE "ROLLED" INTO THE FINAL LIFT. ON CONCRETE SURFACES TAPE SHALL BE UTILIZED WITH A CONTRASTING BLACK EDGE AND GROOVED INTO THE PAVEMENT.

MAINTENANCE NOTES:

- ALL LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A NEAT AND ADEQUATE MANNER. REQUIRED MAINTENANCE ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO MOWING OF LAWNS, TRIMMING OF HEDGES, ADEQUATE IRRIGATION, REPLACEMENT OF DEAD, DISEASED OR UNSIGHTLY PLANT MATERIAL, REMOVAL OF WEEDS FROM PLANTED AREAS, AND APPROPRIATE PRUNING OF PLANT MATERIALS UNTIL FINAL COMPLETION.

PLANTING NOTES:

- ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE IN SCHEDULES. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED FOR THE PROJECT. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL SHAPED HEADS, ALL EVERGREEN TREES SHALL BE UNSHEARED AND FULL TO THE GROUND. PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1.
- SEE PLANTING DETAILS FOR PLANT PIT DIMENSIONS, BACKFILL REQUIREMENTS, AND INSTALLATION NOTES. ALL TREES TO BE STAKED OR GUYED PER DETAILS ON SHEET L4.2.
- ALL PLANTS WILL BE INSPECTED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE DELIVERY TO THE SITE. ALL TREE LOCATIONS AND EDGES OF NEW PLANTING BEDS ARE TO BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- LANDSCAPE CONTRACTOR SHALL PROVIDE PER-UNIT COSTS FOR EVERY SIZE OF PLANT MATERIALS, AND BY TYPE AS CALLED OUT ON PLANS. UNIT COSTS TO INCLUDE THE PLANT MATERIAL ITSELF AND INSTALLATION, INCLUDING ALL LABOR, AMENDMENTS, FERTILIZERS, ETC. AS DETAILED AND SPECIFIED FOR EACH SIZE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKEOFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS.
- COORDINATE INSTALLATION OF LARGE PLANT MATERIAL WITH FOOTINGS AND PAVEMENTS. ANY DAMAGE TO IMPROVEMENTS BY OTHERS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SPECIFIED QUANTITIES OF SOIL AMENDMENTS, CONDITIONERS AND MULCH IN SOIL PREPARATION AND FINISH GRADING.
- IMPORTED SOIL SHALL BE USED TO SUPPLEMENT EXISTING SOIL AS NECESSARY TO MEET THE FINISHED GRADING REQUIREMENTS OF PLANTING AREAS.
- THE LANDSCAPE CONTRACTOR SHALL PERFORM A STANDARD AGRICULTURAL SUITABILITY ANALYSIS OF EXISTING SOIL PROPOSED FOR PLANTING AT HIS EXPENSE AND INCORPORATE RECOMMENDATIONS PER FRASER WATER AMENDMENT REQUIREMENTS PRIOR TO PLANTING.
- INSTALL A MINIMUM OF 4 CUBIC YARDS OF SOIL AMENDMENT PER 1000 SQUARE FEET OF PERMEABLE AREA TO BE PLANTED WITH SOD, SHRUBS, GRASSES, OR PERENNIALS. AMENDMENT SUPPLIER SHALL BE A1 ORGANICS OF EATON, COLORADO.
- ALL TREES, SHRUBS, PERENNIALS, SOD AND SEEDED AREAS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR A 12-MONTH PERIOD AFTER INITIAL ACCEPTANCE. REPLACEMENTS SHALL BE GUARANTEED AN ADDITIONAL 12-MONTHS UNTIL FINAL ACCEPTANCE. ALL REPLACEMENT COSTS SHALL BE BORN BY THE CONTRACTOR.
- TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, CENTERLINE, OR BACK OF CURB.
- STREET TREES SHALL BE PLACED 5'-0" MIN. FROM BURIED UTILITIES.
- TREE WRAPPING MATERIAL SHALL BE FOUR INCHES WIDE, BITUMINOUS IMPREGNATED TAPE, CORRUGATED OR CREPE PAPER, BROWN IN COLOR, SPECIFICALLY MANUFACTURED FOR TREE WRAPPING. TREES SHALL BE WRAPPED BETWEEN OCTOBER 15 AND NOVEMBER 1 OF THE YEAR THEY ARE PLANTED. NO TREE WRAPPING SHALL BE PERMITTED UNTIL A LICENSED LANDSCAPE CONTRACTOR OR CERTIFIED ARBORIST HAS INSPECTED THE TREE. IT IS THE DUTY OF THE CONTRACTOR TO WRAP DECIDUOUS TREES DURING THE ONE-YEAR WARRANTY PERIOD.
- COORDINATE PLANTING PERIODS WITH MAINTENANCE PERIODS TO PROVIDE REQUIRED MAINTENANCE FROM THE DATE OF SUBSTANTIAL COMPLETION. PLANT DURING ONE OF THE FOLLOWING PERIODS:
SPRING PLANTING: APRIL 1 TO JUNE 15

LANDSCAPE ARCHITECT INFORMATION:

COMPANY NAME: OXBOW DESIGN COLLABORATIVE
ADDRESS: 209 KALAMATH ST. UNIT 6, DENVER, CO 80223
PHONE: 720-465-6168
EMAIL: DAVID@OXBOWDC.COM
DATE: 05/14/2025
COLORADO LICENSE LANDSCAPE ARCHITECT #: LA-001011



BOULDER ASSOCIATES

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303.499.7795



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720.465.6168

PROJECT 225513.00

ADVENTHEALTH
CASTLE ROCK
MOB

SDP SET

DATE 05/14/2025

REVISIONS

DESCRIPTION	DATE
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SHEET TITLE

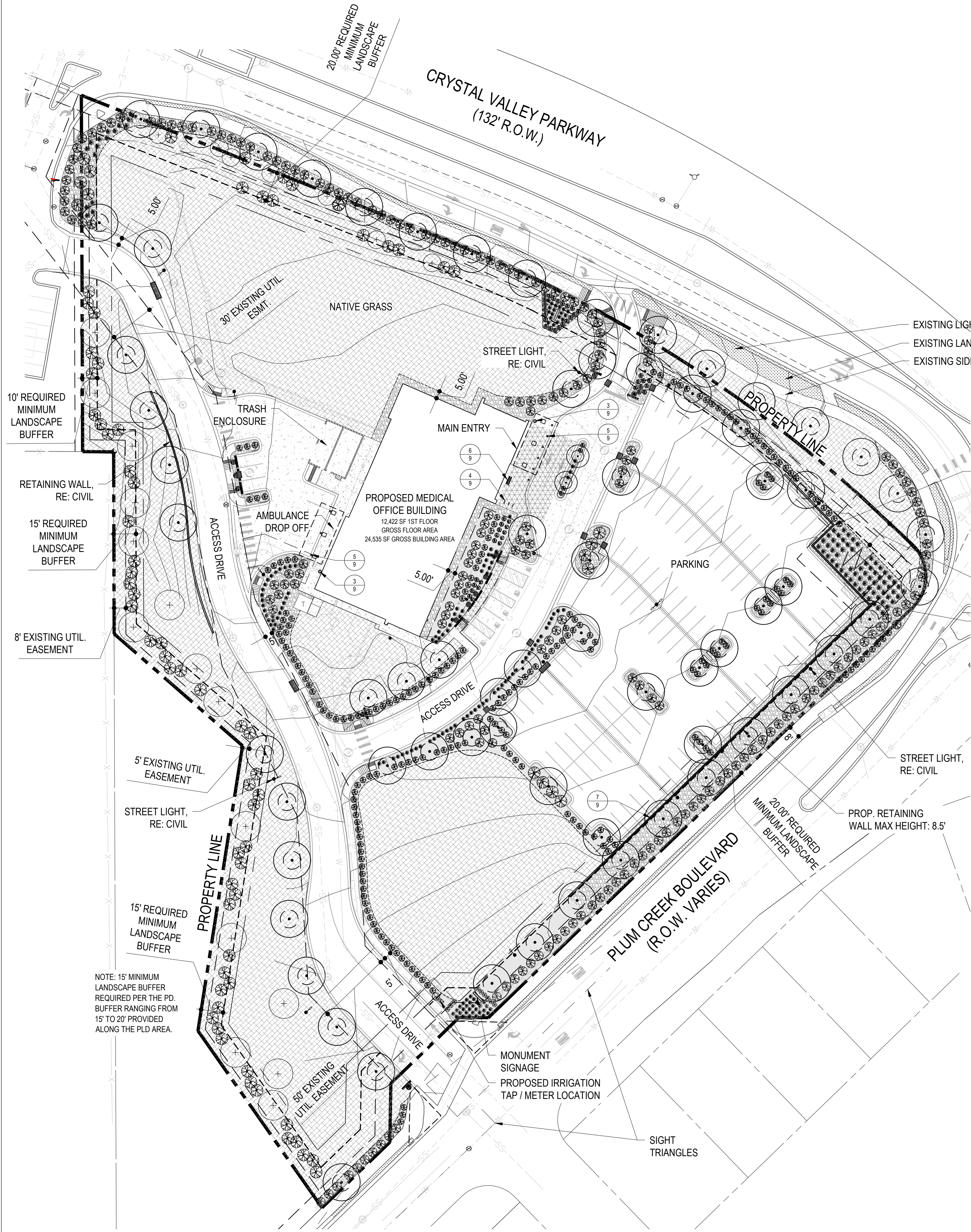
LANDSCAPE COVER
SHEET

SHEET NUMBER

7 OF 13

SITE DEVELOPMENT PLAN
LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0001

8/11/2023 8:44:15 AM
AUTODESK DWG2/22513.00 Century Castle Rock WMC 22/22513.00 Century Castle Rock WMC-A.rvt
THIS SHEET IS PROVIDED UNLESS PRINTED TO FULL SCALE



PLANTING SCHEDULE:

SYMBOL	PLANT TYPE	PLANT SIZE	HYDROZONE	QUANTITY
	DECIDUOUS SHADE TREE	3" CALIPER	L	69
	EVERGREEN TREE	6'	L	22
	DECIDUOUS ORNAMENTAL TREE	1-1/2" CALIPER	L	2
	DECIDUOUS SHRUBS	5 GALLON	L	528
	PERENNIALS	1 GALLON	L	8
	GRASSES	1 GALLON	L	224
	NATIVE SEED	SEED	VL	104,354 SF

LEGEND:

- PROPERTY LINE
- LANDSCAPE BUFFER
- EASEMENT
- SETBACK
- RETAINING WALL
- STEEL EDGER
- CONCRETE PAVING TYPE I - PEDESTRIAN (4' TH)
COLOR: STANDARD GRAY
- ROCK MULCH 1-1/2" RIVER ROCK
- WOOD MULCH WESTERN RED CEDAR
- NATIVE GRASS
- EXISTING LANDSCAPE
- BENCH
- WASTE RECEPTACLE
- BIKE RACK
- PEDESTRIAN LIGHT
- STREET LIGHT
- IRRIGATION TAP SYMBOL

LANDSCAPE BUFFER TABLE:

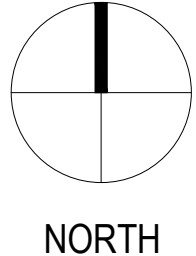
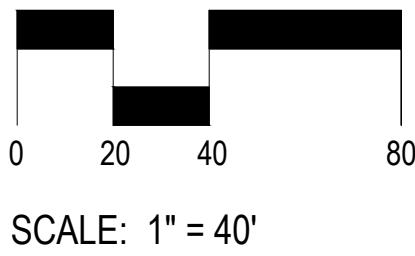
BOUNDARY	REQUIRED LANDSCAPE BUFFER
CRYSTAL VALLEY PARKWAY	20' MIN. LANDSCAPE BUFFER
PLUM CREEK PARKWAY	20' MIN. LANDSCAPE BUFFER
PUBLIC LAND DEDICATION	15' MIN. LANDSCAPE BUFFER
WESTERN BOUNDARY	10' MIN. LANDSCAPE BUFFER
INTERNAL LOT LINES	10'

NON RESIDENTIAL SITE INVENTORY TABLE:

NON-RESIDENTIAL SITE INVENTORY							
GROSS SITE AREA	REQUIRED LANDSCAPE (10% OF GROSS SITE AREA)	PROVIDED LANDSCAPE AREA	REQUIRED TREES (2 TREES / 1,000 SF)	PROVIDED TREES	REQUIRED SHRUBS (4 SHRUBS / 1,000 SF)	PROVIDED SHRUBS	SOIL PREP AMOUNTS (CU. YDS. PER 1,000 SF)
225,116 SF	22,512 SF	128,786 SF	45	91	90	528	560
TURF GRASS AREA	REQUIRED LANDSCAPE COVERAGE (75% MIN.)	PROVIDED LANDSCAPE COVERAGE AT MATURITY	REQUIRED NONLIVING ORNAMENTAL % (25% MAX.)	PROVIDED NONLIVING ORNAMENTAL AREA IN LANDSCAPE	REQUIRED LARGE CANOPY DECIDUOUS TREE (50% MIN.)	PROVIDED LARGE CANOPY DECIDUOUS SHADE TREE	SEPARATE IRRIGATION SERVICE CONNECTIONS
N/A	16,884 SF	125,612 SF	5,628 SF	5,628 SF	23	70	YES

PARKING LOT							
PARKING LOT AREA	LANDSCAPING AREA REQUIRED (10% OF SQUARE FOOTAGE)	LANDSCAPE AREA PROVIDED	REQUIRED TREES (2 LARGE CANOPY DECIDUOUS SHADE TREES/1,000 SF)	PROVIDED TREES	REQUIRED SHRUBS (4 SHRUBS/1,000 SF)	PROVIDED SHRUBS	
36,523 SF	3,652 SF	128,786 SF	7	13	15	63	

PARKING LOT PENINSULA ISLANDS (40 SPACES OR MORE)						
NUMBER OF PARKING LOT SPACES	NUMBER OF LANDSCAPED ISLANDS REQUIRED (1 PER 15 SPACES)	NUMBER OF LANDSCAPED ISLAND PROVIDED	REQUIRED TREES (MIN. 1 LARGE CANOPY DECIDUOUS SHADE TREE PER ISLAND/PENINSULA)	PROVIDED TREES	REQUIRED SHRUBS (4 SHRUBS MIN. PER ISLAND/PENINSULA)	PROVIDED SHRUBS
118	8	15	15	15	60	75



SITE DEVELOPMENT PLAN
LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0001

BOULDER ASSOCIATES

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720.465.6168

PROJECT225513.00

ADVENTHEALTH
CASTLE ROCK
MOB

SDP SET

DATE05/14/2025

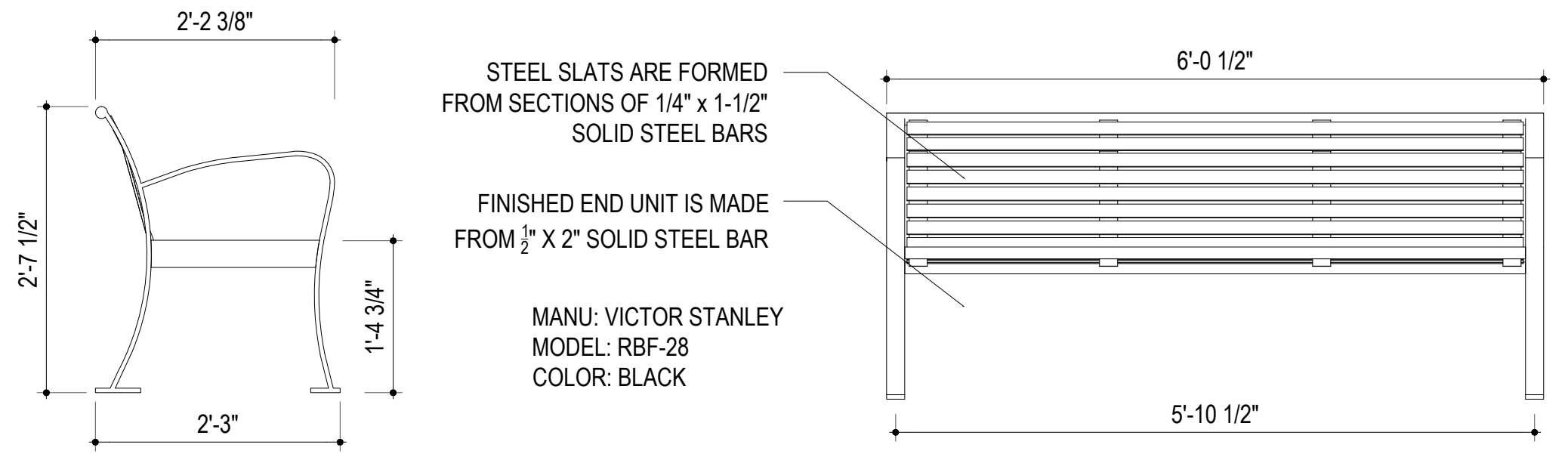
REVISIONS

DESCRIPTION	DATE
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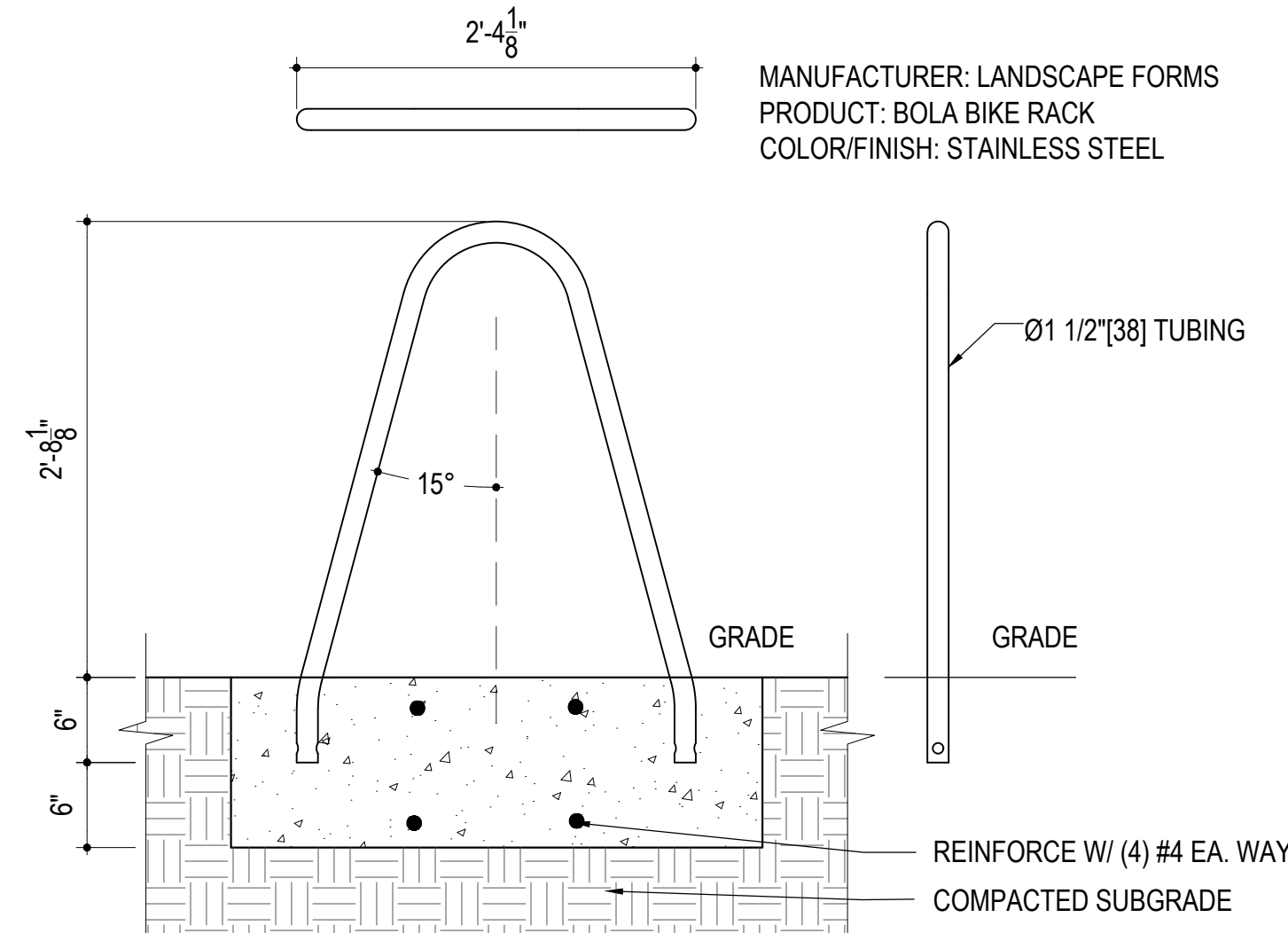
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LANDSCAPE
PLAN

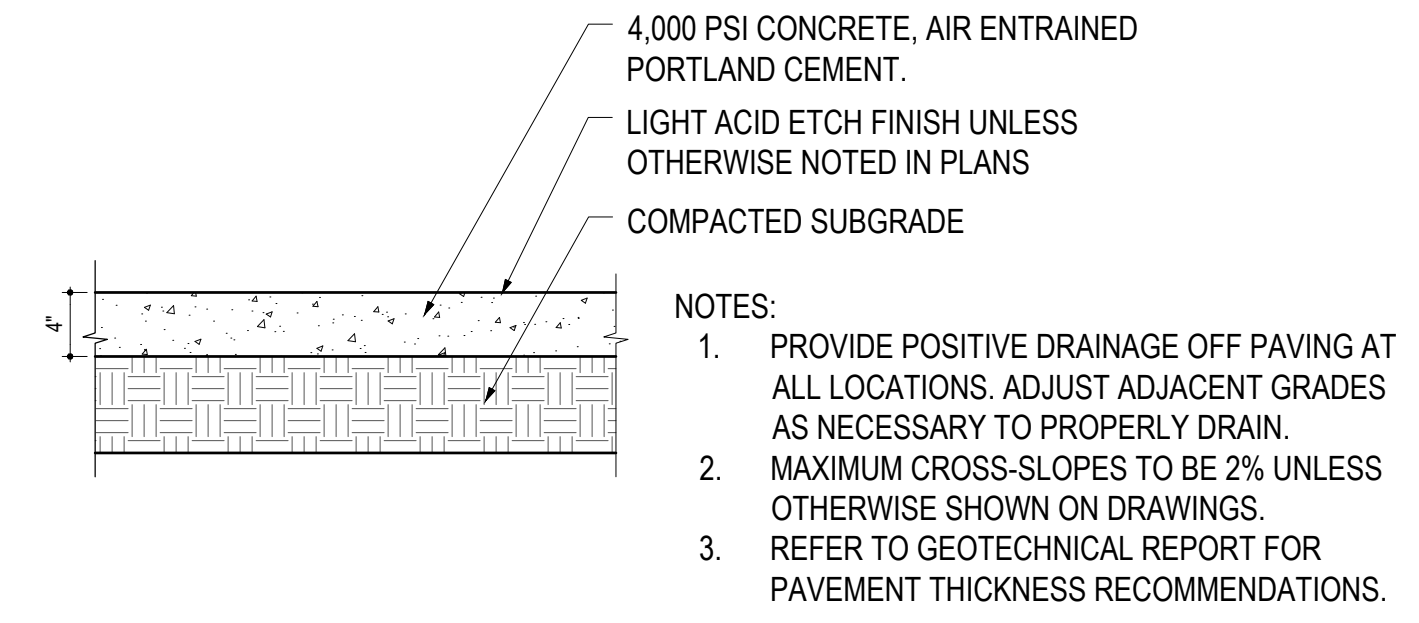
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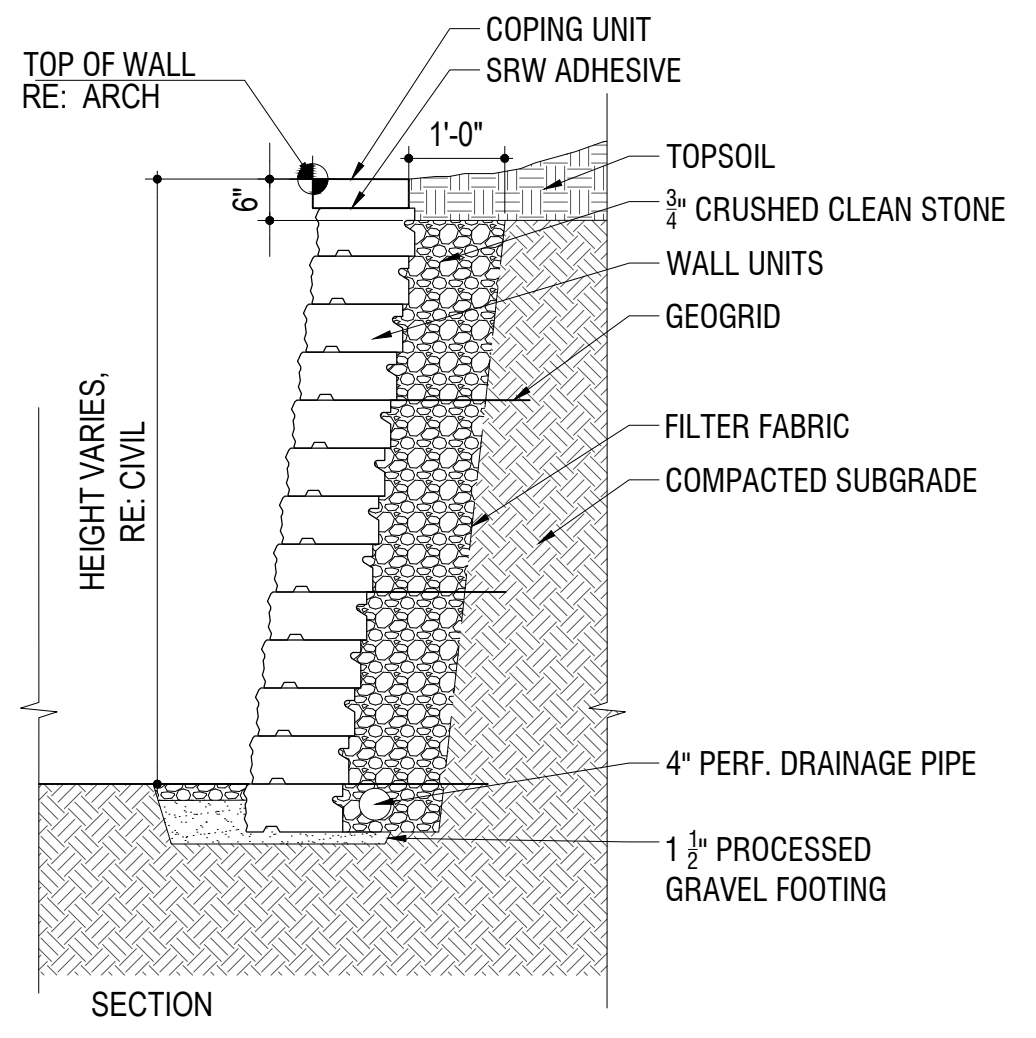
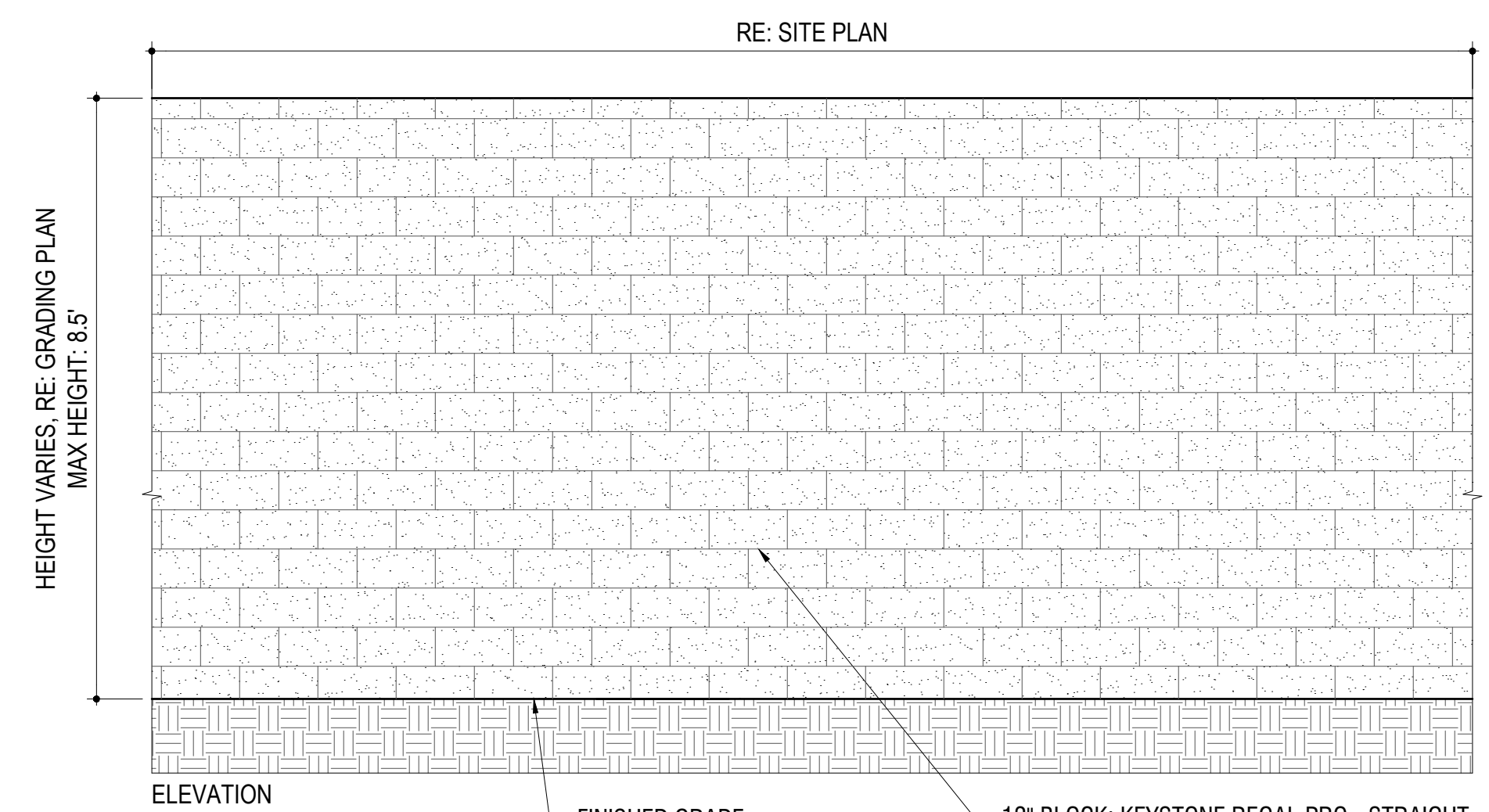
6 BENCH DETAIL
9 SCALE: 3/4" = 1'-0"



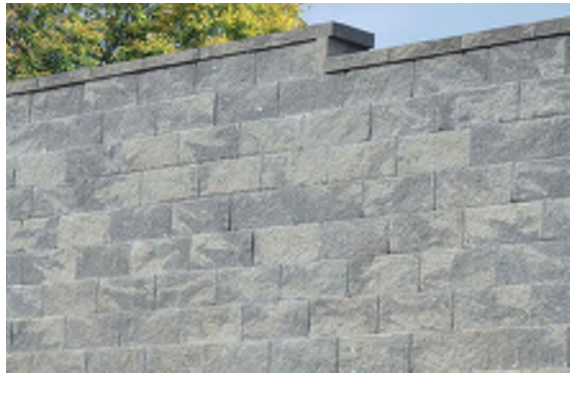
4 BIKE RACK DETAIL
9 SCALE: 1/2" = 1'-0"



1 CONCRETE PAVING DETAIL
9 SCALE: 1" = 1'-0"



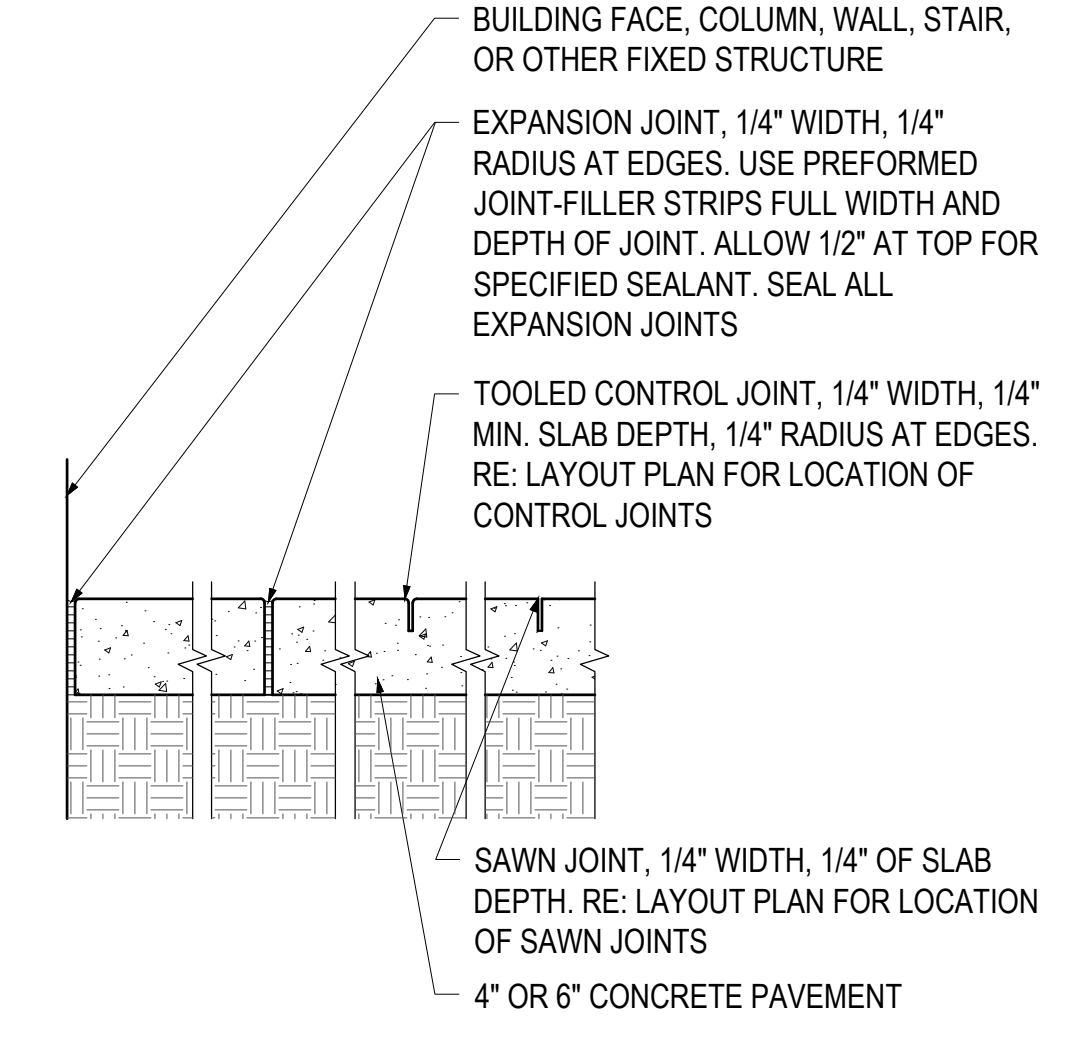
NOTES:
INSTALL PER MANUF. SPECIFICATIONS
REINFORCEMENT AS NECESSARY
PER STRUCTURAL ENGINEER.



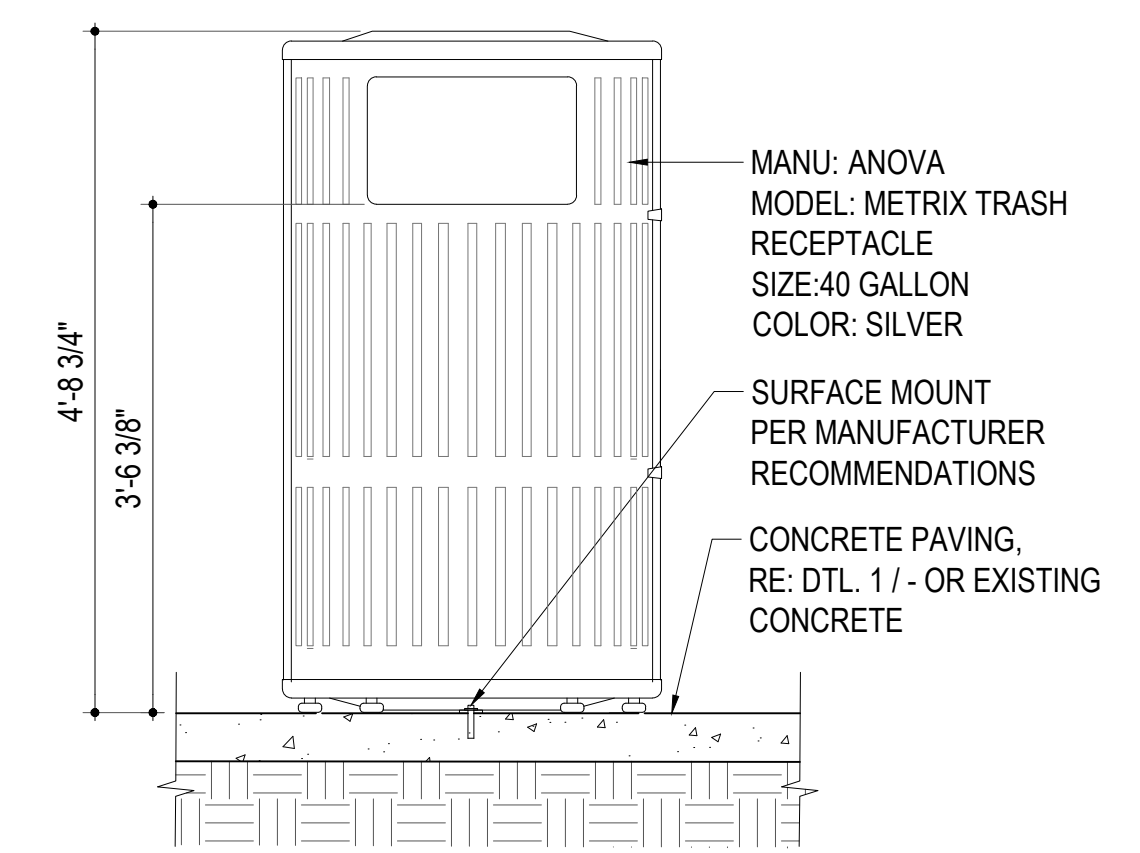
7 RETAINING WALL - ELEVATION
9 SCALE: 1/2" = 1'-0"



5 CONCRETE BOLLARD DETAIL
9 SCALE: NTS



2 CONCRETE JOINTING DETAIL
9 SCALE: 1" = 1'-0"



3 TRASH RECEPTACLE DETAIL
9 SCALE: 3/4" = 1'-0"



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PROJECT 225513.00

ADVENTHEALTH CASTLE ROCK MOB

SDP SET

DATE	05/14/2025	
REVISIONS		
<div><div></div><div>#</div></div>	DESCRIPTION	DATE

SHEET TITLE

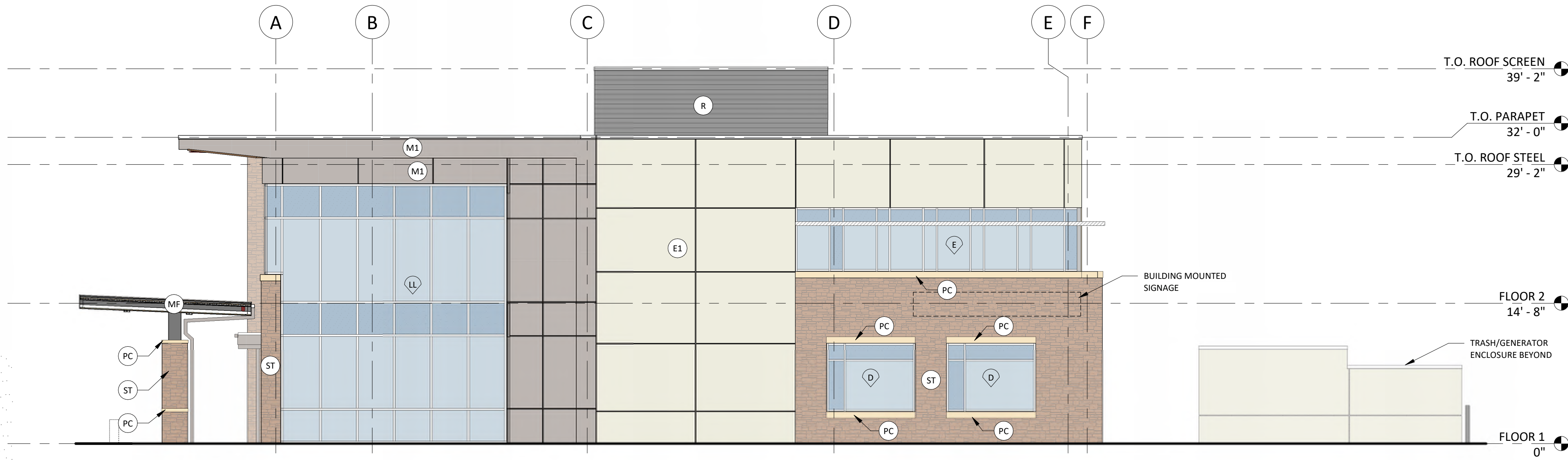
SITE DETAILS

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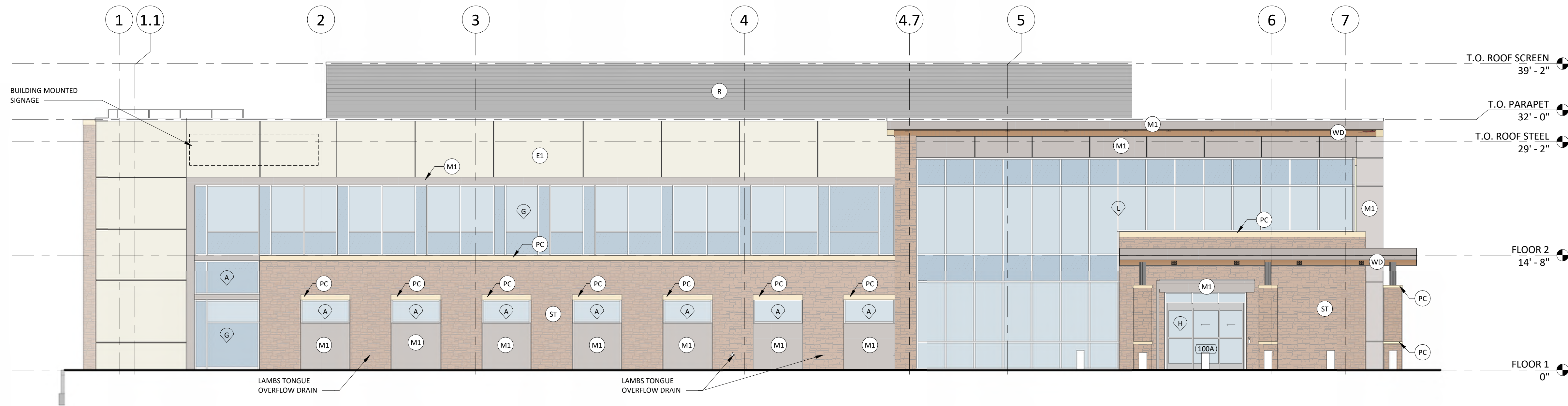
9 OF 13

SITE DEVELOPMENT PLAN
LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0001

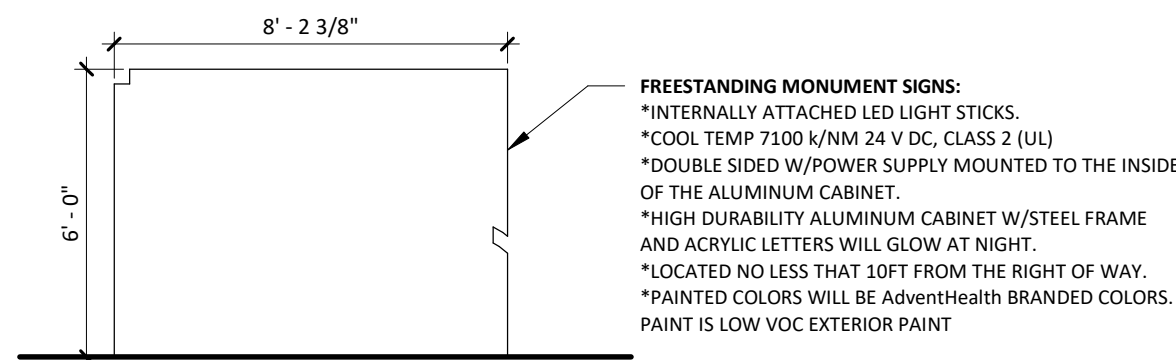
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1 NORTH ELEVATION
10 of 13 1/8" = 1'-0"



2 EAST ELEVATION
10 of 13 1/8" = 1'-0"



3 MONUMENT SIGN - ELEVATION
10 of 13 1/4" = 1'-0"

EXTERIOR ELEVATION MATERIAL LEGEND

ST	ADHERED STONE VENEER (SUNSET STONE, LEDGE STONE, CHEYENNE)
E1	EIFS (SUNSET STONE, LEDGE STONE, CHEYENNE)
M1	PREFINISHED METAL PANEL SYSTEM - FLUSH (FLYNN ACCUMET SYSTEM)
V1	VISION GLAZING
S1	SPANDREL GLAZING
R	PREFINISHED METAL ROOF SCREEN
PC	PRECAST CONCRETE
MF	PREFINISHED BRAKE METAL FASCIA
WD	WOOD LOOK METAL PANEL (SOFFIT) BASIS OF DESIGN: LONGBOARD COLOR: LIGHT CHERRY
AS	ALUMINUM SUNSHADE, COLOR TO MATCH ALUMINUM STOREFRONT SYSTEM
PM	PREFINISHED BRAKE METAL PARAPET CAP

ELEVATIONS GENERAL NOTES

- 1.) ALL SIGNAGE LOCATED ON THE SECOND FLOOR OF THE EAST AND NORTH FACADE ELEVATIONS FACING PLUM CREEK BOULEVARD WILL NOT INCLUDE ANY LIGHTED ELEMENTS, INCLUDING BUT NOT LIMITED TO BACKLIT DISPLAYS, FACADE LIGHTING DIRECTED AT ANY SIGNAGE, AND/OR CHANGING MESSAGE BOARDS.
- 2.) ALL IDENTIFICATION SIGNAGE LOCATED ON THE FIRST FLOOR OF THE EAST AND NORTH FACADE ELEVATIONS FACING PLUM CREEK BOULEVARD MAY BE INTERNALLY LIT WITH LOW LIGHT LEVELS.



BOULDER ASSOCIATES

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PROJECT 246543.00

CRAH CRYSTAL VALLEY MOB - C&S (BID PACKAGE #1)

SITE DEVELOPMENT PLAN

DATE 2/14/2025

#	DESCRIPTION	DATE
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SHEET TITLE

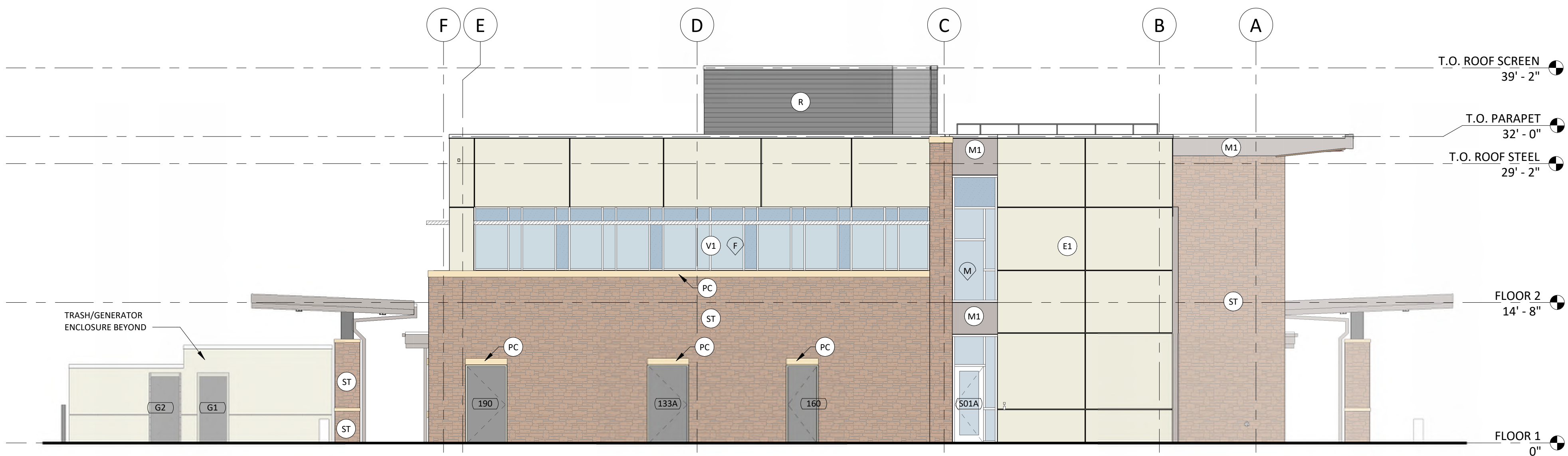
ELEVATIONS

SHEET NUMBER

10 of 13

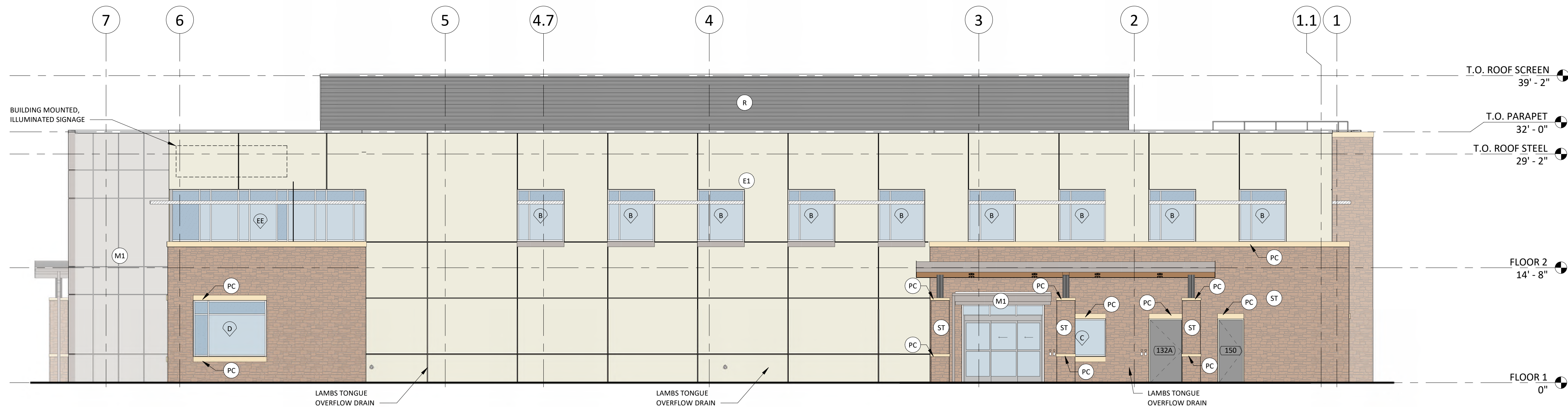
SITE DEVELOPMENT PLAN
LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2
TOWN OF CASTLE ROCK PROJECT NO. SPD25-0001

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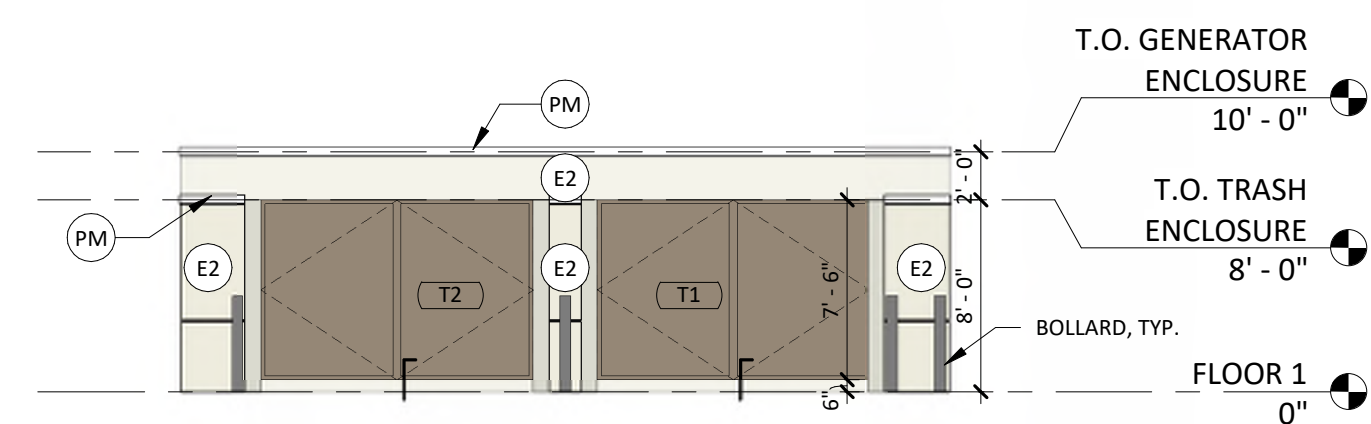
1 SOUTH ELEVATION

11 of 13 1/8" = 1'-0"



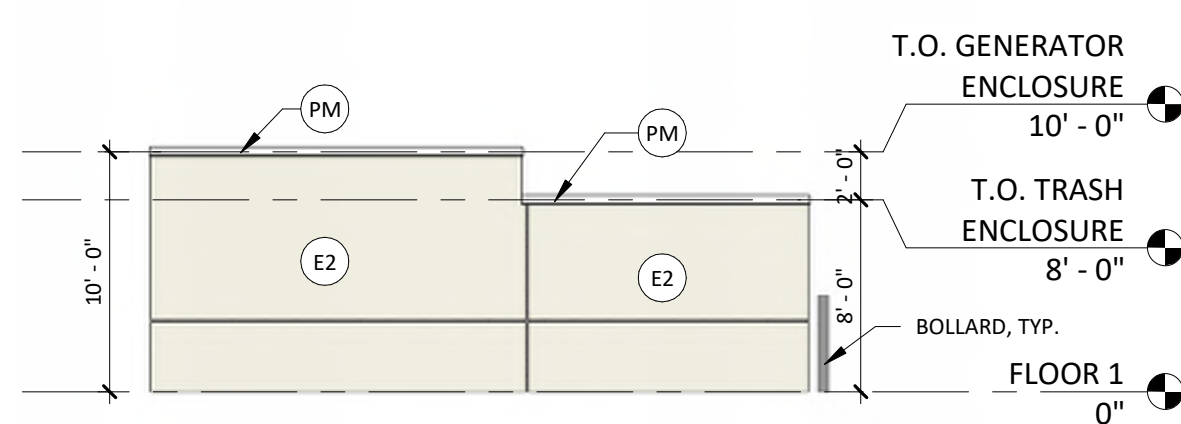
2 WEST ELEVATION

11 of 13 1/8" = 1'-0"



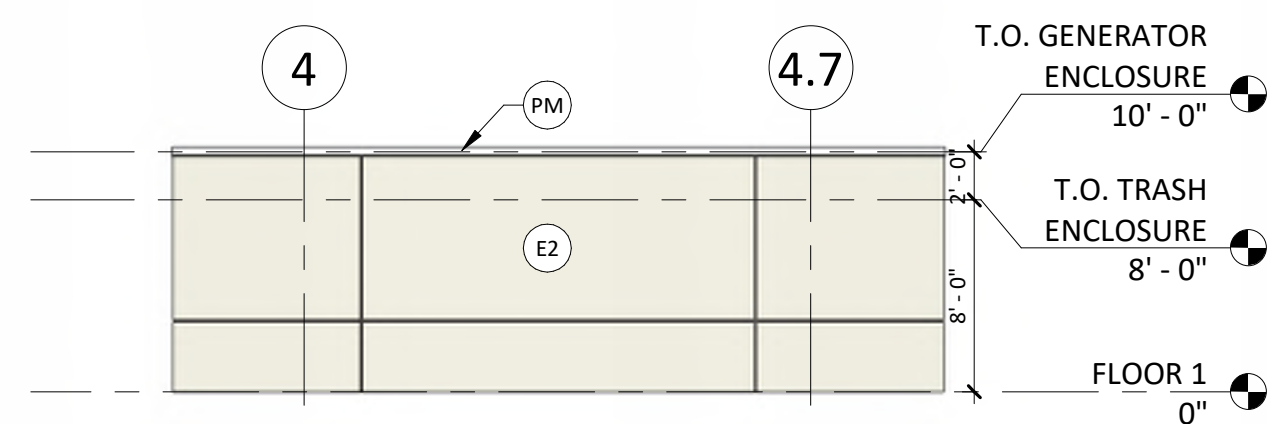
4 TRASH/GENERATOR ENCLOSURE - NORTH

11 of 13 1/8" = 1'-0"



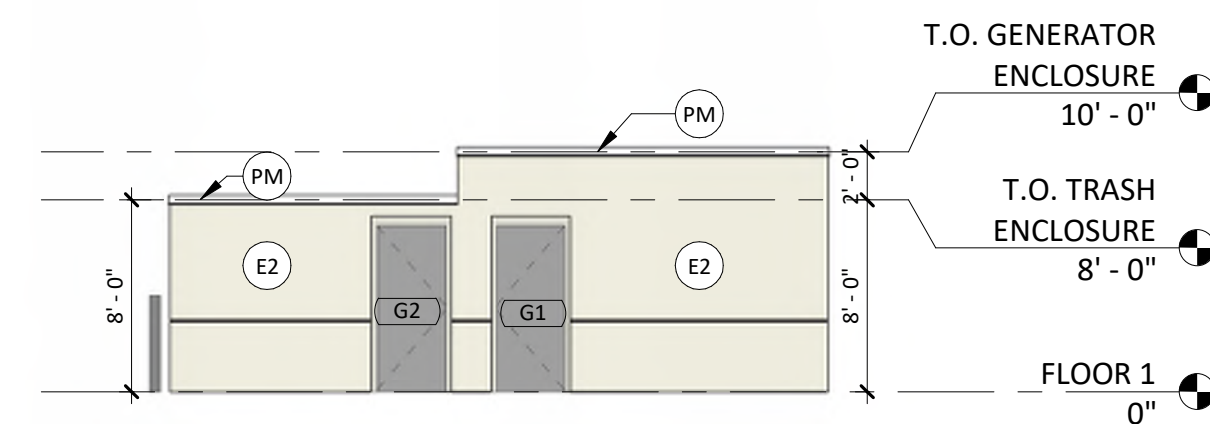
5 TRASH/GENERATOR ENCLOSURE - EAST

11 of 13 1/8" = 1'-0"



6 TRASH/GENERATOR ENCLOSURE - SOUTH

A1.21 11 of 13 1/8" = 1'-0"



7 TRASH/GENERATOR ENCLOSURE - WEST

11 of 13 1/8" = 1'-0"

EXTERIOR ELEVATION MATERIAL LEGEND

ST	ADHERED STONE VENEER (SUNSET STONE, LEDGE STONE, CHEYENNE)
E1	E1FS (SUNSET STONE, LEDGE STONE, CHEYENNE)
M1	PREFINISHED METAL PANEL SYSTEM - FLUSH (FLYNN ACCUMET SYSTEM)
V1	VISION GLAZING
S1	SPANDREL GLAZING
R	PREFINISHED METAL ROOF SCREEN
PC	PRECAST CONCRETE
MF	PREFINISHED BRAKE METAL FASCIA
WD	WOOD LOOK METAL PANEL (SOFFIT) BASIS OF DESIGN: LONGBOARD COLOR: LIGHT CHERRY
AS	ALUMINUM SUNSHADE, COLOR TO MATCH ALUMINUM STOREFRONT SYSTEM
PM	PREFINISHED BRAKE METAL PARAPET CAP

EXTERIOR ELEVATION MATERIAL LEGEND

TRASH ENCLOSURE

PM	PREFINISHED BRAKE METAL PARAPET CAP
E2	2 COAT STUCCO, COLOR TO MATCH E1

ELEVATIONS GENERAL NOTES

- 1.) ALL SIGNAGE LOCATED ON THE SECOND FLOOR OF THE EAST AND NORTH FACADE ELEVATIONS FACING PLUM CREEK BOULEVARD WILL NOT INCLUDE ANY LIGHTED ELEMENTS, INCLUDING BUT NOT LIMITED TO BACKLIT DISPLAYS, FACADE LIGHTING DIRECTED AT ANY SIGNAGE, AND/OR CHANGING MESSAGE BOARDS.
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PROJECT 246543.00

CRAH CRYSTAL
VALLEY MOB -
C&S (BID
PACKAGE #1)

SITE DEVELOPMENT
PLAN

DATE 2/14/2025

#	DESCRIPTION	DATE
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SHEET TITLE

ELEVATIONS

SHEET NUMBER

11 of 13

SITE DEVELOPMENT PLAN
LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2
TOWN OF CASTLE ROCK PROJECT NO. SPD25-0001



VIEW TOWARDS THE MAIN ENTRANCE, FROM THE SOUTH CORNER OF THE PARKING LOT



VIEW TOWARDS THE MAIN ENTRANCE, FROM THE PATIENT DROP-OFF



VIEW FROM PLUM CREEK BOULEVARD SHOWING LANDSCAPING ABOVE THE PARKING LOT RETAINING WALL


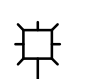

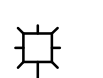

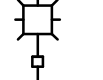

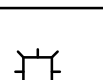

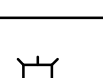

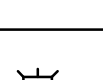

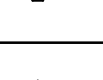






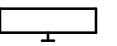
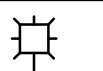

VIEW FROM THE ROUNDABOUT AT PLUM CREEK BOULEVARD AND CRYSTAL VALLEY PARKWAY

PROJECT246543.00

CRAH CRYSTAL VALLEY MOB - C&S (BID PACKAGE #1)

SITE DEVELOPMENT PLAN		
DATE		2/14/2025
REVISIONS		
#	DESCRIPTION	DATE

		Site Luminaire Summary Table																		
		Luminaire												Lamps						
		ID/ Symbol	Manufacturer	Model	Catalog Number	Description	Full Cut Off (Y/N)	Distribution	Voltage	Dimming	Quantity	Mounting	Mounting Height	Quantity	Type	Watts	Lumens	Color Temp/CRI	Light loss factor	Fixture Finish
		ED1	GOTHAM	EV06	EV06-40-25-AR-1SS-MD-MVOLT-GZ10-NLT	6" RECESSED EXTERIOR LED DOWNLIGHT, MEDIUM DISTRIBUTION, 0-10V DIMMING DRIVER, OUTDOOR RATED	Y	MEDIUM	277	0-10V	16	RECESSED	14'-0"	1	LED	3.4	250	4000K/80CRI	1	WHITE
		EP1	LITHONIA	DSX1	DSX1-LED-P4-40K-80CRI-BLC3-MVOLT-SPA-NLTAIR2	POLE MOUNTED LED LUMINAIRE, SINGLE HEAD, P4, TYPE 3 EXTREME BACKLIGHT CONTROL, WET LOCATION RATED, WITH PHOTOCELL, 22' TALL BLACK SQUARE STRAIGHT STEEL POLE WITH 3' CONCRETE BASE	Y	TYPE III, BACKLIGHT CTRL	277	0-10V	5	POLE MOUNTED	22'-0"	1	LED	124	11,190	4000K/80CRI	1	BLACK
		EP1.1	LITHONIA	DSX1	DSX1-LED-P4-40K-80CRI-LCCO-MVOLT-SPA-NLTAIR2	POLE MOUNTED LED LUMINAIRE, SINGLE HEAD, P4, TYPE 3 LEFT CORNER CUTOFF, WET LOCATION RATED, WITH PHOTOCELL, 22' TALL BLACK SQUARE STRAIGHT STEEL POLE WITH 3' CONCRETE BASE	Y	TYPE III, LEFT CORNER CUTOFF	277	0-10V	1	POLE MOUNTED	22'-0"	1	LED	124	11,190	4000K/80CRI	1	BLACK
		EP2	LITHONIA	DSX1	DSX1-LED-P3-40K-80CRI-T3M-MVOLT-SPA-NLTAIR2	POLE MOUNTED LED LUMINAIRE, DUAL HEAD, P4, TYPE 3 MEDIUM, WET LOCATION RATED, WITH PHOTOCELL, 22' TALL BLACK SQUARE STRAIGHT STEEL POLE WITH 3' CONCRETE BASE	Y	TYPE III MEDIUM	277	0-10V	1	POLE MOUNTED	22'-0"	1	LED	204	27,526	4000K/80CRI	1	BLACK
		EP3	LITHONIA	DSX1	DSX1-LED-P4-T3M-MVOLT-SPA-NLTAIR2	POLE MOUNTED LED LUMINAIRE, SINGLE HEAD, P4, TYPE 3 MEDIUM, WET LOCATION RATED, WITH PHOTOCELL, 22' TALL BLACK SQUARE STRAIGHT STEEL POLE WITH 3' CONCRETE BASE	Y	TYPE III MEDIUM	277	0-10V	1	POLE MOUNTED	22'-0"	1	LED	124	15,383	4000K/80CRI	1	BLACK
		EP4	LITHONIA	DSX1	DSX1-P4-T5M-MVOLT-SPA-NLTAIR2	POLE MOUNTED LED LUMINAIRE, SINGLE HEAD, P4, TYPE 5 MEDIUM, WITH PHOTOCELL, 22' TALL BLACK SQUARE STRAIGHT STEEL POLE WITH 3' CONCRETE BASE	Y	TYPE V MEDIUM	277	0-10V	2	POLE MOUNTED	22'-0"	1	LED	124	16,063	4000K/80CRI	1	BLACK
		EP5	LITHONIA	DSX1	DSX1-P4-T5LG-MVOLT-SPA-NLTAIR2	POLE MOUNTED LED LUMINAIRE, SINGLE HEAD, P4, TYPE 5 LOW GLARE, WET LOCATION RATED, WITH PHOTOCELL, 22' TALL BLACK SQUARE STRAIGHT STEEL POLE WITH 3' CONCRETE BASE	Y	TYPE V, LOW GLARE	277	0-10V	2	POLE MOUNTED	22'-0"	1	LED	124	16,110	4000K/80CRI	1	BLACK
		EP6	LITHONIA	DSX1	DSX1-P2-40K-80CRI-LCCO-MVOLT-SPA-NLTAIR2	POLE MOUNTED LED LUMINAIRE, SINGLE HEAD, P4, TYPE 3 EXTREME BACKLIGHT CONTROL, WET LOCATION RATED, WITH PHOTOCELL, 22' TALL BLACK SQUARE STRAIGHT STEEL POLE WITH 3' CONCRETE BASE	Y	TYPE III, BACKLIGHT CTRL	277	0-10V	3	POLE MOUNTED	22'-0"	1	LED	102	10,011	4000K/80CRI	1	BLACK
		EPB1	LITHONIA	DSXB	DSXB-350-40K-SYM-MVOLT-PE-SF-DBLXD	PEDESTRIAN BOLLARD, FULL CUTOFF, SYMMETRIC DISTRIBUTION	Y	N/A	277	0-10V	5	BOLLARD	3'-6"	1	LED	20	1,558	4000K/80CRI	1	BLACK
		EW1	LITHONIA	WDGE	WDGE2-P2-40K-80CRI-VW-MVOLT-SRM	11.5" WIDE X 9" TALL LED WALL SCONCE, VISUAL COMFORT, TYPE 3 MEDIUM OPTIC	Y	N/A	277	0-10V	9	SURFACE	10'-0"	1	LED	10	2,000	4000K/80CRI	1	BLACK

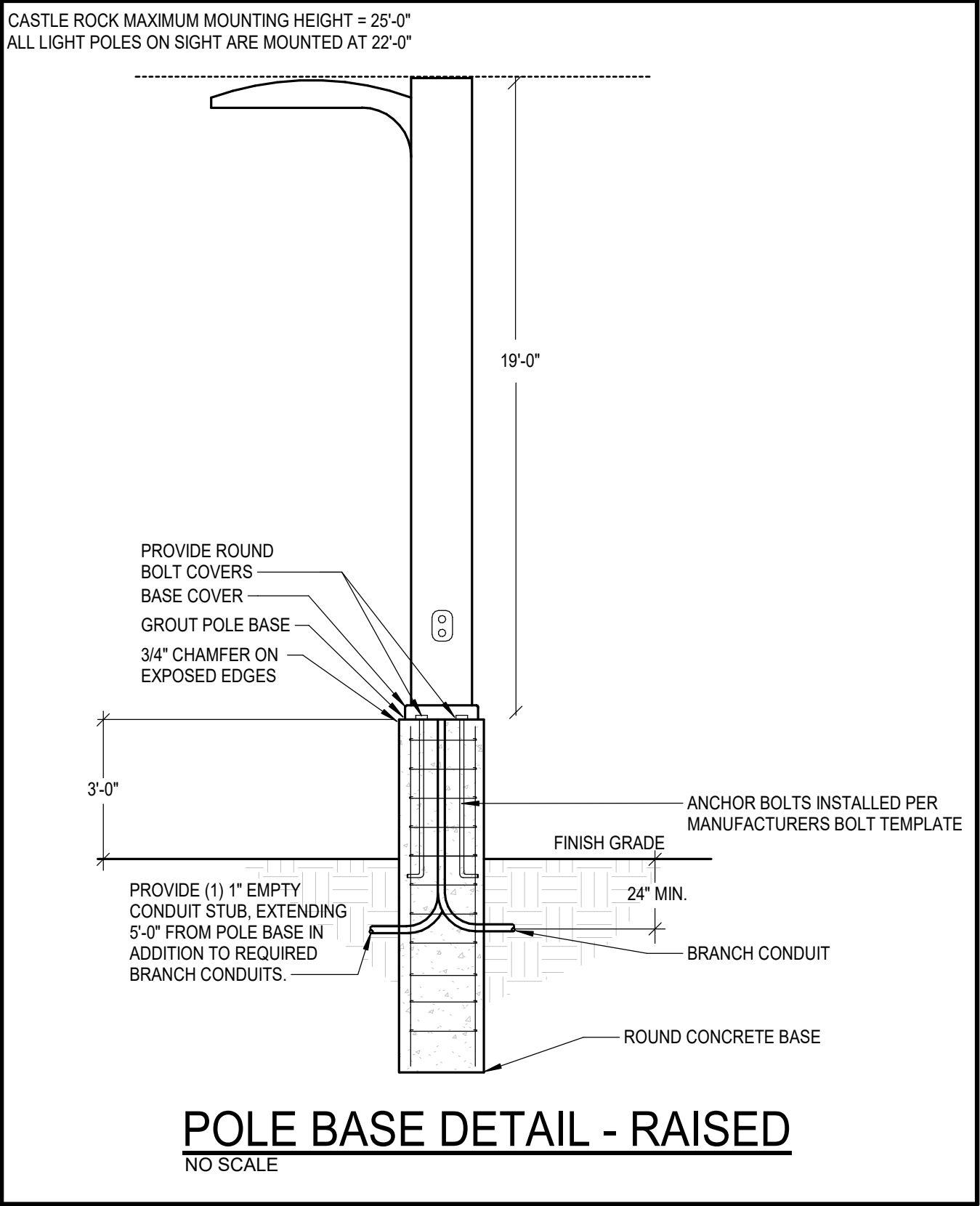
LIGHTING LEGEND (Not all symbols listed below are used on these drawings)	
SYMBOL	DESCRIPTION
	WALL MOUNTED LUMINAIRE
	POLE LUMINAIRE - ARM MOUNTED
⦿	BOLLARD
●	DOWNLIGHT - RECESSED
	WALKWAY




CASTLE ROCK ILLUMINATION PLAN STANDARD NOTES	
1. LIGHT LOSS FACTOR IS 1 (SHOWN ON LUMINARY SUMMARY TABLE).	
2. HOURS OF LIGHT OPERATION AND HOW THIS WILL BE ACHIEVED IS LISTED IN THE LIGHTING CONTROLS DESCRIPTION TABLE.	
3. WALKWAY AND GENERAL SITE LIGHTING OBJECTIVE: PROVIDE LIGHTING FOR WALKWAYS PER LIFE-SAFETY CODE REQUIREMENTS FOR PATH OF EGRESS TO THE PUBLIC WAY + MEET CASTLE ROCK'S MAXIMUM INITIAL LIGHTING LEVELS. PARKING LOT AREA OBJECTIVE: PROVIDE LIGHTING FOR THE PARKING AREA PER LIFE-SAFETY CODE REQUIREMENTS + MEET CASTLE ROCK'S MAXIMUM INITIAL LIGHTING LEVELS.	
4. MITIGATION EFFORTS FOR NEIGHBORING PROPERTIES: FOOTCANDLE LEVELS ARE AT 0.0 AT AND 10' PAST THE PROPERTY LINE.	
5. EXTERIOR LIGHTING FOR EGRESS TRAVEL TO THE PUBLIC WAY COMPLIES WITH THE CURRENT BUILDING CODE (IBC 2021).	
6. FORWARD THROW LUMINAIRES: THE FOLLOWING LIGHTING TYPES ARE PROHIBITED AND HAVE NOT BEEN SPECIFIED: FORWARD THROW LUMINAIRES (TYPE IV DISTRIBUTION), POLE-MOUNTED LIGHTS AIMED AT BUILDING'S FAÇADE, AND UNSHIELDED WALL PACKS ARE PROHIBITED.	

MONUMENT SIGNAGE INFORMATION:	
•	MOUNTING: FREESTANDING AT GROUND LEVEL.
•	MATERIAL: HIGH DURABILITY ALUMINUM WITH STEEL FRAME AND ACRYLIC LETTERS THAT GLOW.
•	LUMINAIRE TYPE: INTERNALLY ATTACHED LED LIGHT STICKS. 7100K COLOR TEMPERATURE.
•	LUMINANCE: 931 LUMENS/LIGHT STICK. 4 LIGHT STICKS PER SIGN. DOUBLE SIDED.
•	MONUMENT SIGNAGE FOOTPRINT AND FOOTCANDLE IMPACT ARE SHOWN ON THE PHOTOMETRIC PLAN.

LIGHTING CONTROLS DESCRIPTION			
TYPE	AFTER BUSINESS HOURS CONTROLS	BUSINESS HOURS CONTROL	CONTROL SYSTEM TYPE
BUILDING MOUNTED EXTERIOR	TIME CLOCK SCHEDULE. TURN ON AT DUSK AND TURN OFF AT SUNRISE. HOURS WILL VARY BASED ON WHEN THE SUN GOES UP AND DOWN AND WILL BE ADJUSTED ACCORDINGLY.	TIME CLOCK SCHEDULE, PHOTOCELL CONTROL	PROGRAMMABLE & ADJUSTABLE
SITE	PHOTOCELL & TIME CLOCK SCHEDULE: 50% LIGHT LEVEL REDUCTION FROM 10PM TO 6AM WHEN NO MOTION IS DETECTED.	TIME CLOCK SCHEDULE, PHOTOCELL CONTROL	PROGRAMMABLE & ADJUSTABLE
ALL MONUMENT & BLDG SIGNAGE	PHOTOCELL CONTROL. HOURS VARY BASED ON WHEN THE SUN GOES UP & DOWN. SIGNAGE IS OFF WHEN SUNLIGHT IS DETECTED. SIGNAGE INTERNALLY LIT FROM SUNSET TO SUNRISE. 50% LIGHT LEVEL REDUCTION FROM 10PM TO 6AM.	TIME CLOCK SCHEDULE, PHOTOCELL CONTROL	PROGRAMMABLE & ADJUSTABLE

CALCULATION SUMMARY TABLE						
Description	Avg	Max	Min	Max/Min	Avg/Min	
Parking South	1.4 fc	4.3 fc	0.2 fc	21.5:1	7.0:1	
Small Parking Spaces - North	0.6 fc	0.9 fc	0.4 fc	2.3:1	1.5:1	
South Canopy	2.7 fc	4.5 fc	0.7 fc	6.4:1	3.9:1	
Walkway to the Public Way	1.7 fc	2.9 fc	0.8 fc	3.6:1	2.1:1	
North Canopy	3.0 fc	4.8 fc	1.5 fc	3.2:1	2.0:1	



SITE PLAN LEGEND	
	PROPERTY LINE
	EASEMENT
	SETBACK



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



PROJECT 246543.00

CRAH CRYSTAL
VALLEY MOB -
C&S (BID
PACKAGE #1)

SITE DEVELOPMENT
PLAN

DATE 01/14/2025

REVISIONS		
#	DESCRIPTION	DATE

SHEET TITLE

ELECTRICAL SITE PLAN

SHEET NUMBER

13 of 13

SITE DEVELOPMENT PLAN
LOT 2, BLOCK 2, HECKENDORF RANCH FILING NO. 2
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0001

Neighborhood Meeting Summary

Application: Site Development Plan

Property Owner: Portercare Adventist Health System

Meeting #: 1

Date/Time: Monday January 13, 2025, 6:00p.m. (Adjourned at 7:05p.m.)

Meeting Location: Castle Rock Adventist Hospital Conference room

Councilmember District: Councilmember Dietz'

Applicant's Proposal:

The applicant, Boulder Associates, is proposing to construct a new medical office building to include a freestanding emergency department. The proposed project is located west of the intersection of Plum Creek Boulevard and Crystal Valley Parkway. See attached presentation.

Attendees

Applicant Representatives:

Matt Gal, AdventHealth

David Nelson, AdventHealth

Lars Nilsson, AdventHealth

Jim Siedler, Boulder Associates

Abby Waldo, Boulder Associates

Andrew Holcomb, Boulder Associates

Trever Kregg, Turner Construction

Public Attendees:

6 In-person Attendee:

3 Online/Phone Attendees

Town Staff Attendees:

BrieAnna Simon, Senior Planner, Town of Castle Rock

Councilmember Dietz

Presentation Description

Applicant's Presentation:

The applicant gave a summary of the proposed site development plan. The applicant provided a presentation showing the proposed design of the site including proposed building entrances, access connections, grading of the site, landscaping, and proposed onsite amenities. The applicant showed the proposed building elevations.

Questions Presented to Applicant:

Q: Where will the ambulances be accessing the building and how many ambulance trips are anticipated at this location?

A: The applicant stated the ambulance entrance in the rear of the building, furthest away from the residential homes. The applicant anticipates 1-3 monthly trips, with

ambulances leaving this location to bring patients to the main AdventHealth Hospital location. General ambulance trips will not drop patients off at this location but bring these individuals to the main AdventHealth Hospital location.

Q: Will there be a hospital sign on the interstate directing people to this location?

A: The applicant stated signage for this project will be provided. However, this site will only be an emergency room and urgent care facility on the first floor, with primary care on the second-floor.

Q: What will the hours of operation be for this facility?

A: The applicant stated the second-floor primary care offices will operate weekdays 8:00a.m. to 5:00p.m. The urgent care facility hours have not been finalized at this time but anticipate this facility only being open on week days. The Emergency Room facility will be open 24 hours.

Q: Why is there an entrance into the site adjacent to the residents on Plum Creek Parkway?

A: The applicant stated the entrance off Plum Creek Parkway is the only full movement intersection for the whole commercial corner. This entrance is needed for all of the businesses at this corner.

Q: The previous application on this property had the rear of the building facing the residents and pushed to the corner. Why can't this building be situated the same way?

A: If the rear of the building was going to face Plum Creek Parkway, then the emergency room entrance would be located facing the residential homes.

Q: What is the proposed height of the building and maximum height requirement?

A: The applicant stated the zoning limits the building to 35 feet in height to the parapet. Currently, the project is proposing to have a height of 32 feet to the parapet and 39 feet to top of the rooftop screening.

Q: Will the rooftop mechanical be covered? Can the rooftop mechanical be relocated off the roof? Residents are concerned about seeing this equipment from adjacent homes, which are at a higher elevation.

A: The applicant stated the rooftop mechanical units need to remain on the roof and are not covered. The applicant stated they will provide more perspectives from adjacent elevations of this equipment.

Q: The proposed elevations show a lot of windows on the second floor. Will the lights on the second floor be able to be turned off when the primary care facility is not in operation?

A: The applicant stated this floor does not need to have the lights on at all times and will work with the primary care facilities to turn off lights outside of business operations.

Q: Does the sign on the second floor of the building have to have lights?

A: The applicant stated the sign package has not been determined at this time but will work through this concern with residents.

Q: Will there be lights in the parking lot?

A: The applicant stated the parking lot will have lighting. A perspective including the parking lot lighting and lighting plan can be provided at the next neighborhood meeting.

Q: What is the grade of the parking lot adjacent to the residential homes? Residents would like to see more landscaping along the street to provide screening.

A: The applicant stated the parking lot is expected to be below the grade of the street with a 4-7 foot retaining wall. The applicant will bring additional perspectives to the next neighborhood meeting.

Q: What are the empty areas shown on the site plan?

A: The applicant stated these are open areas at this time. These areas could be used for future expansion of the site. The site allows for an additional 15,000 square foot expansion. Any expansion will be required to go through this same process in the future.

Q: Will this site have a helipad?

A: The applicant stated this site does not meet the requirements for a helipad.

Q: What is the projected number of employees? What is the expected number of patients to be treated at this location per day?

A: The applicant stated this facility is anticipated to have 10-15 staff members per shift for the Urgent Care and Emergency Room facilities, with 14-15 visits per day. The second floor is anticipated to have 20 employees, with 30-35 visits per day. AdventHealth has approximately 800 total employees between all of the Castle Rock locations.

Q: What is the anticipated timeframe for this project to break ground?

A: The applicant stated they are anticipating mid-May to break ground on this site with a 12 month buildout timeframe.

Neighborhood Meeting Summary

Application: Site Development Plan

Property Owner: Portercare Adventist Health System

Meeting #: 2

Date/Time: Monday March 10, 2025, 6:00p.m. (Adjourned at 6:45p.m.)

Meeting Location: Castle Rock Adventist Hospital Conference Room

Councilmember District: Councilmember Dietz'

Applicant's Proposal:

The applicant, Boulder Associates, is proposing to construct a new medical office building to include a freestanding emergency department. The proposed project is located west of the intersection of Plum Creek Boulevard and Crystal Valley Parkway. See attached presentation.

Attendees

Applicant Representatives:

David Nelson, AdventHealth

Lars Nilsson, AdventHealth

Jeremy Pittman, AdventHealth

Lisa Hinton, AdventHealth

Jim Siedler, Boulder Associates

Public Attendees:

4 In-person Attendee:

5 Online/Phone Attendees

Town Staff Attendees:

BrieAnna Simon, Senior Planner, Town of Castle Rock

Councilmember Dietz

Presentation Description

Applicant's Presentation:

The applicant gave a summary of the proposed site development plan. The applicant provided a presentation showing the proposed design of the site including proposed building entrances, access connections, lighting, and landscaping. The applicant showed the proposed building perspectives with the proposed landscaping screening.

Questions Presented to Applicant:

Q: Will there be a helicopter pad?

A: The applicant stated there will not be a helicopter pad at this location.

Q: How will ambulances enter and leave the site?

A: The applicant stated there is a right-in-right out off Crystal Valley Parkway at the shared access with the existing businesses. To travel west from the site the southern access point needs to be used to access the roundabout.

Q: When ambulances enter or exit the site, will lights and sirens be on?

A: The applicant stated they plan to work closely with EMTs to establish a policy.

Q: Has a traffic study been completed for this project? Can a left turn movement be added to Crystal Valley Parkway?

A: The applicant stated a traffic impact analysis has been completed. This analysis can be found on the Town's Development Activity website. This analysis has shown no additional improvements are needed to the intersections based on the proposed project.

Q: What is the anticipated number of visits per day?

A: The applicant stated they anticipate between 20-30 urgent care visits and 8-10 emergency room visits per day.

Q: Will there be any lighting on the roof?

A: The applicant stated there will be no lighting on the roof of the building.

Q: Where will the signs be located on this building?

A: The applicant stated there will be signage on the west, north and east side of the building. The signage on the east side will be on the second story of the building and include a lighting element.

Q: Would the second story signage on the east side of the building be able to be removed or only include first floor signage on the east side? Residents are concerned with the lighting of this sign.

A: The applicant stated signage on the east side of the building is needed for directional signage. This signage needs to be on the second floor due to grading and landscaping on the site.

Q: Will there be any signage on the freeway directing to this emergency room?

A: The applicant stated if the facility is not a full hospital they cannot have hospital signage on the freeway.

Q: Who is anticipated to occupy the second floor of the building?

A: The applicant stated this has not been determined at this time but anticipate AdventHealth employees.

Q: Will the windows on the second floor have shades?

A: The applicant stated there will be shades with the ability to close on the second story windows.

Q: Would this property be able to coordinate with the adjacent property for overflow parking when events on the adjacent property occur after hours?

A: The applicant stated they will look into this further.

Q: What is the anticipated timeframe for this project to break ground?

A: The applicant stated they are anticipating July to break ground on this site with a 12 month buildout timeframe.

Neighborhood Meeting Summary

Application: Site Development Plan

Property Owner: Portercare Adventist Health System

Meeting #: 3

Date/Time: Monday, July 28, 2025, 6:00p.m. (Adjourned at 6:20p.m.)

Meeting Location: Castle Rock Adventist Hospital Conference Room

Councilmember District: Councilmember Dietz's

Applicant's Proposal:

The applicant, Boulder Associates, is proposing to construct a new medical office building to include a freestanding emergency department. The proposed project is located west of the intersection of Plum Creek Boulevard and Crystal Valley Parkway. See attached presentation.

Attendees

Applicant Representatives:

David Nelson, AdventHealth

Lars Nilsson, AdventHealth

John Davidson, AdventHealth

Lisa Hinton, AdventHealth

Jen Thomas, AdventHealth

Jim Siedler, Boulder Associates

Braden Frey, Turner Construction

Maricarmen Tamez, Turner Construction

Trever Kregg, Turner Construction

Kelly Sherman, Turner Construction

Public Attendees:

2 In-person Attendee:

1 Online/Phone Attendees

Town Staff Attendees:

Councilmember Deitz

BrieAnna Grandy, Senior Planner, Town of Castle Rock

Presentation Description

Applicant's Presentation:

The applicant gave a summary of the proposed site development plan. The applicant provided a presentation showing the changes in the proposed site design from the previous neighborhood meeting including proposed sidewalk connection along the internal access road, increased vegetation size at planting, and removal of sign lighting facing the residential development. The applicant showed the proposed building and site perspectives. The applicant went over the upcoming public hearing schedule and dates of August 14, 2025 for Planning Commission and September 2, 2025 for Town Council.

Questions Presented to Applicant:

Q: What is the anticipated number of visits per day?

A: The applicant stated they anticipate approximately 15 urgent care visits and approximately 10 emergency room visits per day. The project proposes three primary care providers on the second floor of the building with approximately 10-12 patients per day.

Q: Can you walk through the proposed changes in landscaping from what occurred at the second meeting?

A: The applicant showed the proposed building and site perspectives with the proposed landscaping screening. The applicant stated the renderings show an accurate representation of the qualities and sizes of landscaping on the site. The perspectives also show the proposed retaining wall and how this will screen headlights from view of the adjacent residential properties.

Q: Will the property be conforming to the Town of Castle Rock's Coloradoscape?

A: The applicant stated they will be conforming to the Town of Castle Rock standards. The large open areas shown on the plan will be native grass and not permanently irrigated.

Q: During construction will there be a way to ensure no trucks are staging on Plum Creek Parkway in front of the residential neighborhood? Additionally, can we ensure no engine breaking is used in this neighborhood?

A: The applicant stated the construction has been planned to have all trucks stage on the site and not in the roadway. When meeting with the drivers, the applicant will request no engine breaking to be used.

Q: What is the anticipated timeline to break ground on this project?

A: The applicant stated they plan to move very quickly after the Town Council meeting. The project is anticipated to break ground middle to late September, with construction slated for one year.

Q: Comments provided by adjacent residents:

- The neighbors appreciate the responsiveness the applicant has shown on this project.
- The neighbors appreciate this site is not a gas station.
- Residents like the larger trees being provided at planting.
- Residents think the sidewalk along the roadway is a good idea and will be utilized.

From: [REDACTED]
To: [BrieAnna Simon](#)
Cc: [Tim Dietz](#); david.nelson@adventhealth.com; [Jim Siedler](#)
Subject: Adventist Medical Center
Date: Tuesday, March 11, 2025 11:05:43 AM

Good morning,

I'd like to thank you for listening to and working with the residents regarding the new medical center in Crystal Valley.

As you know, this is a community of homes first in a dark sky location, then a very small patch of commercial property, so this is a unique setting from most retail.

I would like to, again, ask that the colored sign that you plan to add to the east side on the second story of the building NOT be lighted. After looking over the plans, with all the lights in the building and parking lot at night, I think that us residents will see that it's the medical center. We don't need another lighted sign pointing into the backs of our houses at night for advertising; it's not necessary. Anyone coming to it from the freeway, will see the other lighted signs.

I ask that the town will not approve this and that the Advent team will re-work this somehow. The town didn't consider that there are many houses up on the ridge, in all directions, that paid a premium lot fee when they allowed an oversized HUGE **RED** LED sign to blare into our houses at night, unnecessarily. Many homes have boycotted this store due to the town and the owners, who live in Crystal Valley, not taking this down and replacing it with a smaller sign that blends into our community. Seriously, this is a huge eyesore and we don't need another colorful sign to add to our misery.

I ask that you consider the residents first, for a change, since this sign is not necessary and can be re-worked. Since the residents of Crystal Valley will be your main customers, just like the liquor store, we don't need you advertising into our windows at night.

Please reconsider this one option!

Thank you for your consideration!
Diane TeGrotenhuis

BrieAnna Grandy

From: Diane TeGrotenhuis [REDACTED]
Sent: Friday, August 1, 2025 9:22 AM
To: BrieAnna Grandy
Subject: Public Hearing – AdventHealth Medical Office Building – Proposed Site Development Plan Thursday, August 14, 2025

Follow Up Flag: Follow up
Flag Status: Flagged

Hi and good morning!

There was just a meeting last week, if I remember correctly, I couldn't attend, for this same project. Can you please tell me why there is another meeting so close to the one that already took place? What has changed, or what are they being requested to change, if anything?

We are in one of the houses on the ridge that have been bombarded with all the light pollution pointed into the backs of our homes, and requested that they don't have a light at the top of the building or have it very, very dimmed. There are houses across the street and those of us up on the ridge that are greatly affected by these unnecessary building lights beaming into our homes at night.

Anyway, I hope that was one of the changes they'll be making? :)

Thank you!
Diane TeGrotenhuis

BrieAnna Simon

From: Diane TeGrotenhuis [REDACTED]
Sent: Tuesday, December 31, 2024 10:08 AM
To: BrieAnna Simon; david.nelson@adventhealth.com; jsiedler@boulderassociates.com
Subject: Neighborhood Meeting – AdventHealth Medical Office Building – Proposed Site Development Plan

Follow Up Flag: Follow up
Flag Status: Flagged

Good morning!

I just received the email about the upcoming meeting to discuss this possible addition in Crystal Valley. I have a couple of questions ahead of the meeting.

First, I see the plan is for a **two-story medical office building to include a freestanding emergency department on the first level and a neighborhood clinic on the second level.**

As you know, we are a community of houses first. A lot of us paid extra to live on the ridge to have a dark sky view facing west. We were told that the retail would be daytime only, and no lights would be needed at night. Well, the first store added was a liquor store that is indeed open at night, until 10pm. They were allowed to add an oversized, overbright **RED** LED sign facing the backs of our houses. Not advertising to the Frontage Road or Crystal Valley Parkway, but up into the back of our homes!! Several homeowners had to purchase expensive blackout blinds because the town didn't make him change his sign, which they should have. Even after adding a dimmer switch, it's too bright and too big. One sign, alone, has affected our living in the community.

With that being said, my questions are:

1. Will the emergency department be open 24-hours?
2. Will ambulances be coming into this building, like a hospital ER?
3. How tall will the 2-story building be?

Several of us plan to attend this meeting, but if you can answer these questions in advance, we'll be able to form better questions/opinions of this project ahead of time.

Thank you so much!
Diane TeGrotenhuis

BrieAnna Grandy

From: Gina Bates [REDACTED]
Sent: Tuesday, August 5, 2025 3:26 PM
To: BrieAnna Grandy
Cc: Tim Dietz
Subject: 9/2/25 Town Council Public Hearing – Crystal Valley Ranch Filing -medical facility with separate emergency facility

Follow Up Flag: Follow up
Flag Status: Flagged

NO to the separate Emergency Department for four reasons:

1. Increase traffic and noise at all hours of day or night. Current and future infrastructure does not accommodate for this added traffic on to CV, Frontage Road or the FreeWay interchange. Was never evaluated or mitigated as an occurrence.
It is proposed next to a high density single family residence area and across the new Fire Department. This proposal will significantly increase traffic to an already very busy residential neighborhood: Consider Montaine Development with high density homes, the interchange, more housing on the west side of the freeway, Costco and light industrial.
Having emergency vehicle and possibly air traffic next to residential is noisy and it could happen at all hours of day or night. This will interfere with the right for safety, enjoyment and quiet for the current residents. At the time when these houses were purchased ppl were not being informed that the land across a narrow street from them will be a 24 /7 source of traffic and noise. This will decrease the value of real estate all around this planned development.
2. More medical offices in this Cr and this residential area is an overkill, because we have many medical offices, some empty on this side of the Freeway all around us. More medical buildings will clearly emphasize the fact that the town does not have enough doctors or specialty doctors to serve the existing hospital and offices in town. Most times one has to see a NP instead of a doctor.
3. There is a full service, big hospital and separate Emergency facility across the Freeway that serves the community needs just fine. Fire Department takes patients there in minutes.
4. We have the new Fire Department Station across CV in the close vicinity to serve the emergency needs of the community.

GiBa
Espresso Yo'Self